

# LEGEND

Existing	Proposed	
---	---	Property Line/R.O.W.
---	---	Easement
○ I.P.	---	Iron Pin
▲ Conc. Mon.	---	Concrete Monument
---	---	Ground Contour
○ Hyd.	---	Hydrant
---	---	Watermain
---	---	Water Service
---	---	Storm Sewer
---	---	Catch Basin
---	---	Downspout
---	---	Gas Main
---	---	Utility Pole
---	---	Overhead Electric and Telephone
---	---	Overhead Wire
---	---	Asphalt Pavement
---	---	Asphalt Pavement Overlay
---	---	Asphalt Pavement Overlay Taper Area
---	---	Exterior Man Door
---	---	Tree/Evergreen
---	---	Planting Schedule Key (AC) and Quantity (3)
---	---	Light Pole
---	---	Lighting Isofootcandle Contour

## MAP AND SURVEY NOTES

- This plan was prepared using a survey map entitled "Topographic Survey of Lands of Geoffrey E. & Jane G. Hallstead" prepared by Frelund-Parrinello Land Surveyors and dated December 17, 2015, and from field measurements obtained by Thornton Engineering in December 2018. Vertical datum is approximate North American Vertical Datum 1988 (NAVD88). Horizontal datum is NAD-83.

## PROJECT INFORMATION

<b>General Information</b>	
Owner/Developer:	Geoffrey E. & Jane G. Hallstead
Property Address:	3240 Middle Cheshire Road
Property T.A.N.:	97.02-2-2.100
Property Size:	2.844 acres
<b>Zoning Information</b>	
District:	RB-1 Restricted Business (development area) R-1-30 Residential (mostly undisturbed area)
<b>Permitted Use:</b>	
Dental Office	
<b>Zoning Regulations:</b>	
Min. Front Setback:	Required: 60' Existing: 90.3' Proposed: no change
Min. Rear Setback:	Required: 40' Existing: 142.3' Proposed: no change
Min. Side Setback:	Required: 15' Existing: 194.5' Proposed: no change
Max. Building Height:	Required: 35' Existing: 25' Proposed: no change
Max. Building Coverage:	Required: 50% Existing: 1.7% Proposed: no change
<b>Parking Calculation:</b>	
Required Parking:	5 spaces per doctor or dentist + 1 space per employee
Current Conditions:	5 spaces (1 dentist) + 5 spaces (5 employees) = 10 spaces required
Proposed Staff Conditions:	no change - 10 spaces required
Proposed Parking:	19 spaces provided + 13 landbanked spaces
* The Planning Board granted a waiver to allow 9' x 18' parking stalls at their July 23, 2019 meeting.	

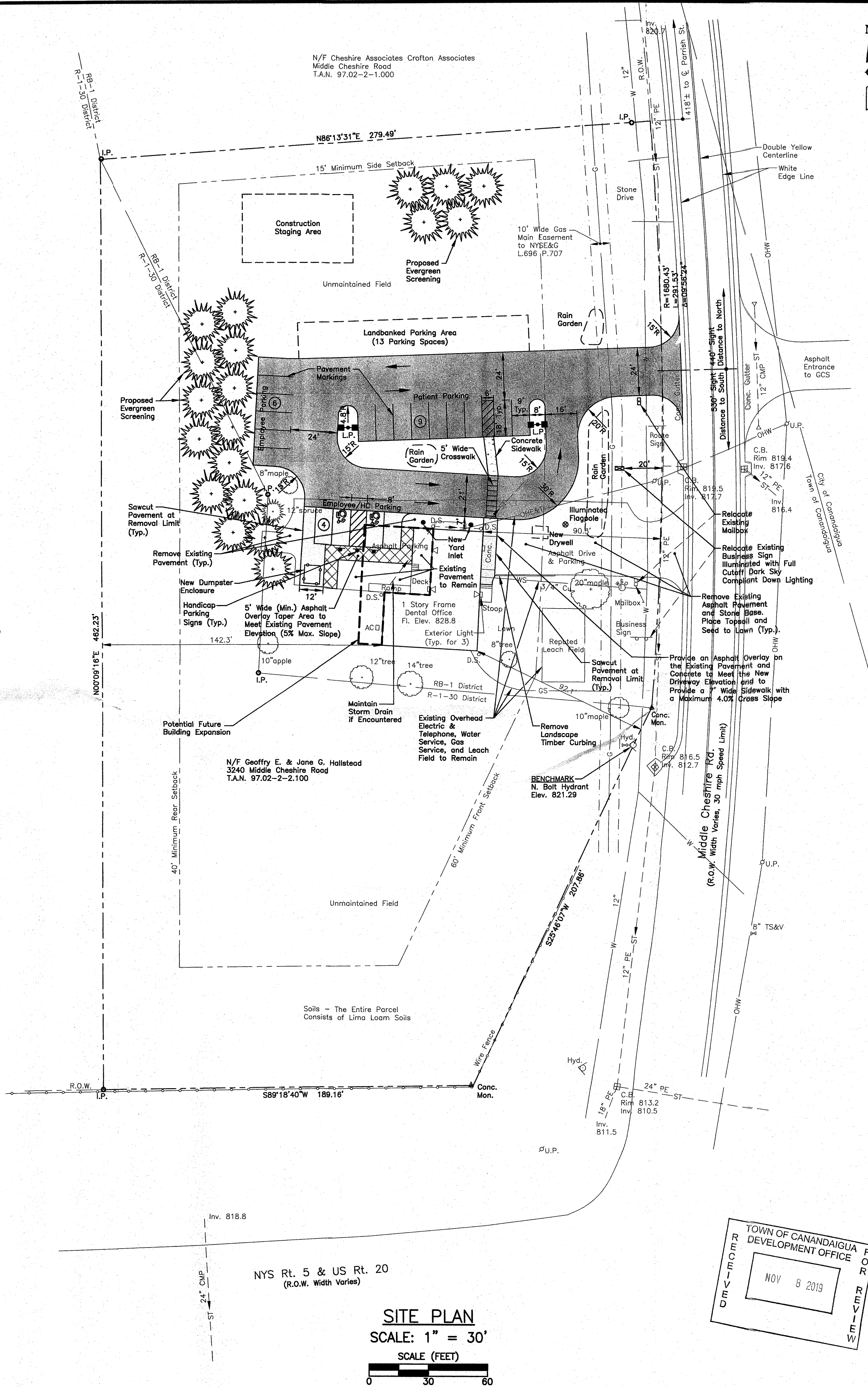
## CANANDAIGUA RIGHT TO FARM NOTE

This property may be near a farm, as defined in the New York State Agriculture and Markets Law, § 301, Subsection 11. Sound farming practices may generate dust, odor, smoke, noise, and vibration.

## GENERAL NOTES

- The plans show subsurface structures, above ground structures and/or utilities from field location and record mapping, exact location of which may vary from the locations indicated. In particular, the Contractor is warned that the exact or even approximate location of such pipelines, subsurface structures and/or utilities in the area may be different from that shown or may not be shown and it is his responsibility to proceed with great care in executing any work. Call Dig Safely New York, telephone 811, 48 hours before you dig, drill or blast.
- This property is not located within a 100-year floodplain (Flood Zone X per FEMA Community Panel No. 360596 0015 C, effective date March 3, 1997).
- This property does not contain federal or state wetland areas or the 100' buffer to wetland areas.
- The Contractor shall locate, mark, safeguard, and preserve all survey control monuments in the areas of construction.
- This property is not located within 500 feet of an Agricultural District.
- This property is located within the Canandaigua City School District, the Canandaigua Fire Protection District, and the Canandaigua Cons. Water District.
- The property lines and right-of-way lines shown on the plans are for information only, and no warranty is made as to their correctness.
- The Contractor shall maintain in service all existing sewers, culverts, ditches, manholes, and catch basins during construction.
- Construction Stakeout: The Contractor is responsible for all construction stakeout as shown on the plans.
- Traffic shall be maintained throughout construction. Ingress and egress to driveways, parking lots, and service roads shall be continuously maintained throughout the period of construction.
- The Contractor shall take care to prevent damage to existing utilities. Damaged utilities shall be immediately repaired by the Contractor at the Contractor's expense.
- All proposed utilities and appurtenances shall be constructed in compliance with the local municipalities' codes and regulations governing the installation of such utilities.
- The Contractor shall be responsible for obtaining and incurring the cost of all required permits, inspections, certificates, etc. and shall comply with all required permits.
- All work shall be done in strict compliance with all applicable National, State, and local codes, standards, ordinances, rules, and regulations.
- Miscellaneous work not specifically shown on the contract drawings such as patching, blocking, trimming, etc. shall be performed as required to make the work complete.
- It is the Contractor's responsibility to examine all plan sheets and coordinate work with all other contracts for the site.
- The Engineer shall be notified in writing of any conditions that vary from those shown on the plans. The Contractor's work shall not vary from the plans without the expressed approval of the Engineer.
- The Contractor shall restore lawns, driveways, culverts, signs, and other public or private property damaged or removed to at least as good a condition as before being disturbed as determined by the Engineer. Any damaged trees, shrubs, and/or hedges shall be replaced at the Contractor's expense.
- Unsuitable material shall be removed from the site and properly disposed.
- At the time of completion and acceptance of the work, all areas disturbed by the Contractor's operations shall be finished, graded, topsoiled, and seeded per the specifications.
- All improvements shall be in accordance with the most recent standards and specifications of the Town of Canandaigua.
- All work within the State highway boundaries will require approval and a permit from the New York State Department of Transportation.
- All site lighting shall be compliant with the Town Code Chapter 105, Section 805.
- All erosion control measures shall be installed by the developer and inspected by the Town Code Enforcement Officer or his/her representative prior to any permits being issued.
- This parcel is comprised of Lima loam soil.

N/F Erdle Living Trust  
5071 Parish St. Ext.  
T.A.N. 97.02-2-26.200



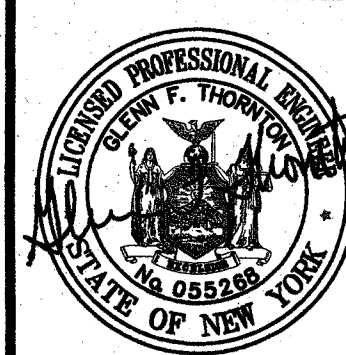
<b>APPROVALS</b>	
Planning Board Chairperson	11-14-19
Town Engineer	11/10/19
Town Water/Highway Superintendent	11/13/19

REVISIONS			
NO.	DESCRIPTION	DATE	BY
1	PRC COMMENTS	06/19/19	GFT
2	PLANNING BD. APPROVAL CONDITIONS	08/13/19	GFT
3	TOWN ENGINEER REVIEW COMMENTS	09/17/19	GFT

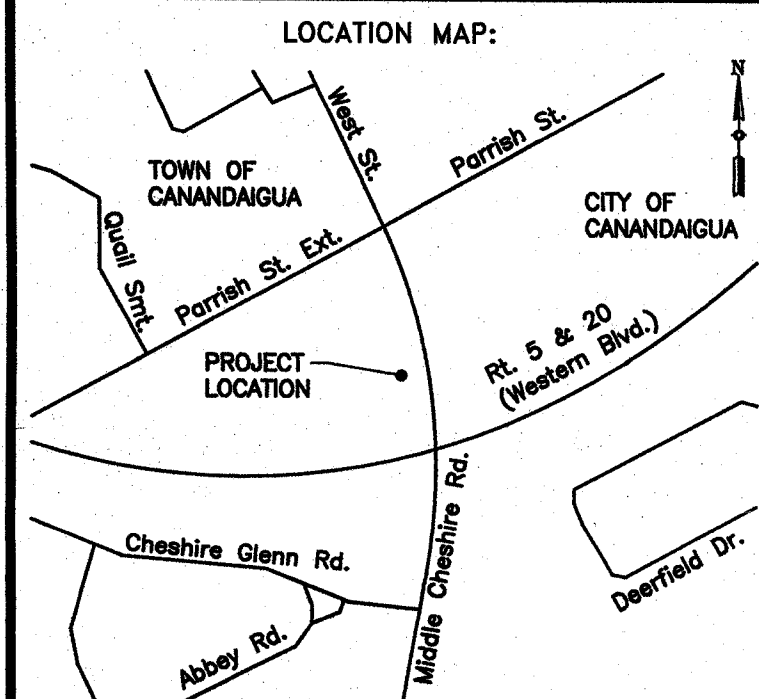
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**THORNTON**  
ENGINEERING LLP  
30 Assembly Drive, Suite 106  
Mendon, New York 14506

