

Town of Canandaigua

5440 Routes 5 & 20 West • Canandaigua, NY 14424
Phone (585) 394-1120 • Fax (585) 394-9476

Planning Board Decision Notification

Meeting Date: July 23, 2019

Project: CPN-19-044

Applicant

Thornton Engineering
c/o Glenn Thornton, P.E.
30 Assembly Drive,
Suite 106
Mendon, NY 14506

Owners

Geoffrey E. and Jane
G. Hallstead
3240 Middle Cheshire
Road
Canandaigua, NY
14424

Project Type

Single-Stage Site Plan

Project Location

3240 Middle
Cheshire Road

Tax Map #

97.02-2-2.100

TYPE OF APPLICATION:

- ☐ Preliminary ☐ Final Phased ☒ One/Single Stage
☐ Subdivision ☒ Site Plan ☐ Special Use Permit

Applicant Request:

- ☒ Granted ☐ Denied ☐ Tabled
☐ Continued to:
☒ See attached resolution(s)

STATE ENVIRONMENTAL QUALITY REVIEW (SEQR):

- ☐ Type I ☐ Type II ☒ Unlisted
☒ See Attached resolution(s):

Negative Declaration Date:

Positive Declaration Date:

Recommendation To:

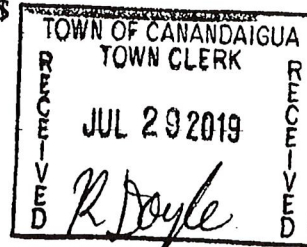
- ☐ Town Board ☐ ZBA ☐ N/A ☐ See attached resolution(s)

Recommendation:

Surety Requirements:

- ☐ Landscaping: \$ ☐ Soil Erosion: \$
☐ Other (specify): \$

Surety Release:



Certified By: *James A. Swartz*
Chairperson, Planning Board

Date: 7-29-19

TOWN OF CANANDAIGUA PLANNING BOARD RESOLUTION
THORNTON ENGINEERING REPRESENTING GEOFFERY & JANE HALLSTEAD
PARKING LOT & DRIVEWAY RECONFIGURATION AND IMPROVEMENTS
3240 MIDDLE CHESHIRE ROAD – RB-1 & R-1-30 ZONING DISTRICT
CPN 044-19 – TM#97.02-2-2.100
SINGLE-STAGE SITE PLAN APPROVAL

SEQR – DETERMINATION OF NON-SIGNIFICANCE RESOLUTION

WHEREAS, the Town of Canandaigua Planning Board (hereinafter referred to as Planning Board) is considering Single-Stage Site Plan Approval for reconfiguration and minor expansion of an existing parking lot, site grading and the installation of a new driveway entrance off Middle Cheshire Road within the RB-1 & R-1-30 zoning districts, as shown on the Site Plans prepared by Thornton Engineering dated June 2019, last revised June 19, 2019 and all other relevant information submitted as of July 23, 2019 (the current application); and

WHEREAS, the Planning Board has reviewed the Short Environmental Assessment Form Part 1, prepared by the applicant on the above referenced Parking Lot Reconfiguration and Drainage Improvements Plan application (hereinafter referred to as Action); and

WHEREAS, the Planning Board determines that said Action is classified as an Unlisted Action under Part 617 of the State Environmental Quality Review (SEQR) Regulations; and

WHEREAS, the Planning Board has determined that the proposed development is subject to a single agency review pursuant to Part 617.6(b) (4) of the SEQR Regulations; and

WHEREAS, the Planning Board determines that it is the most appropriate agency for making the determination of significance thereon under the SEQR Regulations; and

WHEREAS, the Planning Board has given consideration to the criteria for determining significance as set forth in Section 617.7(c) (1) of the SEQR Regulations and the information contained in the Short Environmental Assessment Form Part 1; and

WHEREAS, the Planning Board has completed Part 2 and Part 3 of the Short Environmental Assessment Form; and

NOW, THEREFORE BE IT RESOLVED that the Planning Board does hereby designate itself as lead agency for the proposed development above herein; and

BE IT FURTHER RESOLVED that the Planning Board has reasonably concluded the following impacts are expected to result from the proposed Action, when compared against the criteria in Section 617.7 (c):

- (i) there will not be a substantial adverse change in existing air quality, ground or surface water quality or quantity, traffic noise levels; a substantial increase in solid waste production; a substantial increase in potential for erosion, flooding, leaching or drainage problems;
- (ii) there will not be large quantities of vegetation or fauna removed from the site or destroyed as the result of the proposed Action; there will not be substantial interference with the movement of any resident or migratory fish or wildlife species as the result of the proposed Action; there will not be a significant impact upon habitat areas on the site; there are no known threatened or endangered species of animal or plant, or the habitat of such species; or, are there any other significant adverse impacts to natural resources on the site;
- (iii) there are no known Critical Environmental Area(s) on the site which will be impaired as the result of the proposed Action;
- (iv) the overall density of the site is consistent with the Town's Comprehensive Plan land use recommendations;

