

FINAL PLANS - SECTION 9B for LAKEWOOD MEADOWS SUBDIVISION

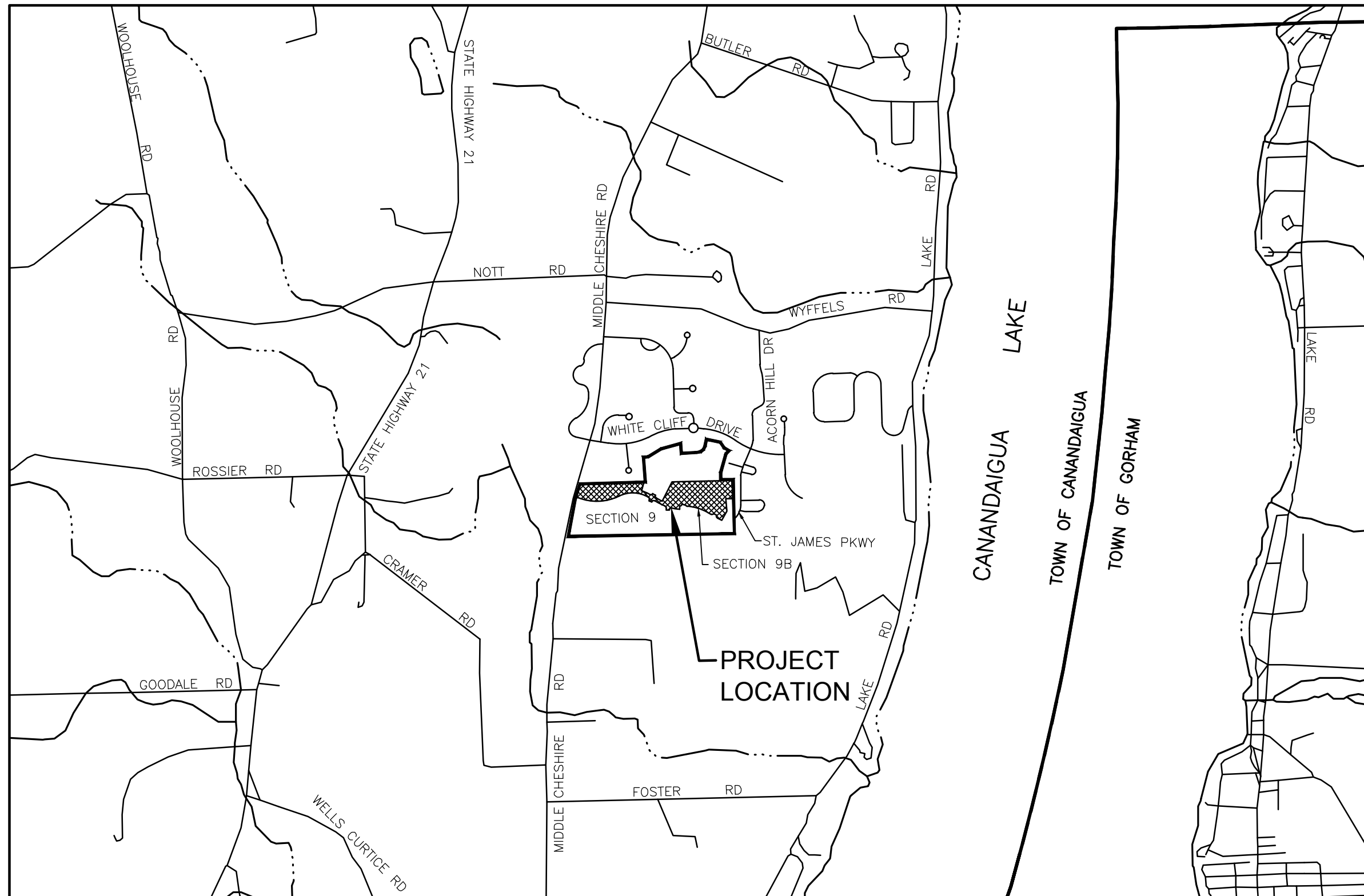
ST. JAMES PARKWAY

SITUATE IN:

TOWN OF CANANDAIGUA - ONTARIO COUNTY - STATE OF NEW YORK

AMENDED PRELIMINARY OVERALL CONDITIONS OF APPROVAL (09/17/2014)