Consultant Engineers



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PROJECT NAME:  
**Hallstead Dental Office Parking Lot Relocation**  
3240 Middle Cheshire Rd.  
Town of Canandaigua  
Ontario County, NY

DRAWING TITLE: <b>Site Plan</b>	
FILE NAME: SITEPLAN.DWG	DESIGNED BY: GFT
DRAWN BY: HKT	CHECKED BY: GFT
APPROVED BY: GFT	DATE: JUNE 2019
SCALE: 1" = 30'	PROJECT NO.: 18-710
SHEET NO.: 1 OF 5	DRAWING NO.: S-1



1. Developer shall install erosion and siltation control measures during construction to prevent off-site transport and deposition of materials.
2. The temporary erosion/sedimentation control measures depicted on the site plan shall be supplemented with additional controls if found necessary during construction. Developer is responsible for establishing the controls during construction, and removing the controls following re-establishment of ground cover. Ground cover shall be established within 30 days of completion of final grading.
3. Straw bale sediment traps shall be placed as shown on the plan and as needed during construction.
4. All sedimentation control structures shall remain in effective operating condition.
5. All disturbed areas shall be stabilized immediately following removal of sediment control structures.
6. All points of construction ingress and egress shall be protected to prevent tracking of mud onto public ways.
7. Roof downspouts shall direct water away from the building.
8. In areas where soil disturbance activity has been temporarily or permanently ceased, temporary and/or permanent soil stabilization measures shall be installed and/or implemented within seven (7) days from the date the soil disturbance activity ceased. The soil stabilization measures selected shall be in conformance with the most current version of the technical standard, New York State Standards and Specifications for Erosion and Sediment Control.
9. Temporary Seed Mix (\$2 per 1,000 s.f.)

Annual Ryegrass	50% by weight	(90% purity)
Tall Fescue	50% by weight	(90% purity)

Permanent Seed Mix (\$5 per 1,000 s.f.)

Kentucky Bluegrass	45% by weight	(85% purity)
Red Fescue	40% by weight	(95% purity)
Common Ryegrass	15% by weight	(95% purity)

Lawn Fertilizer (\$8 per 1,000 s.f.)

Straw Mulch (75% ground cover)
10. No Phosphorous shall be used at planting time unless soil testing has been completed and tested by a Horticultural Testing Lab and the soil tests specifically indicate a phosphorous deficiency that is harmful, or will prevent new lawns and plantings from establishing properly.
11. If soil tests indicate a phosphorous deficiency that will impact plant and lawn establishment, phosphorous shall be applied at the minimum recommended level prescribed in the soil test following all NYSDEC regulations.
12. The dry well and rain gardens shall be constructed after all upstream areas have been fully stabilized. The locations of the dry well and rain gardens shall be delineated with orange construction paint and well marked in these areas.

- It is the site contractor's responsibility to provide stone or asphalt pavement surfaces throughout construction to satisfy staff and patient parking needs. Appropriately graded stone or pavement handicap accessible routes from the parking areas into the building shall also be continuously provided.
- Step 1 Delineate the limits of disturbance, drywell and rain garden locations, and existing leech field.
- Step 2 Install silt fence at the locations indicated on the plan.
- Step 3 Install the new driveway onto Middle Cheshire Road including stone base course material.
- Step 4 Install stabilized construction entrance.
- Step 5 Remove asphalt pavement areas to be abandoned.
- Step 6 Strip topsoil and place it within the designated storage areas or remove it from the site.
- Step 7 Mass grade the development area.
- Step 8 Fine grade all pavement subgrade areas and place geotextile fabric and stone base course material.
- Step 9 Install underground utilities
- Step 10 Fine grade, topsoil, seed, and mulch all areas that will not require future disturbance.
- Step 11 Construct the rain gardens and dry well after all upstream areas have been fully stabilized.
- Step 12 Construct asphalt pavements, pavement overlays, and concrete sidewalks.
- Step 13 Following construction of pavements, topsoil, seed, and mulch all remaining disturbed areas.
- Step 14 Following establishment of a healthy growth of turf within all disturbed areas, remove the silt fence.

- Litter and construction debris will be picked up on a daily basis and placed within covered trash receptacles.
- Construction materials that are temporarily stored in the work area will be secured with straps or anchors, or covered to prevent wind transport.
- All points of entry into the storm drainage system will be screened to prevent entry of litter or debris.
- Construction chemicals and hazardous substances will be stored in accordance with all applicable environmental regulations. The contractor will have appropriate spill containment devices on the jobsite at all times.

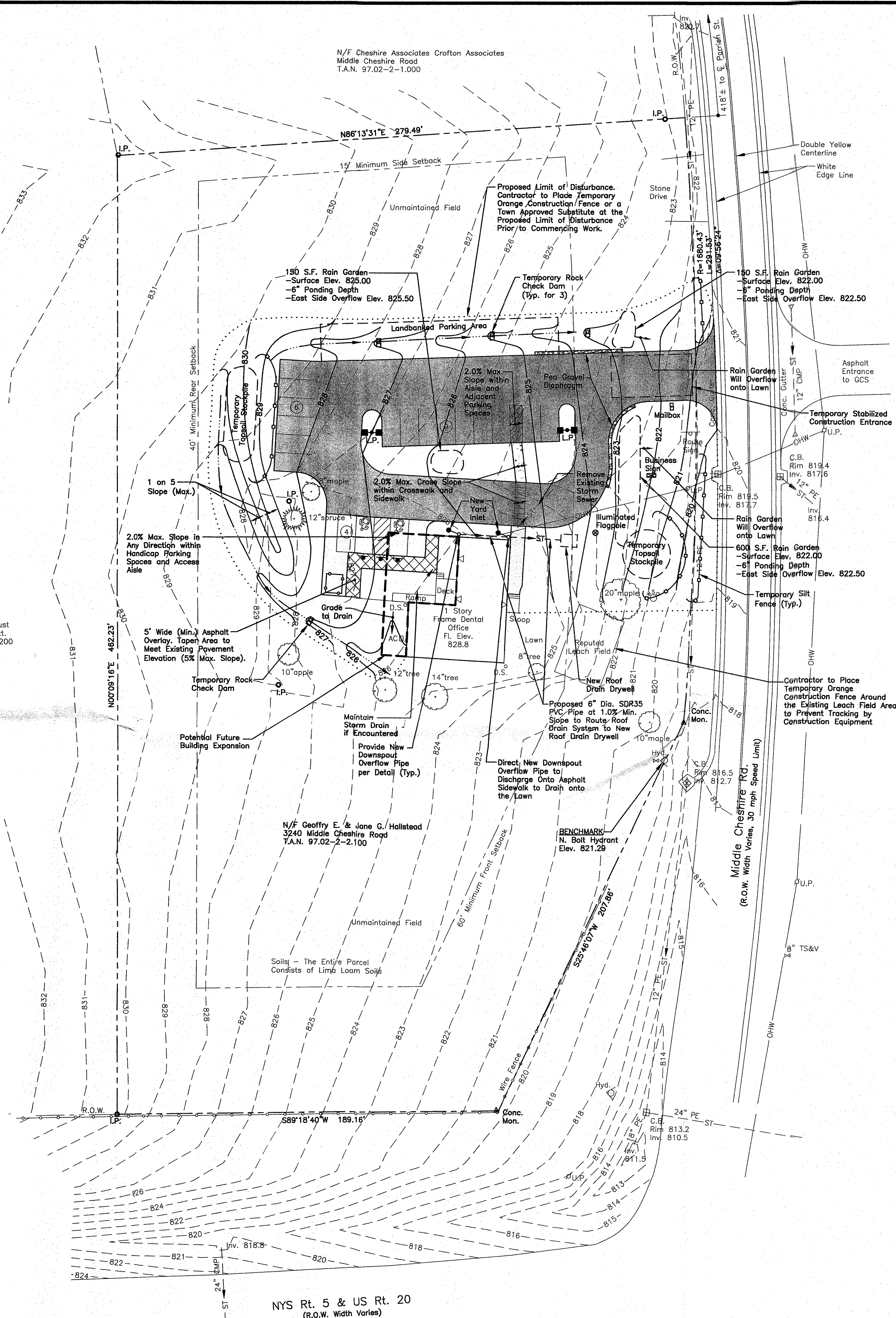
## Contractor Name and Telephone

Contractor Name and Telephone

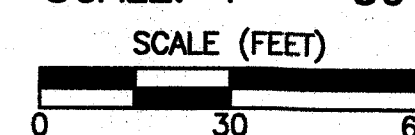
Contractor Address

Contractor Signature \_\_\_\_\_ Date \_\_\_\_\_

APPROVALS	
<i>James E. Stewart</i>	4-13-79
Planning Board Chairperson	Date
<i>John S. H. St. mes</i>	11/18/79
Town Engineer	Date
<i>James E. Clark</i>	11/18/79
Town Water/Highway Superintendent	Date



SCALE: 1" = 30'

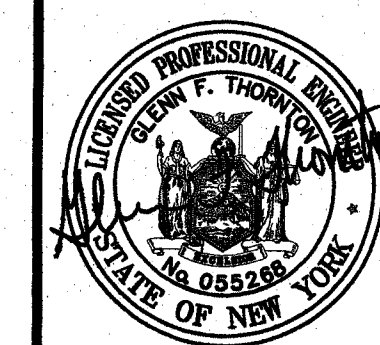
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Map of the Project Location in Canandaigua, New York. The map shows the intersection of West St. and Parrett St. The project location is marked with a dot at the intersection of Parrett St. and Rt. 5 & 20 (Western Blvd.). The map also shows the intersection of Cheshire Glenn Rd. and Abbey Rd. The map is divided into the TOWN OF CANANDAIGUA and the CITY OF CANANDAIGUA. A north arrow is located in the top right corner.