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- (v) there will not be an increase in the use of either the quantity or type of energy resulting from the proposed Action;
- (vi) there will not be any hazard created to human health;
- (vii) there will not be a change in the use of active agricultural lands that receive an agricultural use tax exemption or that will ultimately result in the loss of ten acres of such productive farmland;
- (viii) there will not be a larger number of persons attracted to the site for more than a few days when compared to the number of persons who would come to the site absent the Action;
- (ix) there will not be created a material demand for other Actions that would result in one of the above consequences;
- (x) there will not be changes in two or more of the elements of the environment that when considered together result in a substantial adverse impact; and
- (xi) there are not two or more related Actions which would have a significant impact on the environment.

BE IT FURTHER RESOLVED, based upon the information and analysis above and the supporting documentation referenced above, the proposed Action **WILL NOT** result in any significant adverse environmental impacts.

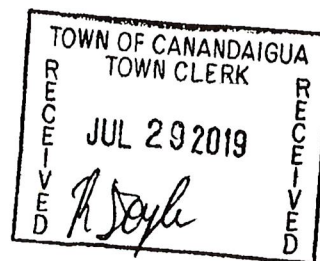
BE IT FINALLY RESOLVED, that the Planning Board does hereby make a Determination of Non-Significance on the proposed development, and the Planning Board Chairman is hereby directed to sign the Short Environmental Assessment Form Part 3 and issue the Negative Declaration as evidence of the Planning Board's determination.

The above resolution was offered by Thomas Schwartz and seconded by Charles Oyler at a meeting of the Planning Board held on Tuesday, July 23, 2019. Following discussion thereon, the following roll call vote was taken and recorded:

Gary Humes - *Aye*
Charles Oyler - *Aye*
Karen Blazey - *Excused*
Ryan Staychock - *Aye*
Thomas Schwartz - *Aye*

I, John Robortella, Secretary of the Board, do hereby attest to the accuracy of the above resolution being acted upon and recorded in the minutes of the Town of Canandaigua Planning Board for the July 23, 2019 meeting.

John Robortella L. S.
John Robortella, Secretary of the Board



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SINGLE STAGE SITE PLAN APPROVAL RESOLUTION

WHEREAS, the Town of Canandaigua Planning Board (hereinafter referred to as Planning Board) is considering Single-Stage Site Plan Approval for reconfiguration and minor expansion of an existing parking lot, site grading and the installation of a new driveway entrance off Middle Cheshire Road within the RB-1 & R-1-30 zoning districts, as shown on the Site Plans prepared by Thornton Engineering dated June 2019, last revised June 19, 2019 and all other relevant information submitted as of July 23, 2019 (the current application); and

WHEREAS, the Planning Board completed a formal review of the proposed site plan in compliance with the implementing regulations of the State Environmental Quality Review Act (SEQR); and

WHEREAS, the Planning Board has determined the proposed action to be an Unlisted action and subject to a single agency review pursuant to Part 617.6(b)(4) of the SEQR Regulations; and

WHEREAS, on July 23, 2019 the Planning Board, serving as lead agency, made a determination of non-significance and filed a negative declaration thereby concluding review pursuant to SEQR; and

WHEREAS, the Planning Board has compiled the attached list of findings to be kept on file with the application in the Town Development Office; and

NOW, THEREFORE, BE IT RESOLVED, the Planning Board hereby ☐ Approves without Conditions; ☒ Approves with the following Conditions; or ☐ Denies the application for the following reasons:

1. Site Plan Approval with conditions specified above herein is valid for a period of 180 days from today. Once all conditions of Site Plan Approval have been met and shown on revised drawings including the revision dates, the Planning Board Chairperson will then sign the Site Plans.
2. A soil stabilization and erosion control surety estimate is to be prepared by the applicant and provided to the Town Development Office for review and processing in accordance with Local Law 19 of 2017 Amending Chapter 174, Section 174-32(F).
3. A Site Development Permit application is to be completed and provided to the Town of Canandaigua Development Office prior to the Planning Board Chairman's signature being affixed to the final site plans.
4. The comments within the Town Highway & Water Superintendent's letter are to be addressed to the satisfaction of the Town Highway & Water Superintendent prior to signing by the Planning Board Chairman.
5. The comments within the Town Engineer's letter dated July 18, 2019 are to be addressed to the satisfaction of the Town Engineer prior to signing by the Planning Board Chairman.
6. The site plans are to be revised to relocate the proposed entrance off Middle Cheshire so that it aligns with the existing driveway across the street.