1. A LETTER OF CREDIT ESTIMATE IN FAVOR OF THE TOWN OF CANANDAIGUA IS TO BE PROVIDED AND ACCEPTED BY THE TOWN BOARD PRIOR TO ISSUANCE OF BUILDING PERMITS.
2. THE TITLE OF THE DRAWING IS TO READ "AMENDED PRELIMINARY OVERALL SUBDIVISION PLAT LAKEWOOD MEADOWS SECTION 9."
3. THE AMENDED PRELIMINARY OVERALL SUBDIVISION PLAT LAKEWOOD MEADOWS SECTION 9 APPROVAL WITH CONDITIONS AS SPECIFIED IS VALID FOR A PERIOD OF 180 DAYS FROM TODAY AND SHALL EXPIRE UNLESS AN EXTENSION IS REQUESTED BY THE APPLICANT AND APPROVED BY THE PLANNING BOARD AT A LATER DATE WITH A SEPARATE RESOLUTION.
4. ONCE ALL CONDITIONS OF THE AMENDED PRELIMINARY OVERALL SUBDIVISION PLAT LAKEWOOD MEADOWS SECTION 9 APPROVAL HAVE BEEN MET AND SHOWN ON REVISED DRAWINGS INCLUDING THE REVISION DATES, AND ALL REQUIRED SIGNATURES ARE AFFIXED TO THE SUBDIVISION PLANS, THE PLANNING BOARD CHAIRPERSON'S SIGNATURE SHALL BE AFFIXED AND THE MAPS FILED IN THE TOWN DEVELOPMENT OFFICE AND TOWN CLERK WITHIN 180 DAYS FROM TODAY.
5. THE PLANNING BOARD DETERMINES THAT PARKLAND IS NOT A CONDITION OF AMENDED PRELIMINARY OVERALL SUBDIVISION PLAT LAKEWOOD MEADOWS SECTION 9 APPROVAL.
6. THE PLANNING BOARD DETERMINES THAT A PARK AND RECREATION FEE IN THE AMOUNT TO BE DETERMINED BY THE TOWN BOARD ON AN ANNUAL BASIS IS TO BE PAID AT THE TIME OF THE APPLICATION BUILDING PERMITS.
7. THE SUBDIVISION PLANS ARE TO BE REVISED TO LABEL WHETHER OR NOT THE EXISTING BARNs ALONG MIDDLE CHESHIRE ROAD ARE TO REMAIN OR BE REMOVED.
8. THE MINIMUM SETBACKS ARE TO BE THE FOLLOWING:
 - FRONT SETBACK = 20'
 - REAR SETBACK = 10'
 - SIDE SETBACK = 6' (PATIO HOMES ONLY)
9. A NOTE IS TO BE ADDED TO THE PRELIMINARY SUBDIVISION PLANS THAT STATES THAT THE APPLICANT IS REQUIRED TO FILE SUBDIVISION AND DEED RESTRICTIONS CONCERNING ACCESSORY STRUCTURES WITH THE FINAL SUBDIVISION PLANS. COPIES OF THESE RESTRICTIONS ARE TO BE FILED WITH THE TOWN OF CANANDAIGUA TOWN HALL.
10. THE PROPOSED TRAIL LOCATIONS ARE TO BE SHOWN IN THE AMENDED PRELIMINARY OVERALL SUBDIVISION PLAT LAKEWOOD MEADOWS SECTION 9 PLANS.
11. A NOTE IS TO BE ADDED TO THE PRELIMINARY SUBDIVISION PLANS THAT STATES THAT THE PROPOSED TRAIL IS TO BE INSTALLED BY THE DEVELOPER TO THE LIMITS AS SHOWN ON THE FINAL SUBDIVISION PLANS. THE DEVELOPER WILL BE RESPONSIBLE FOR MAINTENANCE OF THE TRAIL UNTIL SUCH TIME THAT IT IS CONVEYED TO THE HOME OWNERS ASSOCIATION, AT WHICH TIME THE HOA WILL ASSUME MAINTENANCE RESPONSIBILITIES.