## Hallstead Dental Office Parking Lot Relocation

3240 Middle Cheshire Rd.  
Town of Canandaigua  
Ontario County, NY

# Grading, Drainage, and Soil Erosion/ Sediment Control Plan

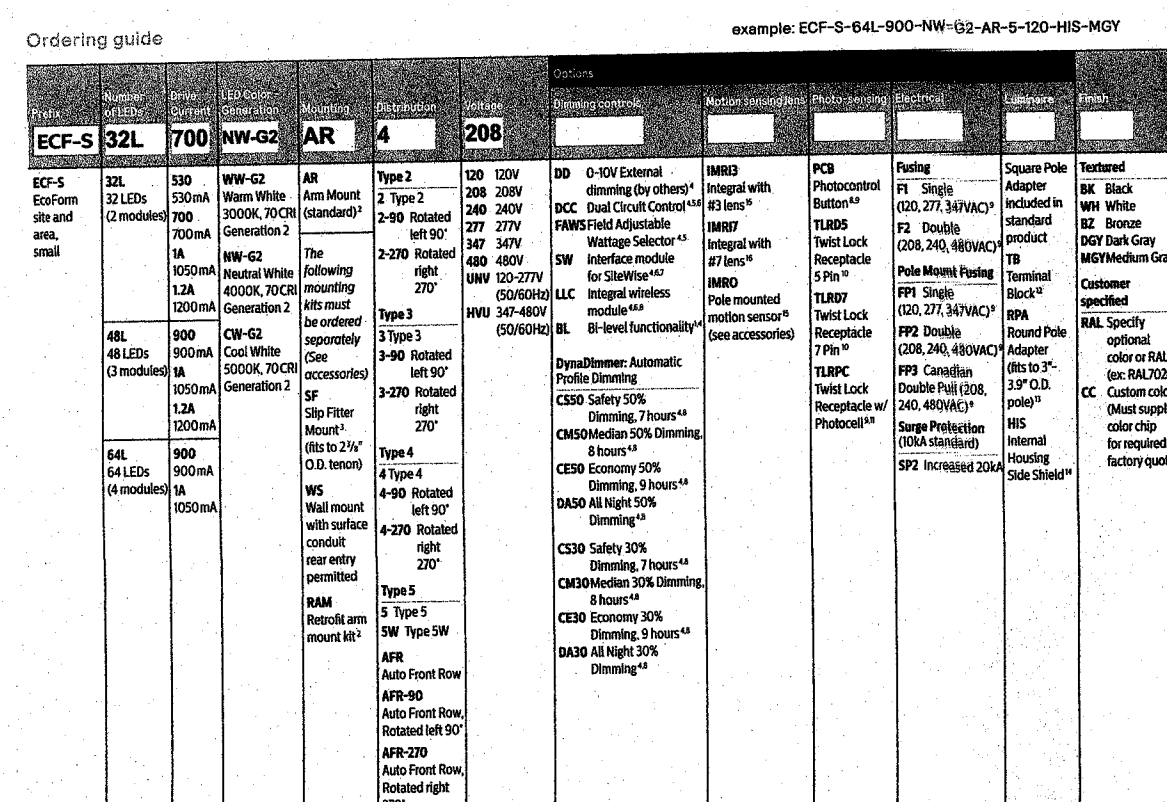
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DRAWN BY: <b>HKT</b>	CHECKED BY: <b>GFT</b>
APPROVED BY: <b>GFT</b>	DATE: <b>JUNE 2019</b>
SCALE: <b>1" = 30'</b>	PROJECT NO.: <b>18-710</b>
SHEET NO.: <b>2 OF 5</b>	DRAWING NO.: <b>S-2</b>



1. All plants shall meet or exceed the requirements set forth in the latest edition of the American Standard for Nursery Stock by the American Association of Nurserymen, ANSI Z60.1.
2. Upon completion and acceptance of the landscaping by the Town of Canandaigua, a two (2) year maintenance guarantee is required.
3. All planting beds to receive 3" of shredded hardwood bark mulch and weed barrier.
4. No trees are to be planted within 20' of overhead wires or within 5' of underground utilities.
5. Stake and wrap tree trunks upon planting.
6. Planting backfill mixture to consist of 4 parts of topsoil and 1 part peat moss. Provide 10 lb. of 5-10-5 fertilizer per 1 cubic yard of planting backfill.
7. Apply lawn seed mix at a rate of 5 lbs. per 1,000 s.f. of lawn area using the following proportions by weight:  

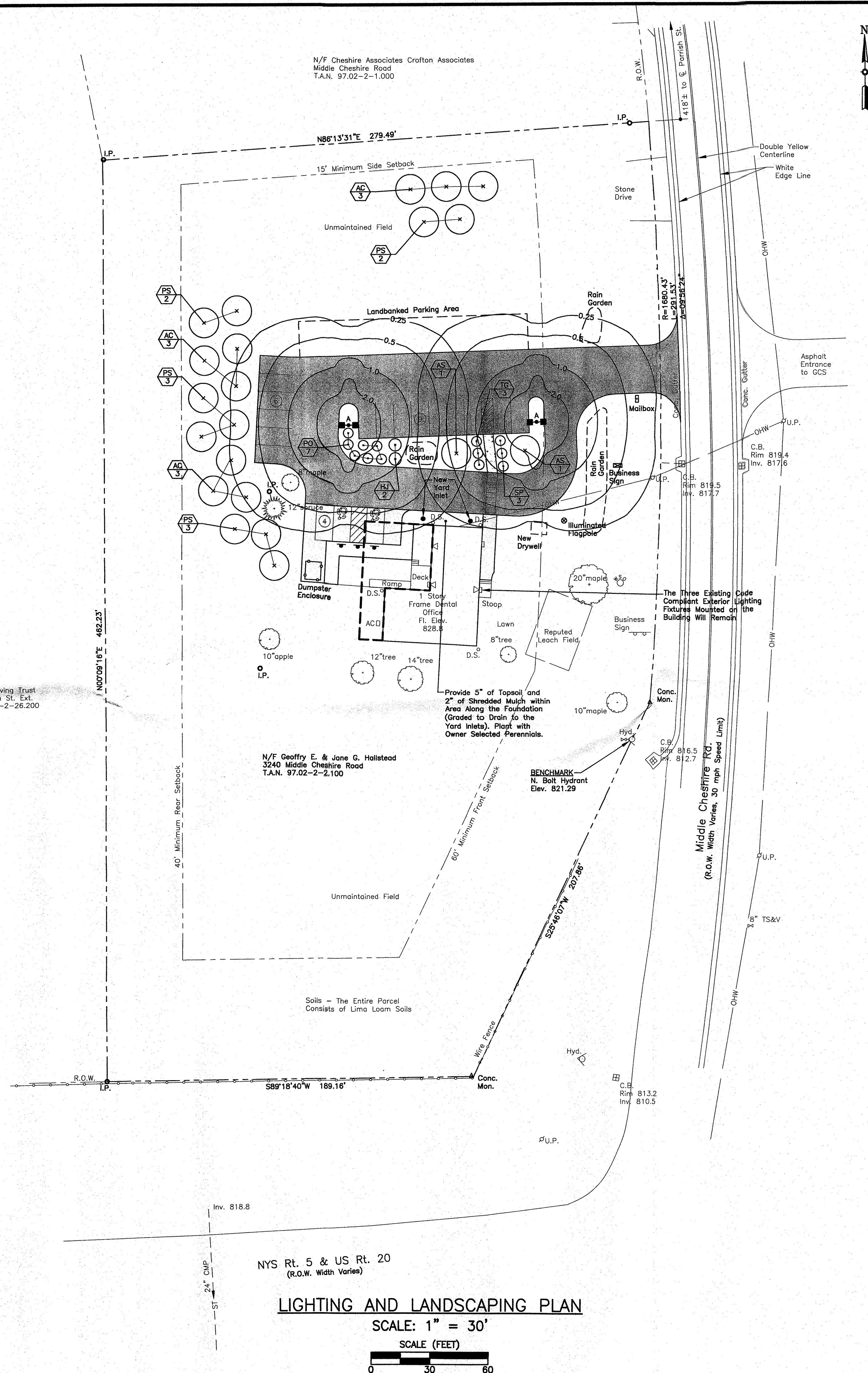
<u>  Lawn Areas  </u>	
<u>% by Weight</u>	<u>Species or Variety</u>
45	Kentucky Bluegrass
40	Red Fescue (commercial)
15	Common Ryegrass

1. The locations of new underground lighting circuits have not been depicted on this plan. The Contractor shall provide necessary circuitry to energize the new lighting system per the detail on this drawing.
2. All site lighting is to comply with the lighting standards contained in Town Code Chapter 220, Section 220-77.



QUANTITY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	NOTES
9	AC	Abies concolor	White Concolor Fir	6' to 7' Height	Balled and Burlapped	
10	PS	Pinus strobus	Eastern White Pine	6' to 8' Height	Balled and Burlapped	
3	SP	Syringa patula "Miss Kim"	Miss Kim Lilac	24" Height	Container	
7	PO	Physocarpus euphratis	Dwarf Ninebark	18" to 24" Height	Container	6' to 7' O.C.
2	HJ	Juniperus chinensis "Hetzii Columnaris"	Columnar Hetz Juniper	4' to 5' Height	Balled and Burlapped	6' to 7' O.C.
3	TG	Thuja "Green Giant"	Green Giant Arborvitae	5' to 6' Height	Balled and Burlapped	6' to 7' O.C.
2	AS	Acer saccharum "Fidrezam"	Fidrezam Sugar Maple	3" Caliper	Balled and Burlapped	

LIGHTING FIXTURE SCHEDULE				
Designation	No. of Fixtures	Fixture	Lumens	Mounting
A	Two Back to Back	Garco Lighting EcoForm Series LED Luminaire, Type 4 Distribution, with Internal Houseside Shield	6900	20' Mounting Height on Pole



REVISIONS			
NO.	DESCRIPTION	DATE	BY
A	PRC COMMENTS	06/19/19	GFT
B	PLANNING BD. APPROVAL CONDITIONS	08/13/19	GFT
C	TOWN ENGINEER REVIEW COMMENTS	09/17/19	GFT


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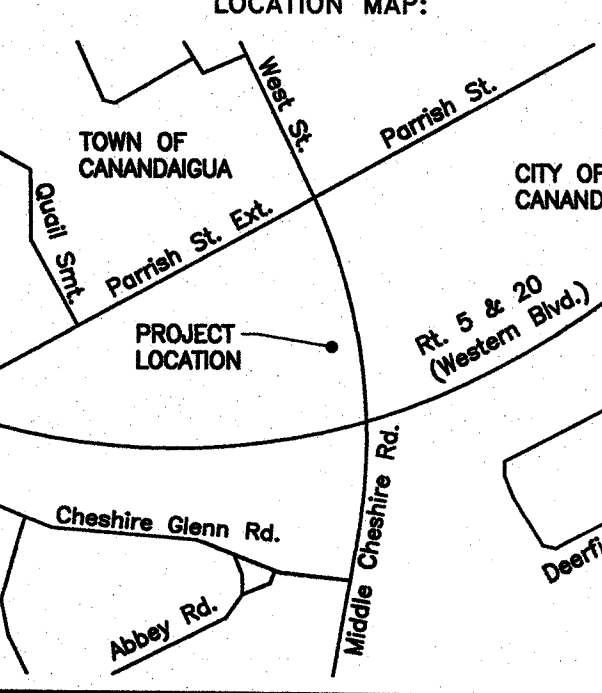
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LOCATION MAP:



PROJECT NAME:

## Hallstead Dental Office Parking Lot Relocation

3240 Middle Cheshire Rd.  
Town of Canandaigua  
Ontario County, NY

DRAWING TITLE:

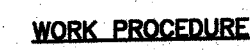
## Lighting and Landscaping Plan Plan

FILE NAME: <b>LTLANDSCAPE.DWG</b>	DESIGNED BY: <b>GFT</b>
DRAWN BY: <b>HKT</b>	CHECKED BY: <b>GFT</b>
APPROVED BY: <b>GFT</b>	DATE: <b>JUNE 2019</b>
SCALE: <b>1" = 30'</b>	PROJECT NO.: <b>18-710</b>
SHEET NO.: <b>3 OF 5</b>	DRAWING NO.: <b>S-3</b>

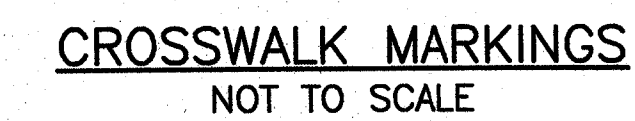




1. PAVEMENT SUBGRADE AREAS SHALL BE COMPACTED TO A DEPTH OF SIX INCHES AND TO A DENSITY OF NOT LESS THAN 95% OF THE MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557.
2. EXISTING TOPSOIL (6" MINIMUM THICKNESS) SHALL BE REMOVED FROM ALL PROPOSED PAVEMENT AREAS. AREAS BELOW THE PAVEMENT SUBGRADE SHALL BE FILLED WITH COMPACTED GRANULAR SUBBASE COURSE.