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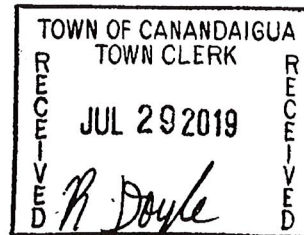
7. The parking lot green space island is to be enlarged to provide additional landscaping in accordance with the Town Landscaping requirements for parking lots.
8. The Planning Board granted a waiver allow 9' x 18' parking stalls.
9. The Planning Board encourages the use of land-banked parking where feasible onsite.

The above resolution was offered by Ryan Staychock and seconded by Thomas Schwartz at a meeting of the Planning Board held on Tuesday, July 23, 2019. Following discussion thereon, the following roll call vote was taken and recorded:

Gary Humes - *Aye*
Charles Oyler - *Aye*
Karen Blazey - *Excused*
Ryan Staychock - *Aye*
Thomas Schwartz - *Aye*

I, John Robortella, Secretary of the Board, do hereby attest to the accuracy of the above resolution being acted upon and recorded in the minutes of the Town of Canandaigua Planning Board for the July 23, 2019 meeting.

John Robortella L. S.
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FINDINGS

1. The Town of Canandaigua Planning Board is considering Single-Stage Site Plan Approval for reconfiguration and minor expansion of an existing parking lot, site grading and the installation of a new driveway entrance off Middle Cheshire Road within the RB-1 & R-1-30 zoning districts.
2. The project is detailed on Site Plans prepared by Thornton Engineering dated June 2019, and all other relevant information submitted as of July 23, 2019.
3. This is an Unlisted Action under SEQR and does not require coordination. A Short Environmental Assessment Form (EAF) Part 1 was completed by the Applicant.
4. The EAF Part 2 and Part 3 were completed by the Planning Board.
5. The Planning Board declared themselves as lead agency and made a SEQR Determination of Non-Significance and issued a Negative Declaration, concluding SEQR.
6. A Zoning Law Determination was prepared dated July 3, 2019:

DETERMINATION:

- Applicant SHALL provide complete Sign Permit application.
- Proposed off-street parking facility is to adhere to the following Landscaping and Buffering Zoning Regulations:
 - o In all districts, public and private parking lots or automotive use areas containing 25 parking spaces shall have 3 shade trees, at least one shade tree for each 10 parking spaces or portion thereof. Said trees shall be located within the paved area of the parking lot. Each tree shall be installed within a protected planting island with no less than 100 square feet of soil or permeable surface area per tree or within 10 feet of the pavement area. The trees shall be maintained by the owner and/or lessee of the property and shall not be cut down or otherwise removed when the lot is altered or enlarged. Said trees may be moved to another location on the lot upon approval by the Planning Board. Trees and their associated planting areas shall be located so as to provide visual relief and to assure safe traffic patterns of internal vehicular and pedestrian circulation.
 - o For parking areas designed for more than 10 cars, a minimum of 5% of the interior of the parking area shall be devoted to landscaping. The arrangement and location of the landscaping area shall be dispensed throughout the parking areas so as to prevent unsightliness and monotony of parking cars.
 - o Off-street parking areas with a capacity for more than 20 vehicles shall delineate fire lanes and post "no parking" markers.
 - o Off-street parking areas for more than five vehicles shall be effectively screened on the rear and side yards by a fence of acceptable design, unpierced masonry wall, landscaped berm or compact evergreen hedge. Such fence shall be erected and maintained in accordance with §220-9K of these regulations. Such wall or hedge shall not be less than six feet in height and shall be maintained in good condition.
 - o When a parking area for five or more vehicles is within or abuts a residential district, a planted buffer area shall be provided in addition to the fence or wall. Landscaping utilized to provide this buffer shall not be less than four feet in height at the time of planting and spaced not more than three feet apart. The planted buffer area shall not be less than 10 feet in depth.
- Proposed development is of sufficient area and dimension to meet minimum requirements for zoning and building purposes within the RB-1 and R-1-30 zoning districts.

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FINDINGS

7. This application was referred to the following agencies for review and comment:
 - Kevin Olvany, Canandaigua Lake Water Conservation Council
 - Jim Fletcher, Highway & Water Superintendent
 - Ontario County Planning Board (OCPB)
 - MRB Group, Town Engineer
 - Mike Northrup, Cheshire Fire Dept.
8. Comments from OCPB are provided within meeting minutes dated July 15, 2019.
9. A comment letter from the Town Engineer dated July 17, 2019 was provided.
10. No comments were provided by Kevin Olvany, Canandaigua Lake Water Conservation Council.
11. The Planning Board has considered all comments as part of their review of the application.
12. The Planning Board discussed the need for a soil stabilization and erosion control surety estimate to be provided prior to the issuance of building permits.