12. A NOTE IS TO BE ADDED TO THE PRELIMINARY SUBDIVISION PLANS THAT STATES THAT THE PROPOSED OPEN SPACE AREAS ARE TO BE MAINTAINED BY THE DEVELOPER UNTIL SUCH TIME THAT THE HOME OWNERS ASSOCIATION (HOA) IS ESTABLISHED AND THE PROPERTIES ARE TRANSFERRED. THE OPEN SPACE MAINTENANCE TO BE AS SPECIFIED IN THE HOA DOCUMENTS ON FILE WITH THE TOWN OF CANANDAIGUA.
13. A NOTE IS TO BE ADDED TO THE PRELIMINARY SUBDIVISION PLANS THAT STATES THAT ANY DEVIATION OF HOUSE PAD ELEVATIONS MORE THAN 12 INCHES SHALL BE APPROVED BY THE PLANNING BOARD.
14. THE AMENDED PRELIMINARY OVERALL SUBDIVISION PLAT LAKEWOOD MEADOWS SECTION 9 PLANS ARE TO BE DESIGNED TO MEET THE TOWN OF CANANDAIGUA RIDGELINE DEVELOPMENT GUIDELINES.
15. THE AMENDED SUBDIVISION PLANS ARE TO PROVIDE A SECTION VIEW PLAN CONTAINING A PLAN VIEW AND SECTION VIEWS FROM THE CENTERLINE OF MIDDLE CHESHIRE ROAD LOOKING TOWARDS THE DEVELOPMENT AS PROVIDED WITH THE APPROVED 2007 PRELIMINARY SUBDIVISION PLANS FOR LAKEWOOD MEADOWS SECTION 9 & 10.
16. IF ANY EXISTING STRUCTURES INCLUDING THE BARNs AND SHED ALONG MIDDLE CHESHIRE ROAD ARE TO REMAIN OR BE RELOCATED, THEY ARE TO BE LABELED AS SUCH AND THE PROPOSED LOCATIONS IDENTIFIED ON THE AMENDED SUBDIVISION PLANS.
17. A NOTE IS TO BE ADDED TO THE AMENDED SUBDIVISION PLANS STATING THAT THE ALL OPEN SPACE AREAS, INCLUDING STORMWATER MANAGEMENT FACILITIES AND THE MAINTENANCE RESPONSIBILITIES OF THESE AREAS WILL BE TRANSFERRED TO THE EXISTING HOA.
18. MORRELL BUILDERS ARE TO SET UP A MEETING WITH THE EXISTING HOA AND PROVIDE WRITTEN NOTICE TO THE TOWN DEVELOPMENT OFFICE REGARDING THE DATE IN WHICH THIS MEETING WILL TAKE PLACE PRIOR TO THE PLANNING BOARD CHAIRMAN SIGNING THE AMENDED PRELIMINARY OVERALL SUBDIVISION PLAT LAKEWOOD MEADOWS SECTION 9 PLANS.
19. THE CONSERVATION EASEMENTS ASSOCIATED WITH SECTION 6 OF LAKEWOOD MEADOWS SUBDIVISION ARE TO BE TRANSFERRED TO THE TOWN OF CANANDAIGUA PRIOR TO THE PLANNING BOARD CHAIRMAN SIGNING THE AMENDED PRELIMINARY OVERALL SUBDIVISION PLAT LAKEWOOD MEADOWS SECTION 9 PLANS.
20. A MAXIMUM OF 81 UNITS (66 TOWNHOUSES AND 15 PATIO HOMES) ARE TO BE PROVIDED ON THE AMENDED PRELIMINARY OVERALL SUBDIVISION PLAT LAKEWOOD MEADOWS SECTION 9 PLANS.
21. THE AMENDED PRELIMINARY OVERALL SUBDIVISION PLAT LAKEWOOD MEADOWS SECTION 9 PLANS ARE REQUIRED TO PROVIDE A MINIMUM OPEN SPACE AREA OF 43.2 ACRES FOR SECTION 9 AND A MINIMUM OF 183.6 ACRES OF TOTAL OPEN SPACE FOR SECTIONS 1-9 OF LAKEWOOD MEADOWS.
22. THE PROPOSED ENTRANCE DRIVE TO SECTION 9 OF LAKEWOOD MEADOWS OFF OF MIDDLE CHESHIRE ROAD IS TO BE APPROVED BY THE TOWN HIGHWAY SUPERINTENDENT PRIOR TO SIGNATURES BEING AFFIXED TO THE AMENDED PRELIMINARY OVERALL SUBDIVISION PLAT LAKEWOOD MEADOWS SECTION 9 PLANS.