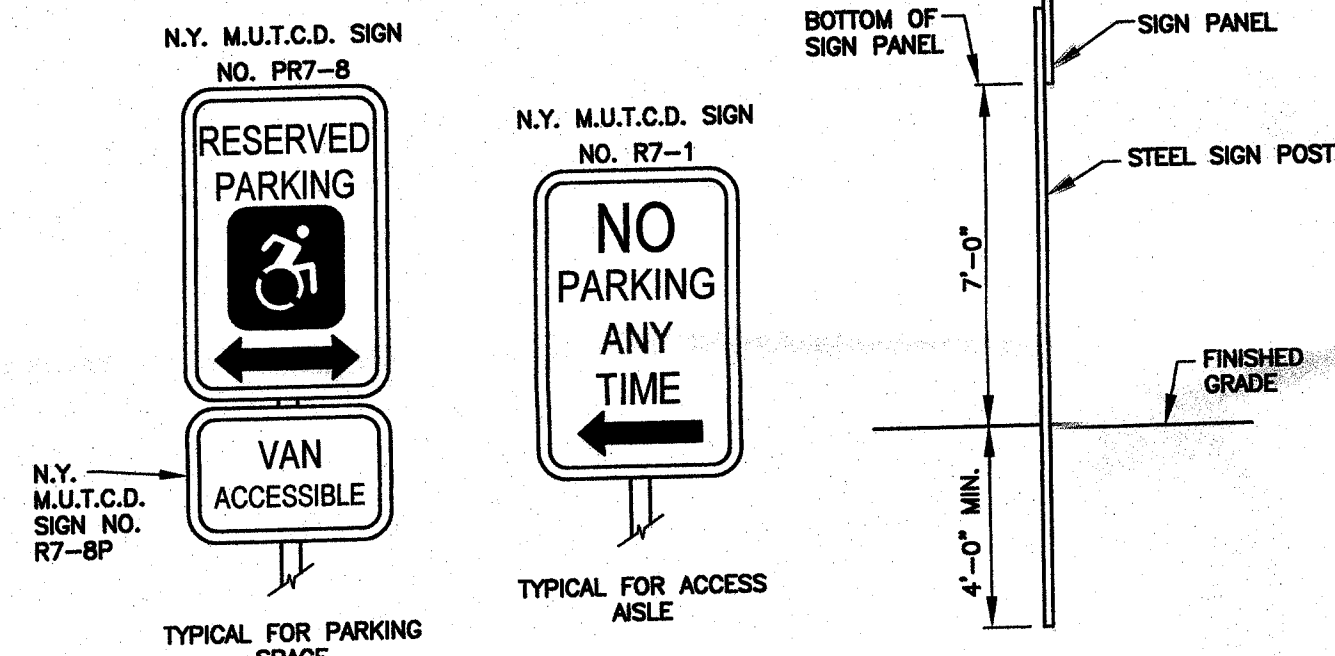
- STEP 1 CLEAN AND FILL PAVEMENT CRACKS (1/4" WIDE OR LARGER) WITH AN ASPHALT FILLER.
- STEP 2 THOROUGHLY CLEAN PAVEMENT SURFACES OF ALL DEBRIS.
- STEP 3 APPLY ASPHALT TACK COAT UPON A CLEAN AND DRY PAVEMENT THROUGHOUT THE ENTIRE OVERLAY AREA.
- STEP 4 PLACE AND COMPACT 1 1/2" (MAX. COMPACTED THICKNESS) OF HOT MIX ASPHALT TYPE 7 TOP COURSE. MULTIPLE LIFTS OF ASPHALT PAVEMENT OVERLAY MAY BE REQUIRED IN SOME AREAS. THE ASPHALT SURFACE SHALL BE SLOPED TO DRAIN WITHOUT PONDING WATER.



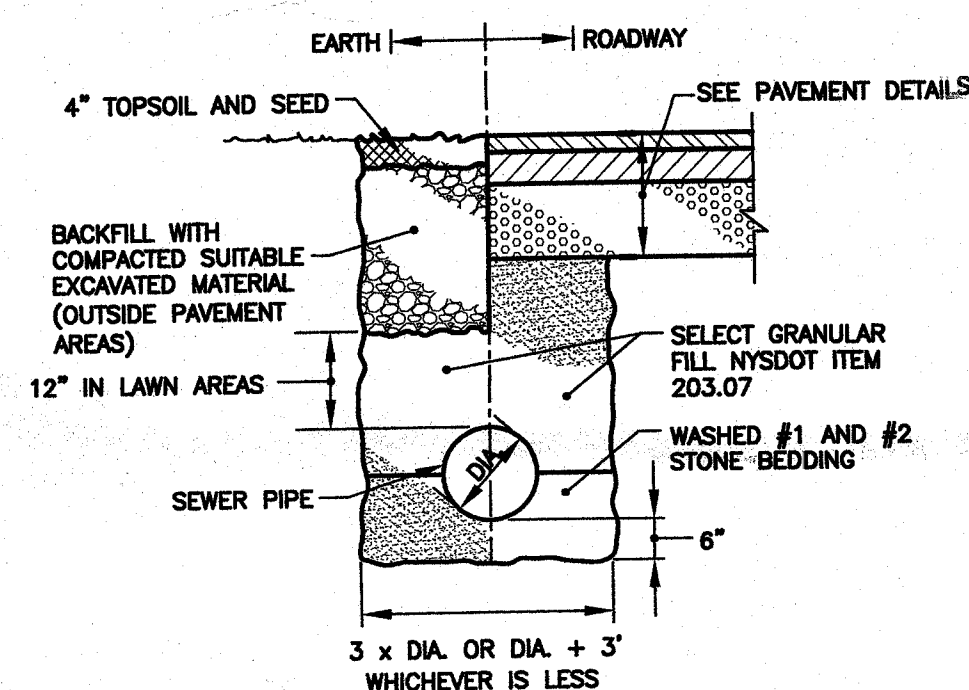
ASPHALT PAVEMENT  
NOT TO SCALE

ASPHALT OVERLAY  
NOT TO SCALE

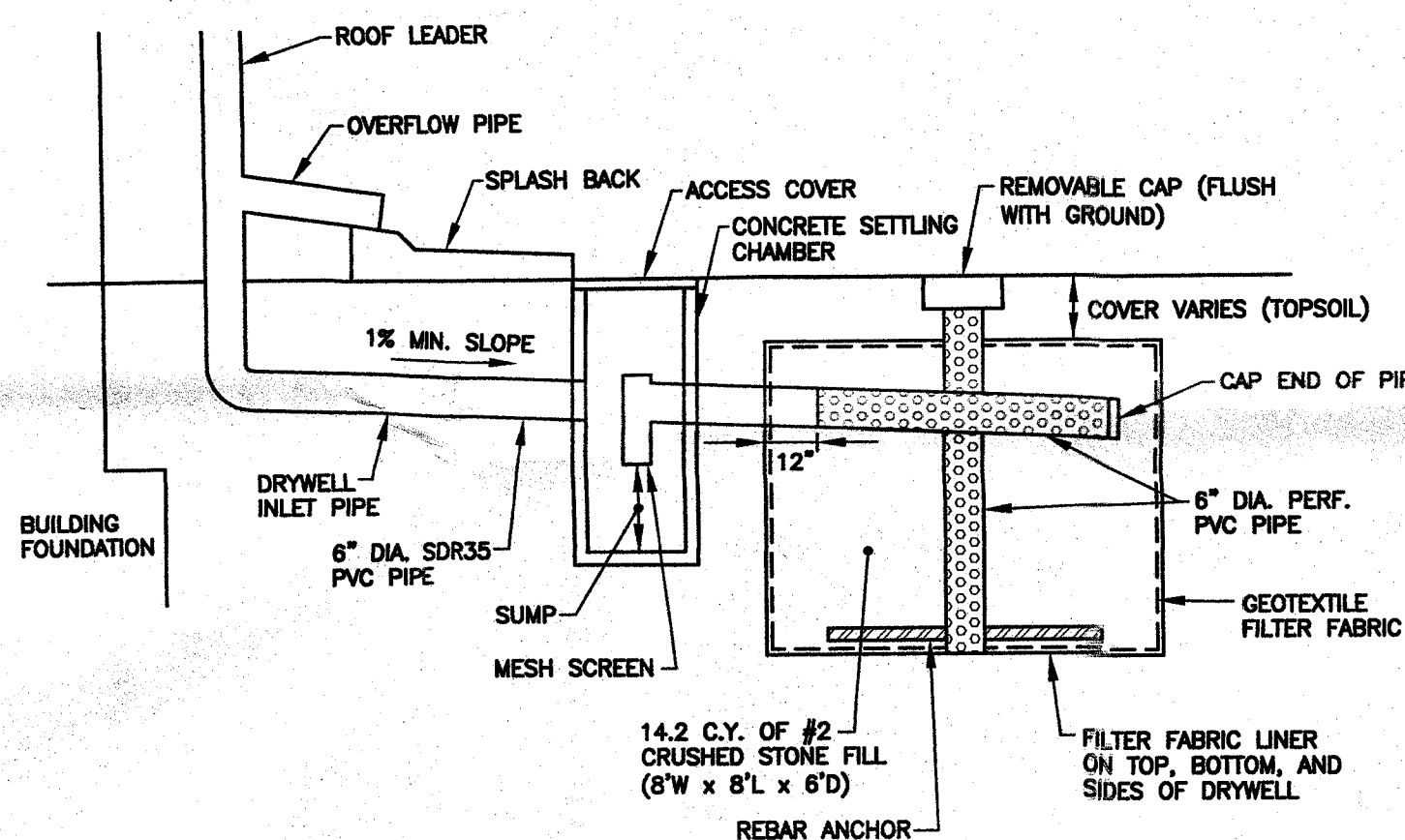
PAVEMENT MARKINGS  
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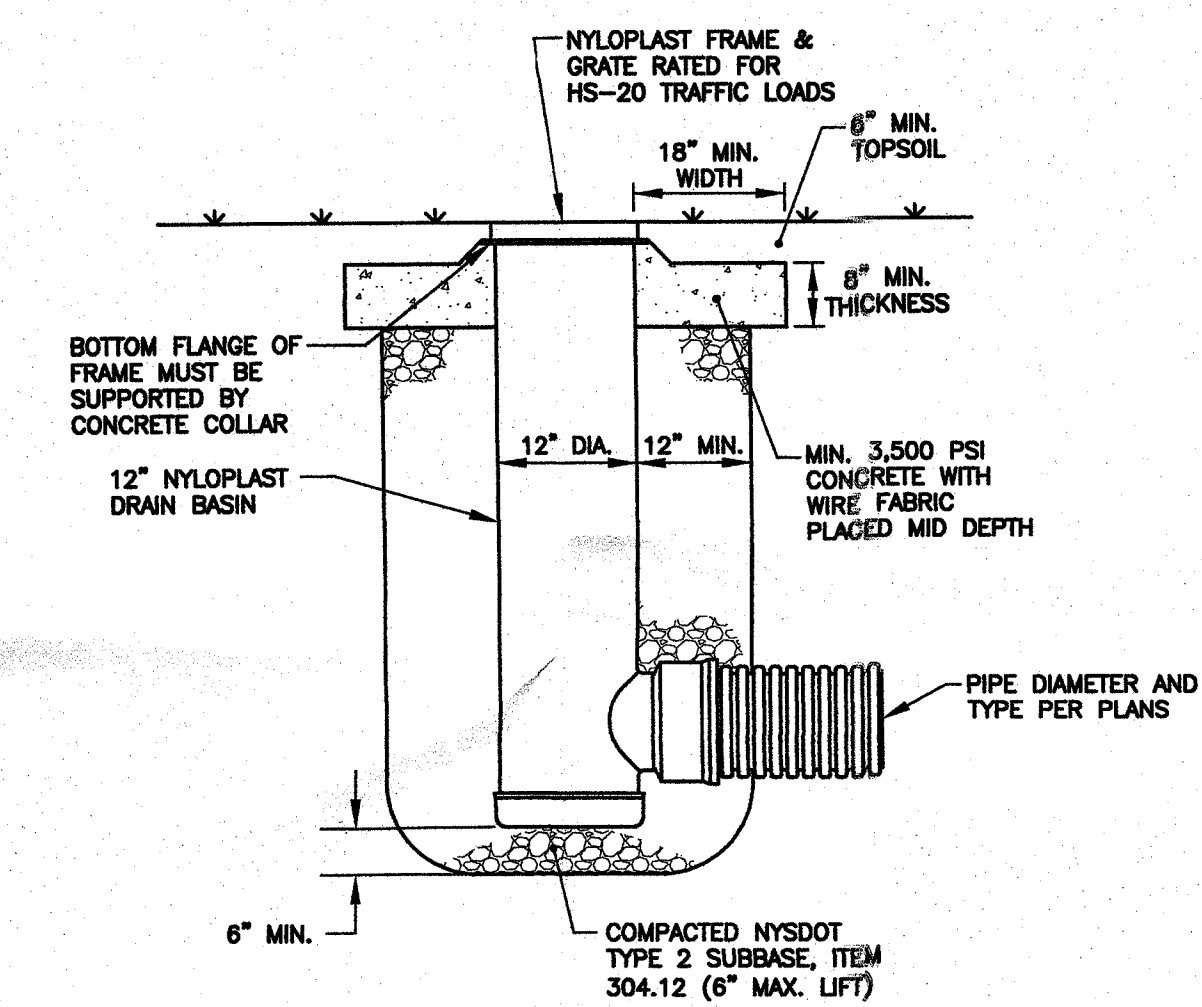
## HANDICAP PARKING SIGNS



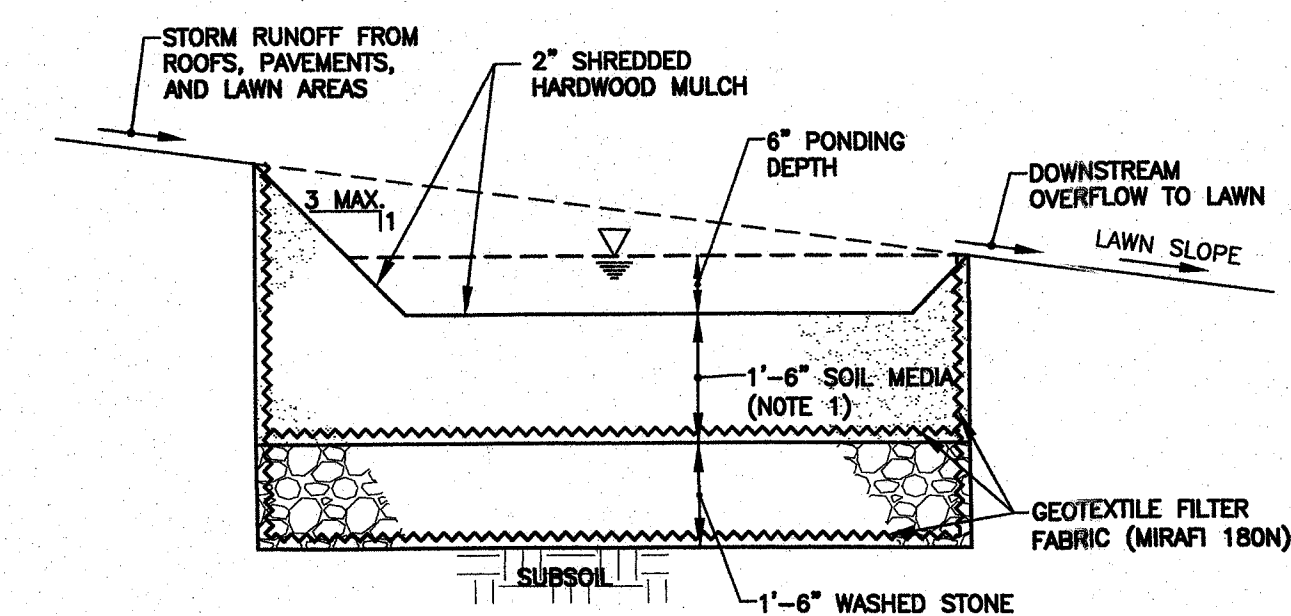
STORM SEWER INSTALLATION  
NOT TO SCALE



ROOF DRAIN DRYWELL  
NOT TO SCALE

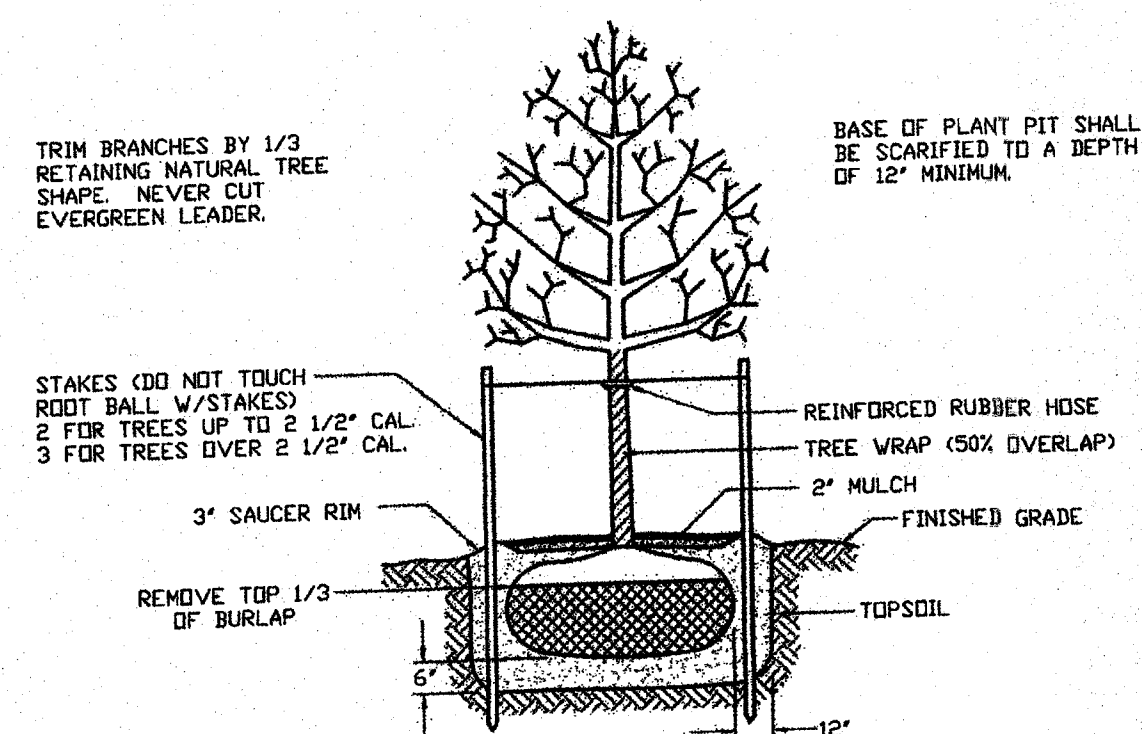


YARD INLET  
NOT TO SCALE

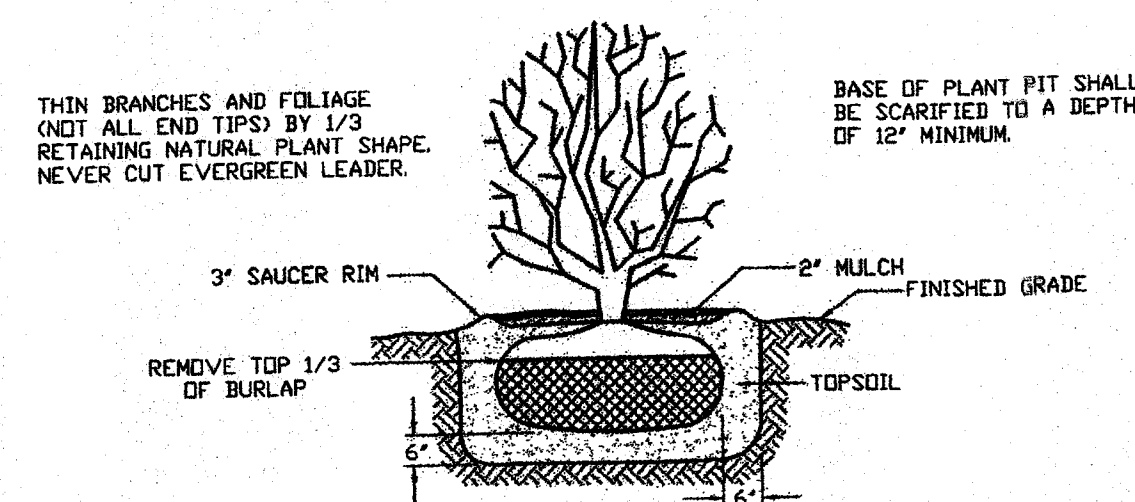


- ## NOTES

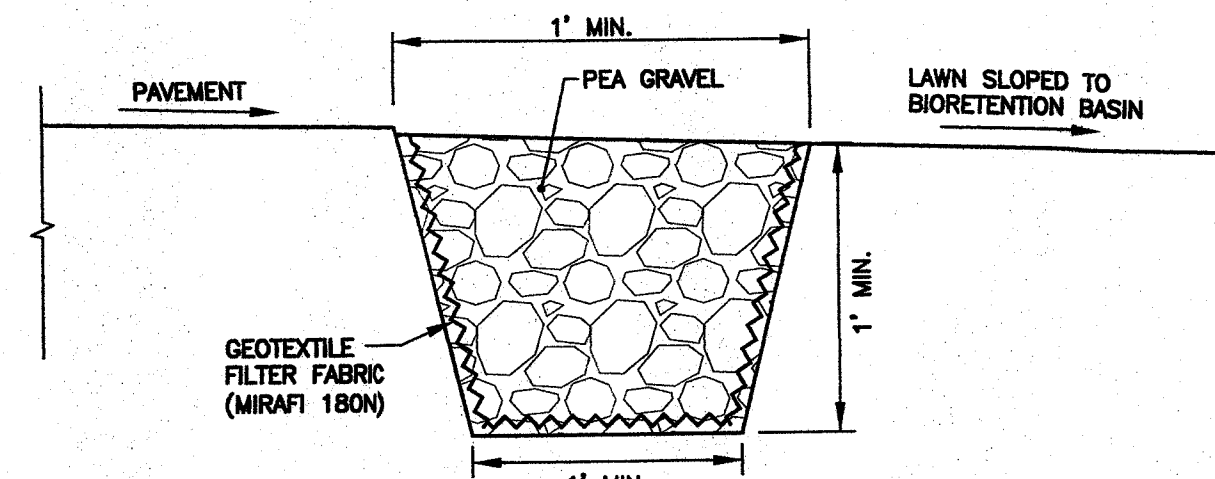
1. SOIL MEDIA SHALL CONSIST OF BLENDED 50% TO 70% SAND AND 50% TO 30% TOPSOIL.
2. LANDSCAPE STONES, AND PLANTS THAT ARE TOLERANT TO BOTH WET AND DRY CONDITIONS, SHOULD BE PROVIDED. SUGGESTED PLANTS INCLUDE RED OSIER DOGWOOD, ARROWWOOD, WINTERBERRY, WITCH HAZEL, BROOK-SIDE AHER, SWEET PEPPERBUSH, SWEET GRASS, NEW ENGLAND ASTER, WOODRASS, CLIFF COMEFLOWER, AND FOX SEGE. PLANTS MUST BE IN ACCORDANCE WITH THE NYSDC RECOMMENDED SPECIES LIST.