LOCATION MAP

NOT TO SCALE



FINAL CONDITIONS OF APPROVAL (09/17/2014)

1. THE FINAL (PHASED) SUBDIVISION PLAT APPROVAL WITH CONDITIONS AS SPECIFIED IS VALID FOR A PERIOD OF 180 DAYS FROM AUGUST 23, 2016 AND SHALL EXPIRE UNLESS AN EXTENSION IS REQUESTED BY THE APPLICANT AND APPROVED BY THE PLANNING BOARD AT A LATER DATE WITH A SEPARATE RESOLUTION.
2. ONCE ALL CONDITIONS OF FINAL (PHASED) SUBDIVISION PLAT APPROVAL HAVE BEEN MET AND SHOWN ON REVISED DRAWINGS INCLUDING THE REVISION DATES, AND ALL REQUIRED SIGNATURES ARE AFFIXED TO FOUR (4) PRINTS OF THE FINAL (PHASED) SUBDIVISION PLAT, THE PLANNING BOARD CHAIRPERSON'S SIGNATURE SHALL BE AFFIXED AND THE MAPS FILED IN THE TOWN DEVELOPMENT OFFICE WITHIN 180 DAYS FROM AUGUST 23, 2016.
3. ONE MYLAR OF THE FINAL (PHASED) SUBDIVISION PLAT IS TO BE PROVIDED FOR SIGNING BY THE IDENTIFIED TOWN OFFICIALS AND THE TOWN PLANNING BOARD CHAIRPERSON. ONCE THE MYLAR AND ALL PAPER PRINTS HAVE BEEN SIGNED, THE MYLAR AND TWO SETS OF PAPER PRINTS WILL BE RETURNED TO THE APPLICANT FOR FILING THE MYLAR IN THE OFFICE OF THE ONTARIO COUNTY CLERK.
4. ONCE THE FINAL (PHASED) SUBDIVISION PLAT HAS BEEN SIGNED BY THE PLANNING BOARD CHAIRPERSON, THE APPLICANT SHALL FILE IN THE OFFICE OF THE ONTARIO COUNTY CLERK SUCH APPROVED FINAL PLAT WITHIN SIXTY-TWO (62) DAYS FROM THE DATE OF FINAL APPROVAL OR SUCH APPROVAL SHALL EXPIRE (NYS TOWN LAW SECTION 276-11).
5. THE FINAL SUBDIVISION PLANS ARE TO NOTE ANY AND ALL RESTRICTIVE COVENANTS IN DETAIL OF THE CONSERVATION EASEMENT AREAS.
6. PAYMENT OF A FEE IN LIEU OF A SET ASIDE OF PARKLAND SHALL BE MADE AT THE TIME OF ISSUANCE OF BUILDING PERMITS PURSUANT TO TOWN CODE CHAPTER 111 AND NYS TOWN LAW.
7. THE DEED RESTRICTIONS CONCERNING ACCESSORY STRUCTURES SHALL BE NOTED ON THE FINAL SUBDIVISION PLAT AND SUBMITTED TO THE PLANNING BOARD ATTORNEY FOR APPROVAL AND SUCH APPROVAL SHALL BE OBTAINED PRIOR TO THE PLANNING BOARD CHAIRMAN'S SIGNATURE BEING AFFIXED TO THE FINAL SUBDIVISION PLAN. THE DEED RESTRICTIONS SHALL BE FILED AT THE ONTARIO COUNTY CLERK'S OFFICE AT THE SAME TIME AS THE APPROVED FINAL SUBDIVISION PLAT. COPIES OF THE FILED DEED RESTRICTIONS ARE TO BE SUBMITTED TO THE TOWN CLERK WITHIN FIVE (5) DAYS OF THEM BEING FILED. FAILURE TO FILE SUCH RESTRICTIONS AT THE TIME OF FILING THE FINAL SUBDIVISION PLAT SHALL INVALIDATE THIS APPROVAL.
8. THE HOMEOWNERS ASSOCIATION AGREEMENT FOR THE TOWNHOMES (ST. JAMES PARKWAY) REGARDING THE MAINTENANCE OF THE OPEN SPACE AREAS, TRAILS, AND STORMWATER MANAGEMENT FACILITIES SHALL BE SUBMITTED TO THE TOWN PLANNING BOARD ATTORNEY FOR REVIEW AND APPROVAL AND SUCH APPROVAL SHALL BE OBTAINED PRIOR TO THE PLANNING BOARD CHAIRMAN'S SIGNATURE BEING AFFIXED TO THE FINAL SUBDIVISION PLAN.
9. A LETTER OF CREDIT ESTIMATE IN FAVOR OF THE TOWN OF CANANDAIGUA IS TO BE PREPARED BY THE APPLICANT AND PROVIDED TO THE TOWN DEVELOPMENT OFFICE FOR REVIEW AND ACCEPTED BY THE TOWN BOARD PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
10. THE COMMENTS WITHIN THE TOWN ENGINEER'S LETTER DATED AUGUST 19, 2016 ARE TO BE ADDRESSED TO THE SATISFACTION OF THE TOWN ENGINEER PRIOR TO SIGNING BY THE PLANNING BOARD CHAIRMAN.
11. THE COMMENTS WITHIN THE TOWN HIGHWAY AND WATER SUPERINTENDENTS LETTER DATED AUGUST 4, 2016 ARE TO BE ADDRESSED TO THE SATISFACTION OF THE TOWN HIGHWAY AND WATER SUPERINTENDENT PRIOR TO SIGNING BY THE PLANNING BOARD CHAIRMAN.
12. THE FINAL SUBDIVISION PLANS ARE TO BE REVISED TO DELINEATE A STONE DUST TRAIL ALONG ST. JAMES PARKWAY EXTENDING FROM HARVEST VIEW TO MIDDLE CHESHIRE ROAD CONNECTING TO THE EXISTING TRAIL NETWORK.
13. THE FINAL SUBDIVISION PLANS ARE TO BE REVISED TO DEPICT A 20' WIDE EASEMENT TO THE TOWN OF CANANDAIGUA ALONG THE MIDDLE CHESHIRE EXTENDING FROM ST. JAMES PARKWAY TO THE NORTH PROPERTY LINE.
14. THE LANDSCAPING PLAN IS TO BE UPDATED TO COMPLY WITH THE NYSDEC SPECIES LAW.

LIST OF DRAWINGS		
Sheet No.	DWG. No.	Description
1	COVER	COVER SHEET
2	SV0.1	OVERALL PLAN
3	SV1.0	SUBDIVISION PLAT - SHEET 1
4	SV1.1	SUBDIVISION PLAT - SHEET 2
5	C0.1	NOTES, LEGEND & ABBREVIATIONS
6	C1.0	EXISTING CONDITIONS PLAN
7	C3.0	UTILITY PLAN - SHEET 1
8	C3.1	UTILITY PLAN - SHEET 2
9	C4.0	GRADING PLAN - SHEET 1
10	C4.1	GRADING PLAN - SHEET 2
11	C4.2	EROSION CONTROL PLAN - SHEET 1
12	C4.3	EROSION CONTROL PLAN - SHEET 2
13	C4.4	EROSION CONTROL DETAILS
14	C6.0	PROFILE - ST. JAMES PARKWAY
15	C6.1	PROFILE - WOODVINE RISE
16	C8.0	LANDSCAPING PLAN - SHEET 1
17	C8.1	LANDSCAPING PLAN - SHEET 2
18	C8.2	DEEP HOLE SOILS DATA
19	C9.0	CONSTRUCTION DETAILS
20	C9.1	CONSTRUCTION DETAILS
21	C9.2	CONSTRUCTION DETAILS

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APPLICANT:



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VICTOR, NY 14564

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SECTION 1

O.C.C.O MAP #28449 - 21 LOTS

NOTES:

- TOTAL PROJECT AREA OF THE AMENDED LAKEWOOD MEADOWS SUBDIVISION SECTION 9 IS 82.9± ACRES CONTAINING 81 LOTS (15 PATIO LOTS AT 8,500± SF AND 66 TOWN HOME LOTS AT 3,500± SF AVERAGE) AND 67.4± ACRES OF OPEN SPACE OR 81.3%

AMENDED OVERALL LAKEWOOD MEADOWS SUBDIVISION SECTION 1-9 IS 292 LOTS ON 316.74 ACRES WITH A MINIMUM 183.6 ACRES OF OPEN SPACE OR 58%

LAKEWOOD MEADOWS SECTION 1-8 RECEIVED OVERALL PRELIMINARY SUBDIVISION APPROVAL ON JULY 13, 2004 AS A CLUSTER SUBDIVISION UNDER 278 OF TOWN LAW. THE APPROVAL INCLUDED 230 LOTS ON 255.4 ACRES WITH 131.1 ACRES OF OPEN SPACE OR 51%

EXISTING ZONING: SECTION 9 SCR-1; THIS PROPOSAL IS TO BE DEVELOPED AS A CONSERVATION SUBDIVISION AS DEFINED IN THE TOWN LAW.

PROPOSED USE: SINGLE FAMILY DWELLINGS

REQUESTED LOT STANDARDS:

LOT SIZE:
MINIMUM WIDTH @ SETBACK: 65'
LOT DEPTH: 120' ±
MAXIMUM BUILDING COVERAGE: 55%
MAXIMUM BUILDING HEIGHT: 35'
SETBACKS:
FRONT: 20'
SIDE: 6'
REAR: 10'
MIN BLDG. SEPARATION: N/A