TYPICAL TREE PLANTING  
NOT TO SCALE



TYPICAL SHRUB PLANTING  
NOT TO SCALE



PEA GRAVEL DIAPHRAGM  
NOT TO SCALE

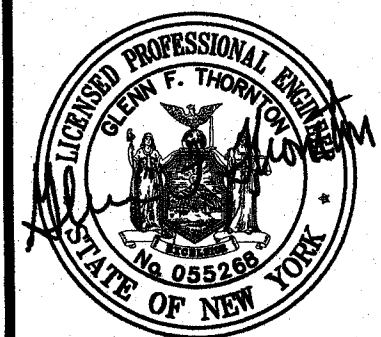
RAIN GARDEN  
NOT TO SCALE

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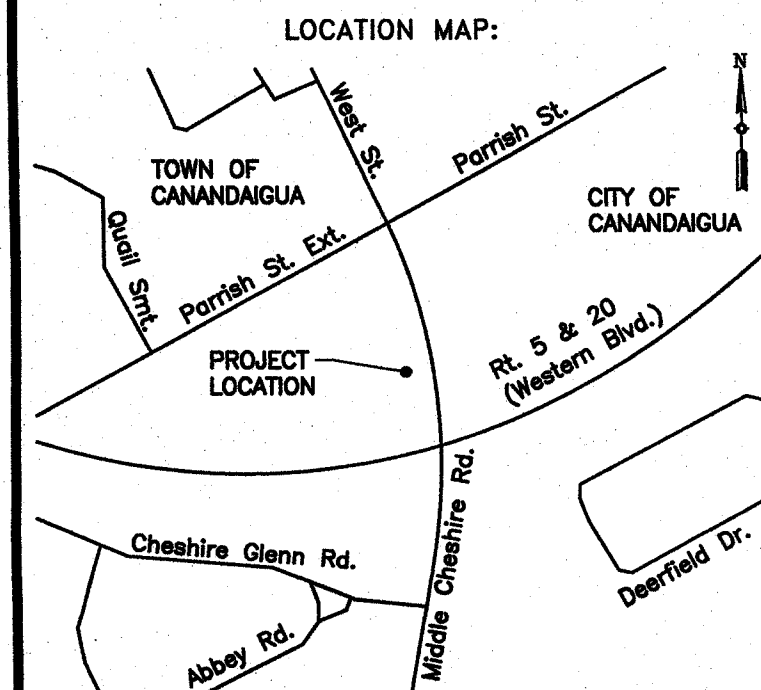
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**LOCATION MAP:**



PROJECT NAME:

# Hallstead Dental Office Parking Lot Relocation

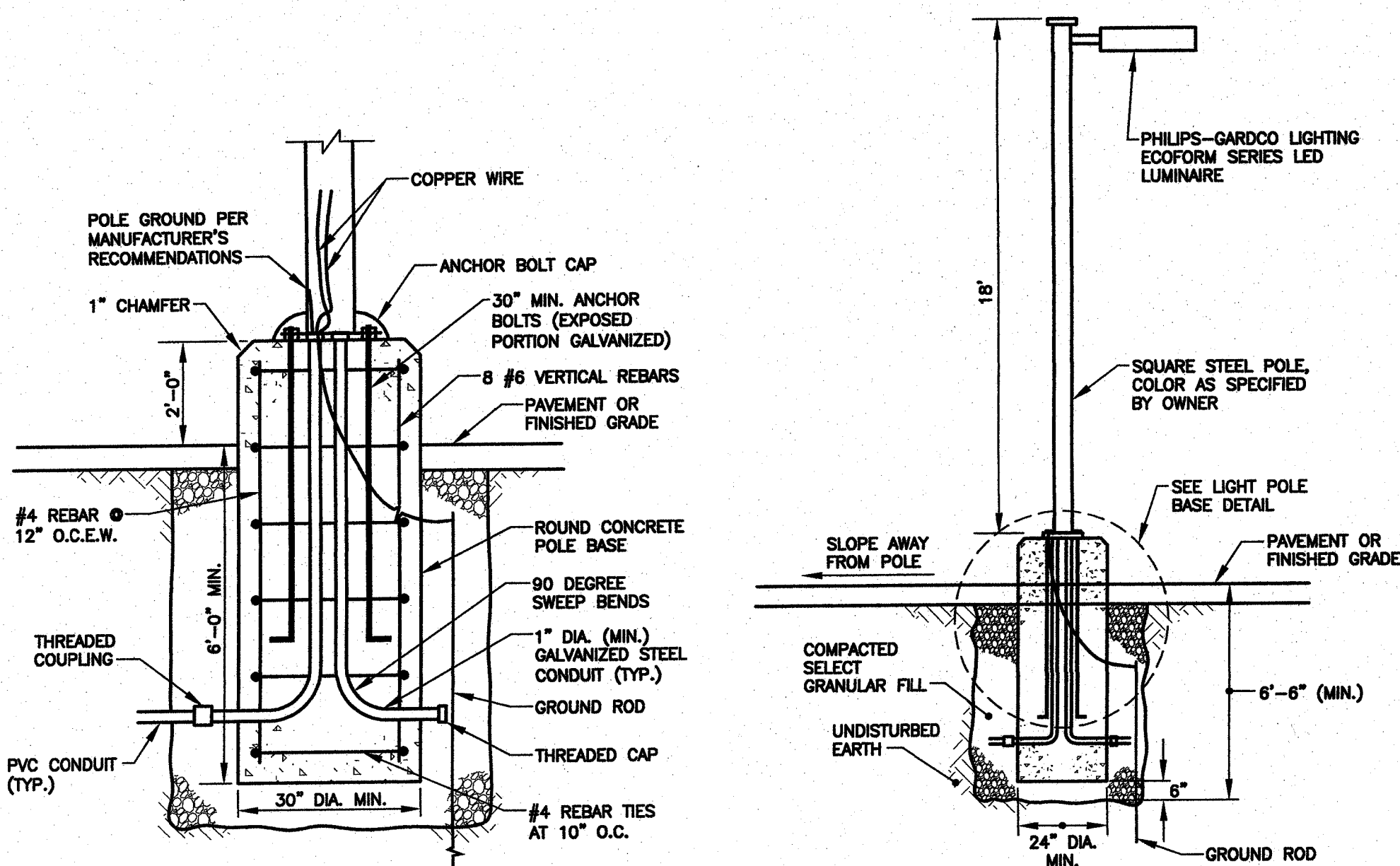
3240 Middle Cheshire Rd.  
Town of Canandaigua  
Ontario County, NY

**DRAWING TITLE:**

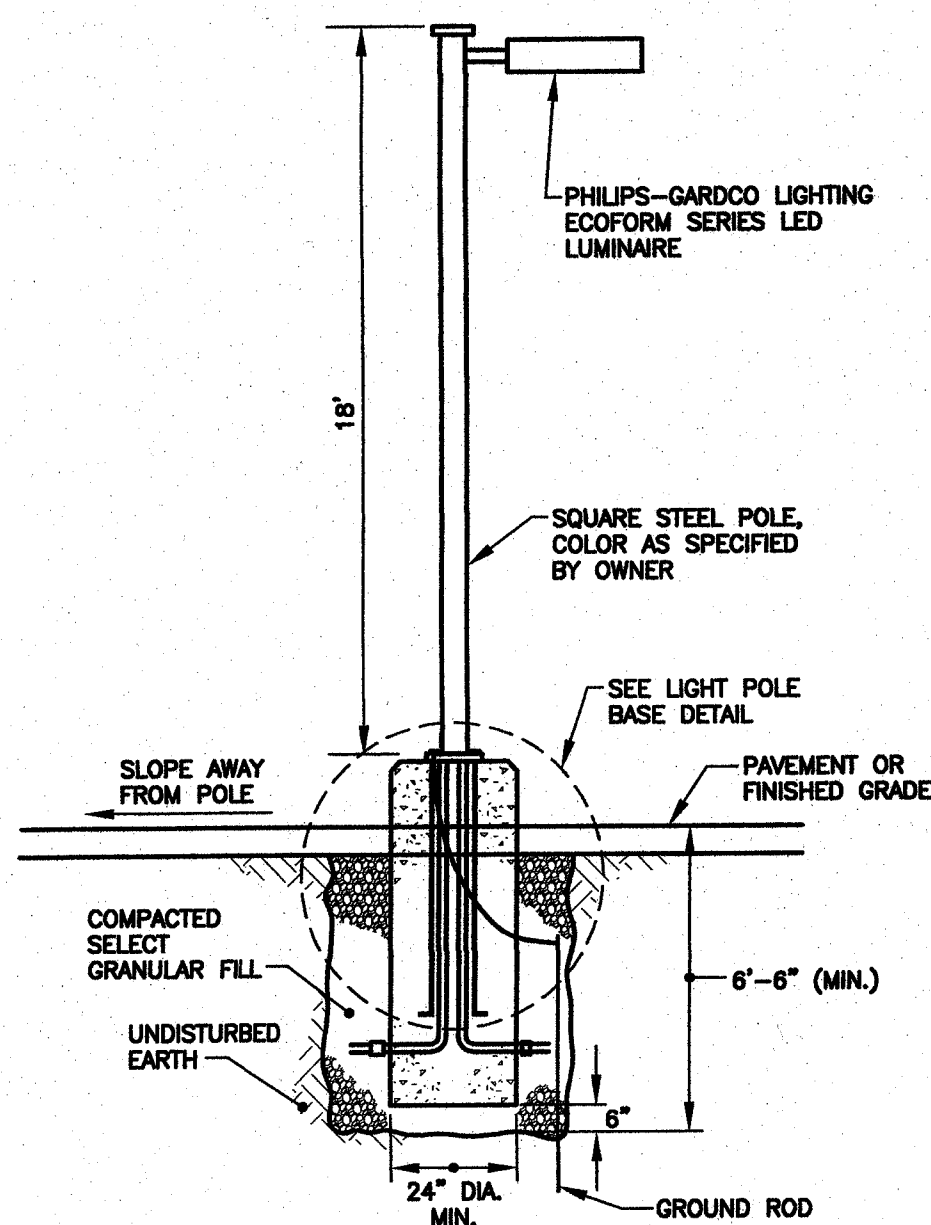
## Miscellaneous Details

FILE NAME: <b>DETAILS.DWG</b>	DESIGNED BY: <b>GFT</b>
DRAWN BY: <b>HKT</b>	CHECKED BY: <b>GFT</b>
APPROVED BY: <b>GFT</b>	DATE: <b>JUNE 2019</b>
SCALE: <b>NOT TO SCALE</b>	PROJECT NO.: <b>18-710</b>
SHEET NO.: <b>4 OF 5</b>	DRAWING NO.: <b>D-1</b>