LOT SIZE:
MINIMUM WIDTH @ SETBACK: N/A
LOT DEPTH: 84' ±
MAXIMUM BUILDING COVERAGE: N/A
MAXIMUM BUILDING HEIGHT: 35'
SETBACKS:
FRONT: 20' (FROM ROAD R.O.W.)
SIDE: 6' (NON-COMMON LOT LINES ONLY)
REAR: 10'
MIN BLDG. SEPARATION: 40'
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE WATER/SEWER AGENCIES, UNLESS OTHERWISE NOTED.
- PROPOSED STREET WIDTHS:
22' FOR LOCAL COLLECTORS: ST. JAMES PARKWAY & ARBOUR HILL DRIVE
20' FOR ALL OTHER STREETS: HARVEST VIEW RD, WOODVINE RISE RD. THIS IS NON STANDARD AND WILL REQUIRE PLANNING BOARD WAIVER AT FINAL APPROVAL(S). 26' WIDTH IS TO BE REQUIRED AT ALL HYDRANT LOCATIONS TO MEET NEW YORK STATE FIRE CODE.
- LAKEWOOD MEADOWS FORMER SECTIONS 9 & 10 WERE REZONED TO SCR-1 WITH LOCAL LAW NUMBER 3 OF 2006 (11.3 OF 2006). THE DENSITY CALCULATIONS FOR FORMER SECTIONS 9 & 10 ARE BASED ON THE SCR-1 ZONING DISTRICT AS DEFINED BY LOCAL LAW NO. 7 OF 2004 AS FOLLOWS:

CONSTRAINED LANDS AREAS FOR FORMER SECTIONS 9 & 10:

A. PARCEL SIZE: 69.2 ACRES
B. CONSTRAINED LANDS: 7.49 ACRES

1. WETLANDS = 0.0 ACRES
2. 100 FLOOD PLAINS = 0.0 ACRES
3. SLOPES GREATER THAN 20% = 0.0 ACRES
4. PUBLIC UTILITIES = 0.69 ACRES (EXISTING WATERMAIN)
5. WOODLANDS (9.2 ACRES) = 5.0 ACRES
6. DRAINAGE CONTROL = 1.0 ACRES
7. MIDDLE CHESHIRE ROAD RIGHT-OF-WAY = 0.80 ACRES

C. TOTAL DEVELOPMENT LAND = 61.71 ACRES
D. 1 DWELLING / ACRE = 62 DWELLINGS
- OPEN SPACE TABULATION PER THE CONSERVATION SUBDIVISION ORDINANCE:

A. PARCEL SIZE: 69.2 ACRES
B. CONSTRAINED LANDS: 7.49 ACRES

1. WETLANDS = 0.0 ACRES
2. 100 FLOOD PLAINS = 0.0 ACRES
3. SLOPES GREATER THAN 20% = 0.0 ACRES
4. PUBLIC UTILITIES = (EXISTING WATERMAIN)
5. WOODLANDS (9.2 ACRES) = 5.0 ACRES
6. DRAINAGE CONTROL = 1.0 ACRES
7. MIDDLE CHESHIRE ROAD RIGHT-OF-WAY = 0.80 ACRES
- LOT YIELD PER THE CONSERVATION SUBDIVISION ORDINANCE FOR FORMER SECTIONS 9 & 10:

A. TOTAL NET AREA: 61.71 AC (PER NOTE #6C)
B. DENSITY EQUALS ONE LOT PER NET ACRE: 62 LOTS
C. FORMER SECTION 5B DENSITY: 19 LOTS
- PROPOSED OPEN SPACE OF FORMER SECTIONS 9 & 10: 47.4± AC OR 68%
- TOTAL PROPOSED OPEN SPACE OF AMENDED SECTIONS 1-9: 184.9± AC OR 58.4%

ORIGINAL OPEN SPACE SECTION 1-8 131.1± AC
(ORIGINAL OPEN SPACE SECTION 5B) (13.8± AC) (REMOVED)
OPEN SPACE FOR AMENDED SECTION 9 67.4± AC (ADDED)
- ONE STREET TREE WITH A MINIMUM CALIPER OF 2 1/2 INCHES IS TO BE PLANTED PER LOT
- IN GROUND SWIMMING POOLS ARE TO BE LOCATED IN THE REAR OF THE LOT WITH A MINIMUM SETBACK OF FIFTEEN (15) FEET.
- THE APPLICANT WILL FILE SUBDIVISION DEED RESTRICTIONS CONCERNING ACCESSORY STRUCTURES. COPIES OF THESE RESTRICTIONS ARE ON FILE AT THE CANANDAIGUA TOWN HALL.
- THE PROPOSED TRAIL SHALL BE INSTALLED BY THE DEVELOPER TO LIMITS AS SHOWN ON FINAL SUBDIVISION DESIGN PLANS. THE DEVELOPER WILL BE RESPONSIBLE FOR MAINTENANCE OF THE TRAIL UNTIL SUCH TIME AS IT IS CONVEYED TO THE HOMEOWNERS ASSOCIATION, AT WHICH TIME THE HOA WILL ASSUME MAINTENANCE RESPONSIBILITIES.
- OPEN SPACE PARCELS ARE TO BE OWNED AND MAINTAINED BY THE DEVELOPER UNTIL SUCH TIME THAT THE HOA IS ESTABLISHED AND THE PROPERTY IS TRANSFERRED. OPEN SPACE MAINTENANCE TO BE SPECIFIED IN THE HOA DOCUMENTS ON FILE WITH THE TOWN OF CANANDAIGUA. MAINTENANCE TO CONSIST OF ANNUAL CARE OF OPEN SPACE MEADOW AREAS AND SEMI-ANNUAL CARE OF LANDSCAPE PLANTINGS.
- ANY FINAL GRADE DEVIATIONS OF HOUSE PAD ELEVATIONS MORE THAN TWELVE INCHES SHALL BE APPROVED BY THE PLANNING BOARD.
- THIS PROPERTY MAY BE NEAR A FARM, AS DEFINED IN THE NEW YORK STATE AGRICULTURE AND MARKETS LAW, SECTION 301, SUBSECTION 11. SOUND FARMING PRACTICES MAY GENERATE DUST, ODOOR, SMOKE, NOISE, AND VIBRATION.
- ALL OPEN SPACE AREAS INCLUDING STORMWATER MANAGEMENT FACILITIES AND THE MAINTENANCE RESPONSIBILITIES OF THESE AREAS WILL BE TRANSFERRED TO THE HOA.

SECTION 3

O.C.C.O MAP #29326 - 19 LOTS

SECTION 4

O.C.C.O MAP #29964 - 23 LOTS

SECTION 5A

O.C.C.O MAP #32053-A - 14 LOTS

SECTION 6

O.C.C.O MAP #29327 - 25 LOTS

SECTION 8B

32 LOTS

SECTION 2

O.C.C.O MAP #29188 - 27 LOTS

FORMERLY SECTION 9&10

MIDDLE CHESHIRE ROAD SIGHT DISTANCE

DESIGN SPEED LIMIT: 55MPH			
SIGHT CRITERIA	REQUIRED	AVAILABLE LEFT	AVAILABLE RIGHT
INTERSECTION SIGHT DISTANCE	610 FEET	GREATER THAN 710 FEET	GREATER THAN 1000 FEET
STOPPING SIGHT DISTANCE	495 FEET		

SECTION 9C
23 lots
29.2± ac.

SECTION 9A
19 lots
10.4± ac.

SECTION 9B
24 lots
20.6± ac.

SECTION 9D
15 lots
22.9± ac.

SECTION 7A

O.C.C.O MAP #32053 - 20 LOTS

SECTION 7B

O.C.C.O MAP #32593 - 17 LOTS

SECTION 8A

O.C.C.O MAP #32203 - 13 LOTS

GARY A & DIANA L. HUMES
TAX I.D. 128.00-01-57
LOT R1A

ELEUTHERIOS BARONOS
TAX I.D. 128.00-01-5.121
LOT R1A

BETH ANNE WESTBROOK
TAX I.D. 113.17-01-32.1

GREGORY R. WESTBROOK
TAX I.D. 113.17-01-31

RAM WEST JAME ROAD, LLC.
TAX I.D. 112.00-01-24.1

JOHN T. JOHNSON
TAX I.D. 112.04-01-22

ANDREW & BETH E. GAJEWSKI
TAX I.D. 112.04-01-06

N/F
KATHLEEN KELLY ROGERS
TAX I.D. 112.04-01-08

JOSHUA T. & COURTNEY S. PHILLIPS
TAX I.D. 112.02-01-09

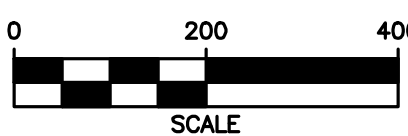
BRYON N. HOFF
TAX I.D. 112.02-01-09

REMAINING LANDS OF
N/F
K&P ASSOCIATES LTD.
TAX I.D. 112.00-01-70.000



LOCATION MAP

NOT TO SCALE



APPROVED BY:	
TOWN ENGINEER	
DATE:	
APPROVED BY:	
PLANNING BOARD CHAIRPERSON	
DATE:	
APPROVED BY:	
TOWN HIGHWAY & WATER SUPERINTENDENT	
DATE:	

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FINAL PLANS - SECTION 9B for LAKEWOOD MEADOWS SUBDIVISION