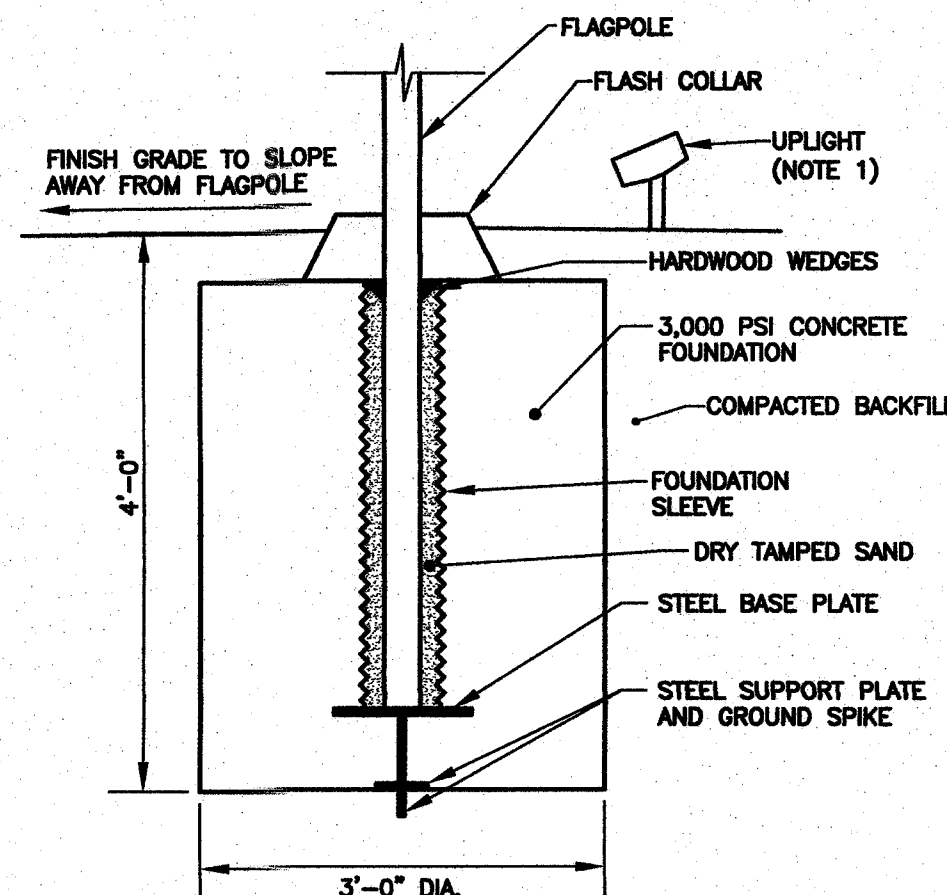




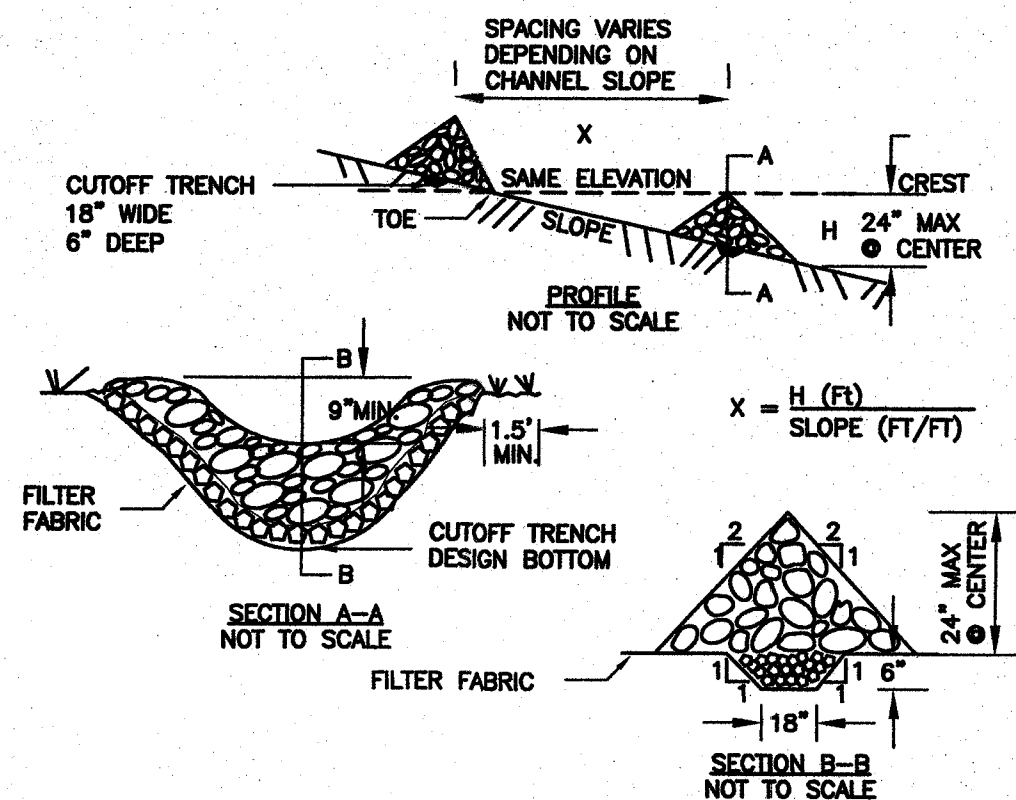
**LIGHT POLE BASE**  
NOT TO SCALE



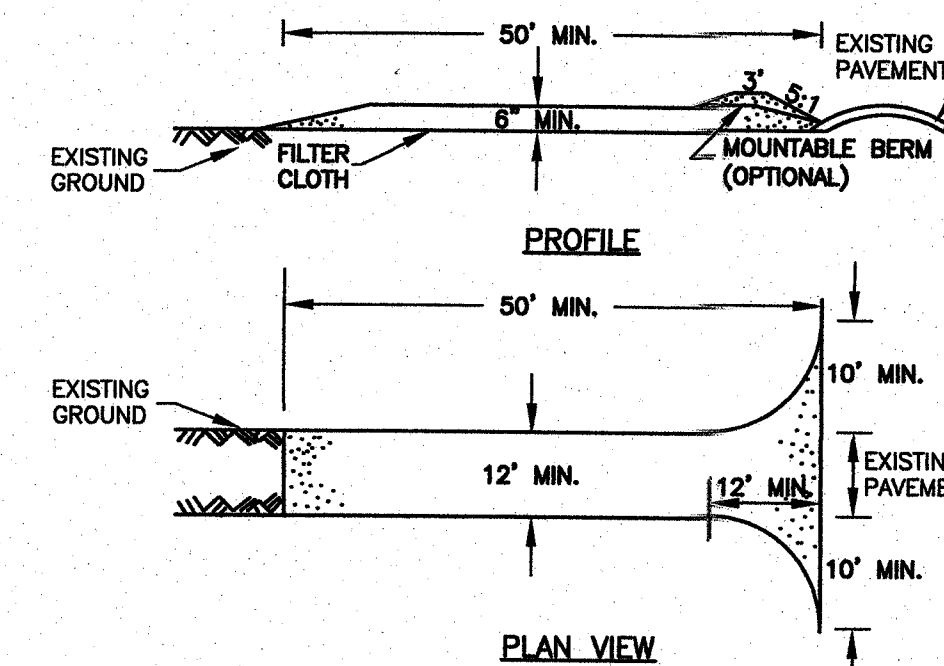
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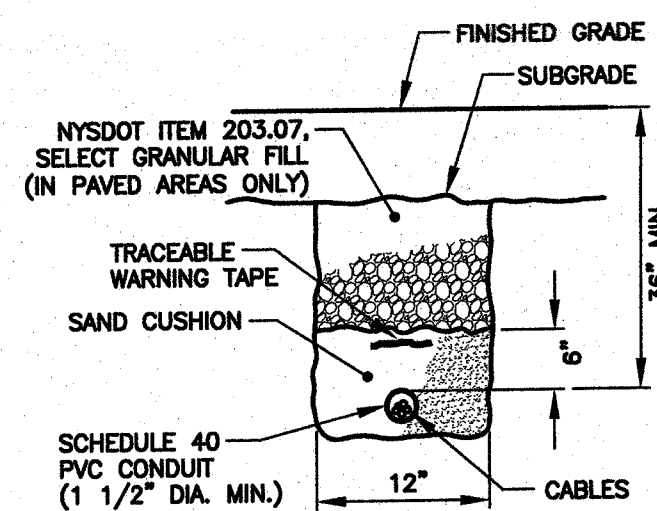
**FLAGPOLE FOUNDATION**  
NOT TO SCALE



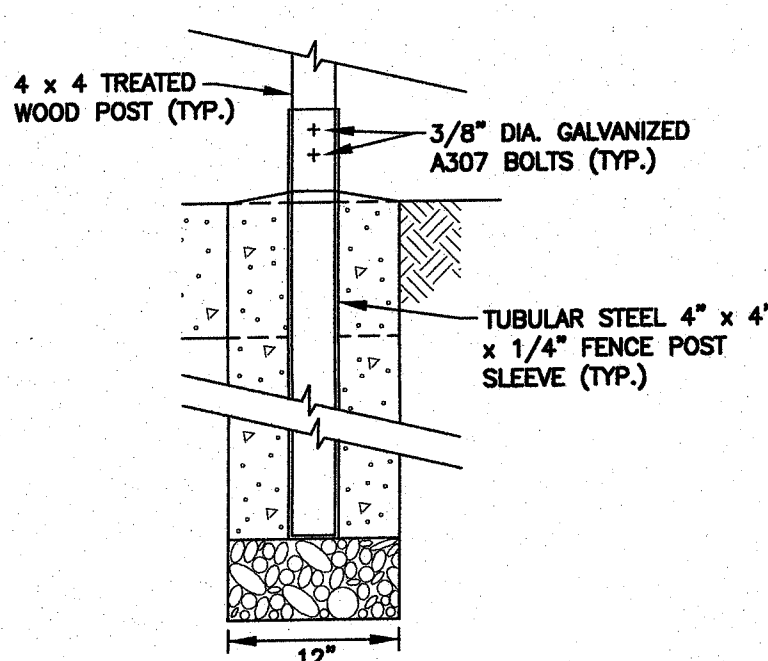
**TEMPORARY ROCK CHECK DAM**  
NOT TO SCALE



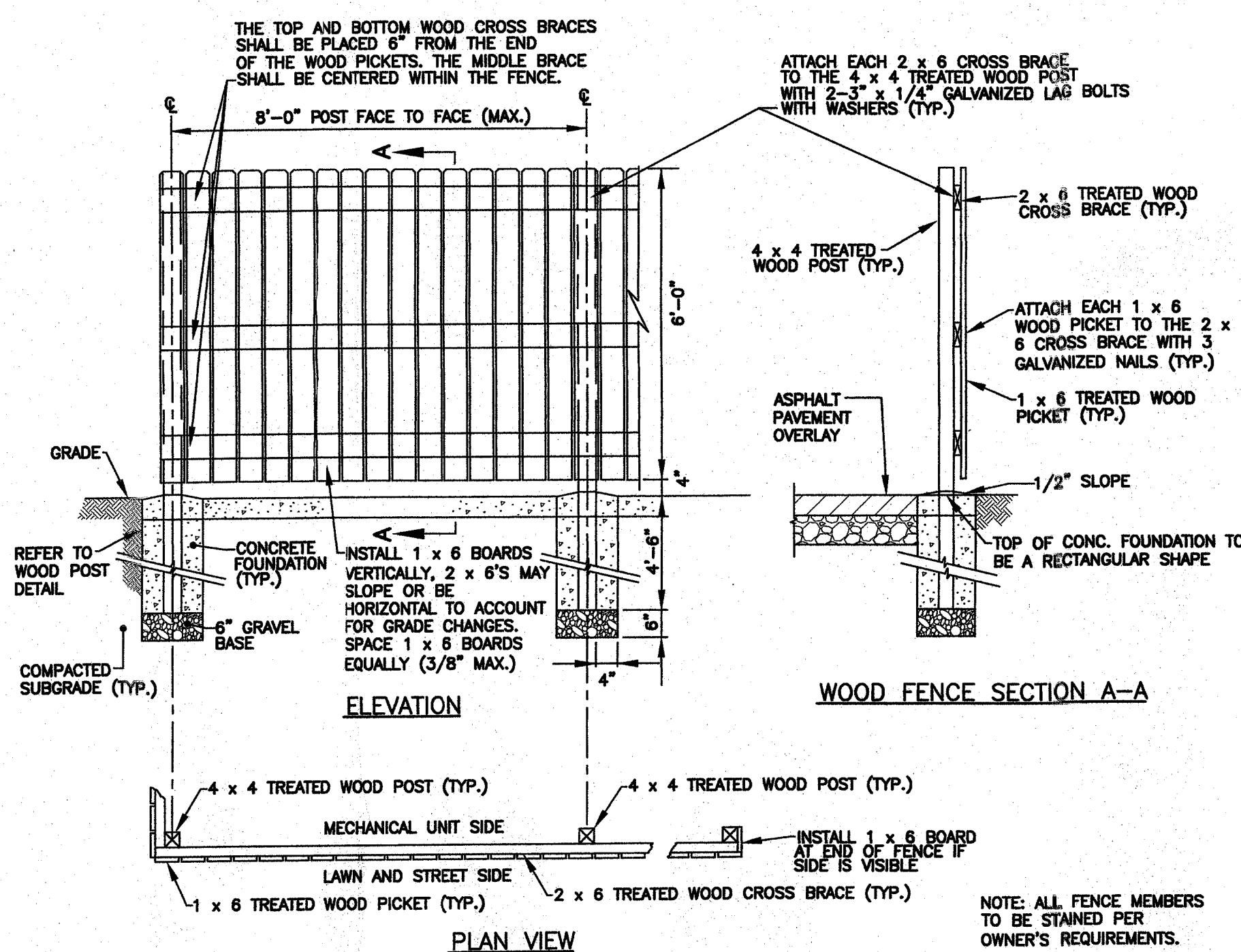
**STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE



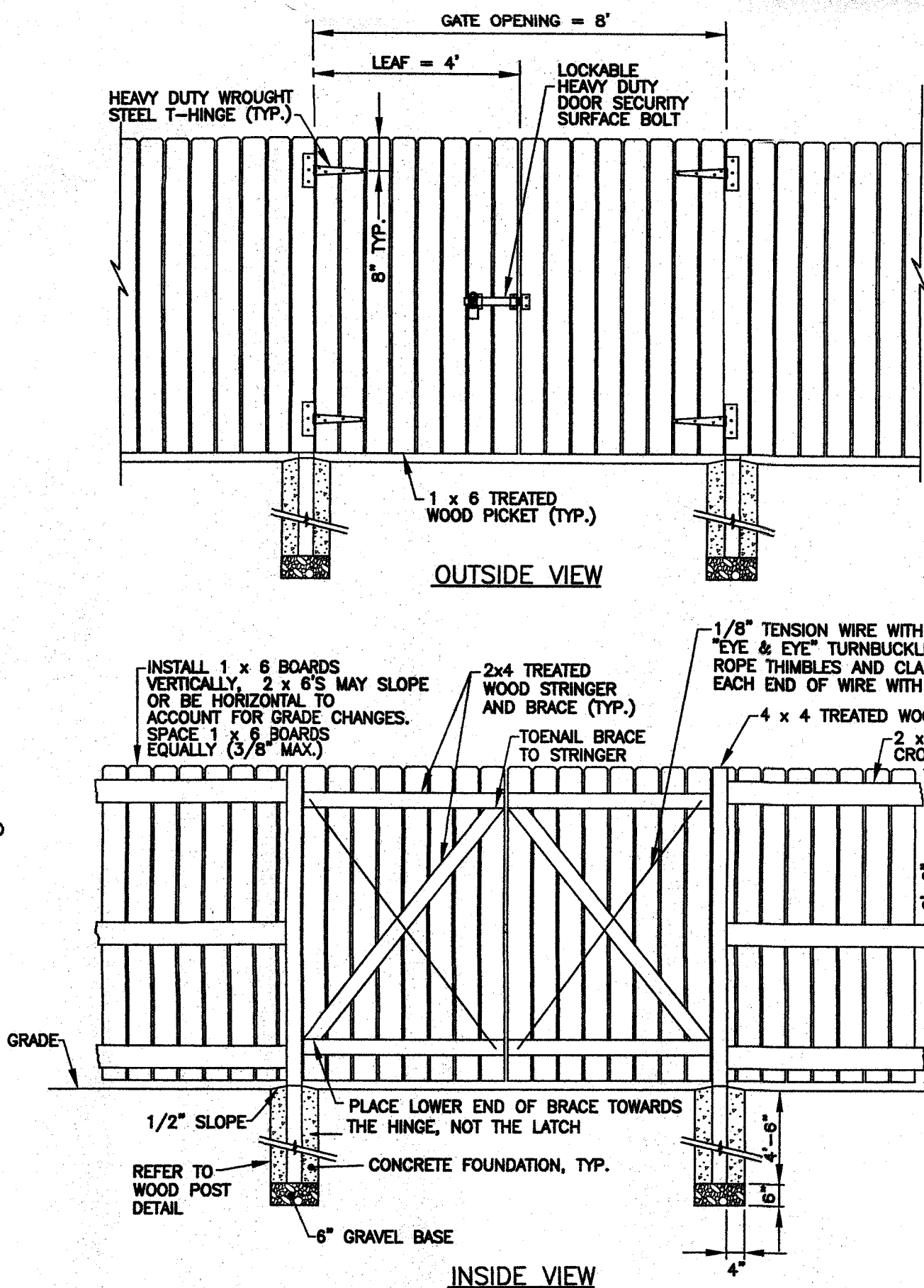
**CONDUIT INSTALLATION AND TRENCH**  
NOT TO SCALE



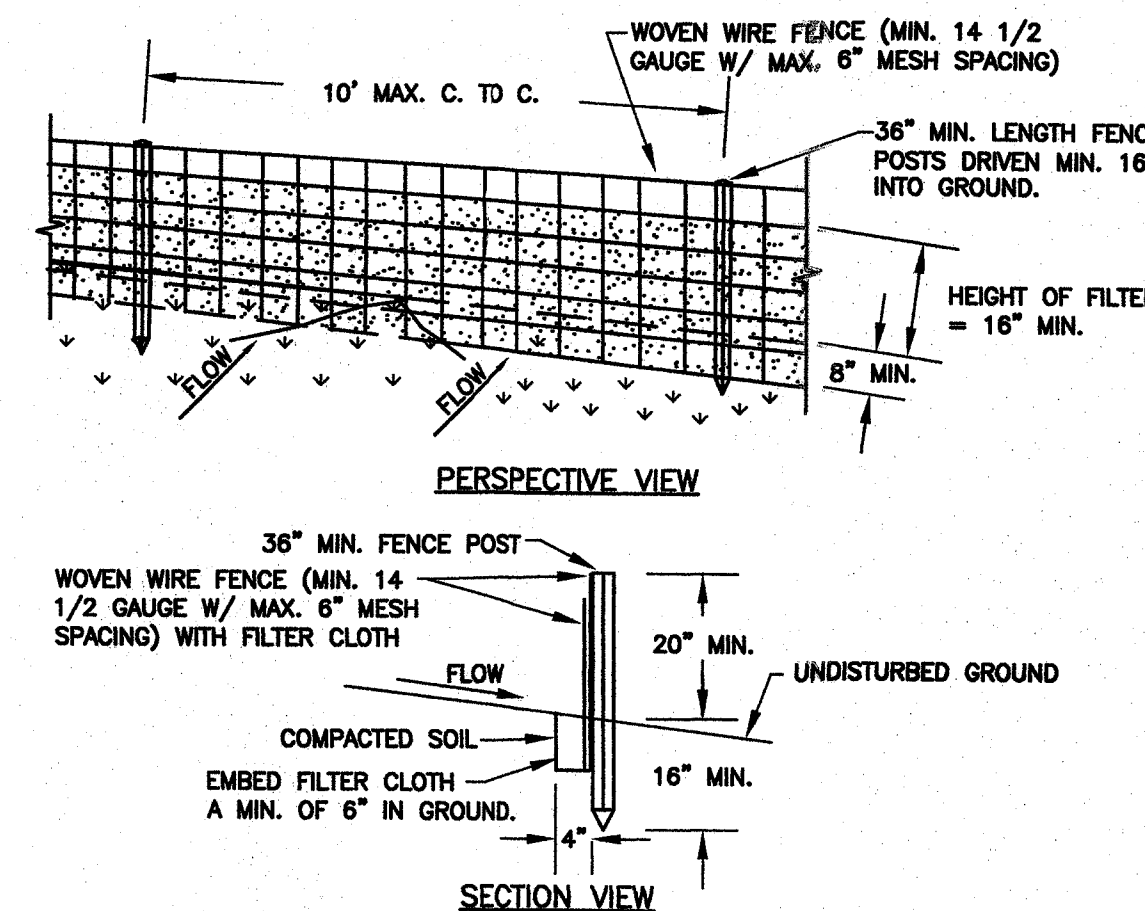
**DUMPSTER ENCLOSURE WOOD POST**  
NOT TO SCALE



**DUMPSTER ENCLOSURE FENCE**  
NOT TO SCALE



**DUMPSTER ENCLOSURE GATE**  
NOT TO SCALE



**SILT FENCE**  
NOT TO SCALE

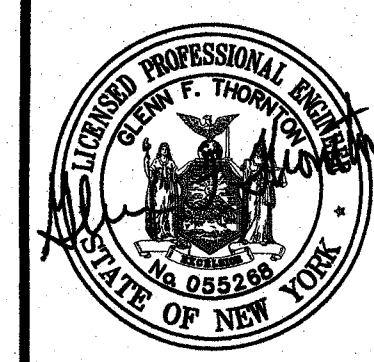
REVISIONS			
NO.	DESCRIPTION	DATE	BY
1	PRC COMMENTS	06/19/19	GFT
2	PLANNING BD. APPROVAL CONDITIONS	08/13/19	GFT

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**THORNTON ENGINEERING LLP**

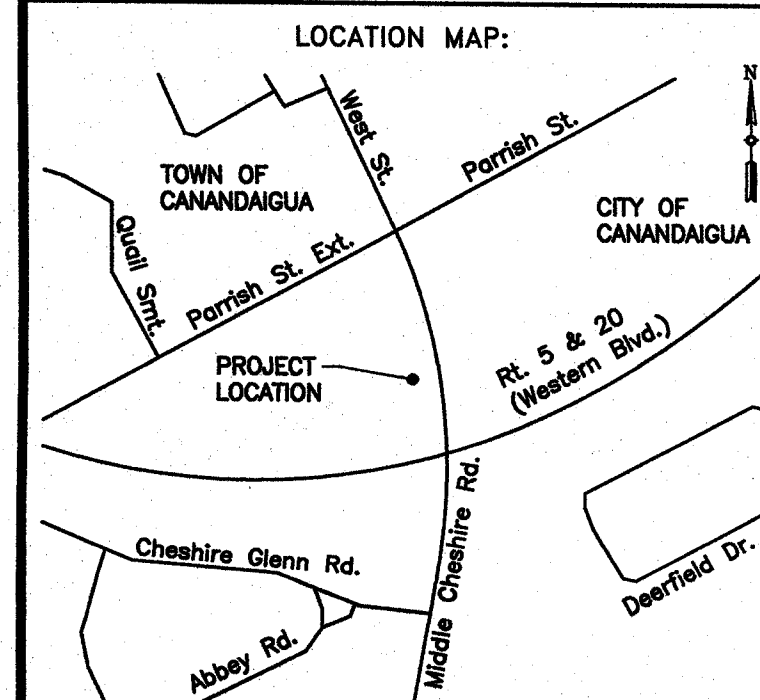
30 Assembly Drive, Suite 106  
Mendon, New York 14506

Consultant Engineers



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PROJECT NAME:

**Hallstead Dental Office Parking Lot Relocation**

3240 Middle Cheshire Rd.  
Town of Canandaigua  
Ontario County, NY

DRAWING TITLE:

**Miscellaneous Details**

FILE NAME: DETAILS.DWG	DESIGNED BY: GFT
DRAWN BY: HKT	CHECKED BY: GFT
APPROVED BY: GFT	DATE: JUNE 2019
SCALE: NOT TO SCALE	PROJECT NO.: 18-710
SHEET NO.: 5 OF 5	DRAWING NO.: D-2