STATE OF NEW YORK

ONTARIO COUNTY

TOWN OF CANANDAIGUA

JOB NO: 0551-16
SCALE: 1" = 200'
DRAWN: RJT
DESIGNED: RJT
DATE: 7/15/16

REVISIONS		
DATE	BY	REVISION
7/22/16 10/18/16	RJT RJT	REV. TRAILS ISSUED FOR FINAL REVIEW

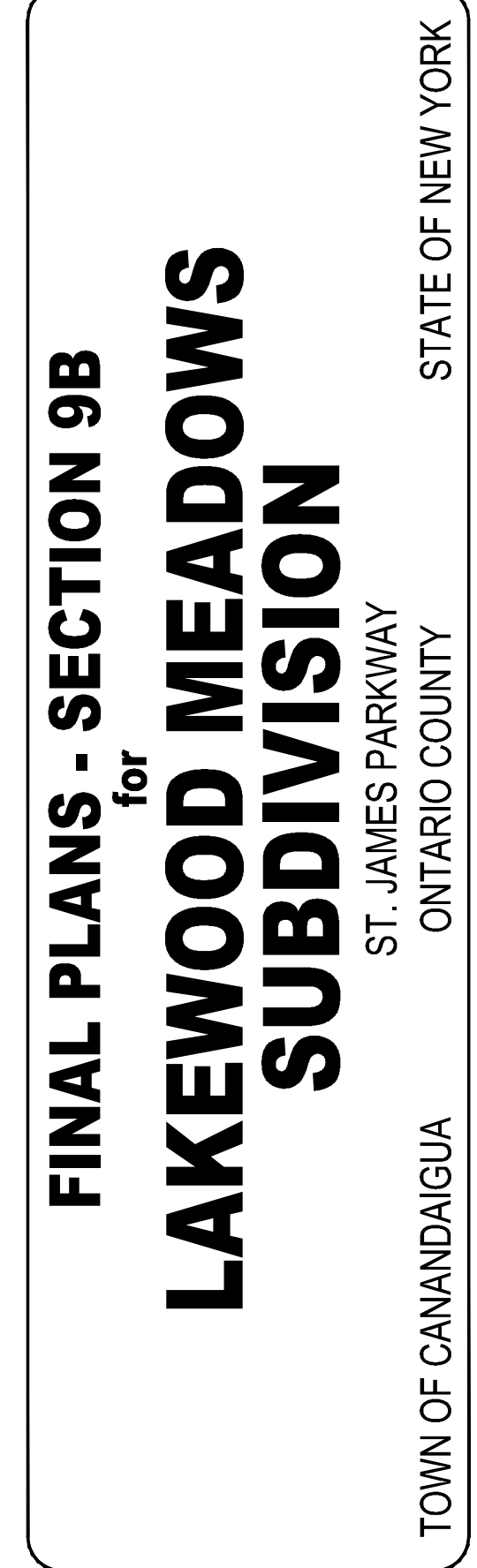
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ROBERT P. BRINGLEY

DRAWING TITLE:
OVERALL PLAN

2 of 21	SV0.1
SHEET No:	
0551-16	DRAWING No:
JOB No:	



REVISIONS		
DATE	BY	REVISION
10/18/16	RJT	ISSUED FOR FINAL REVIEW

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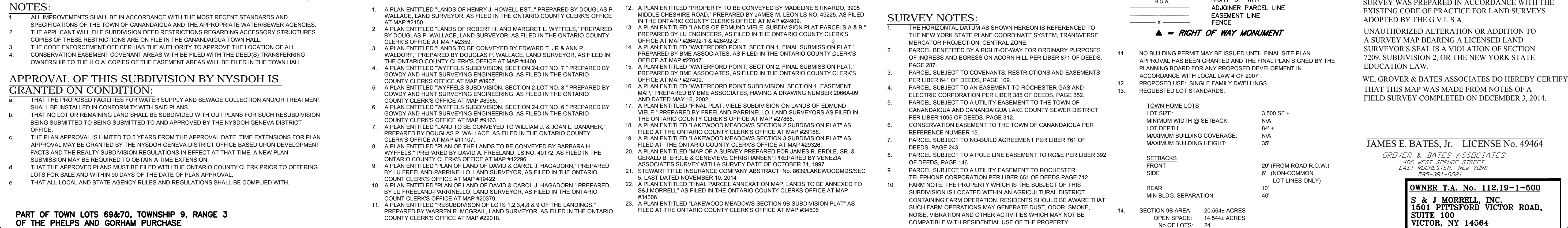
JAMES E. BATES, JR. PLS.

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- SHEET 1

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TOWN ENGINEER

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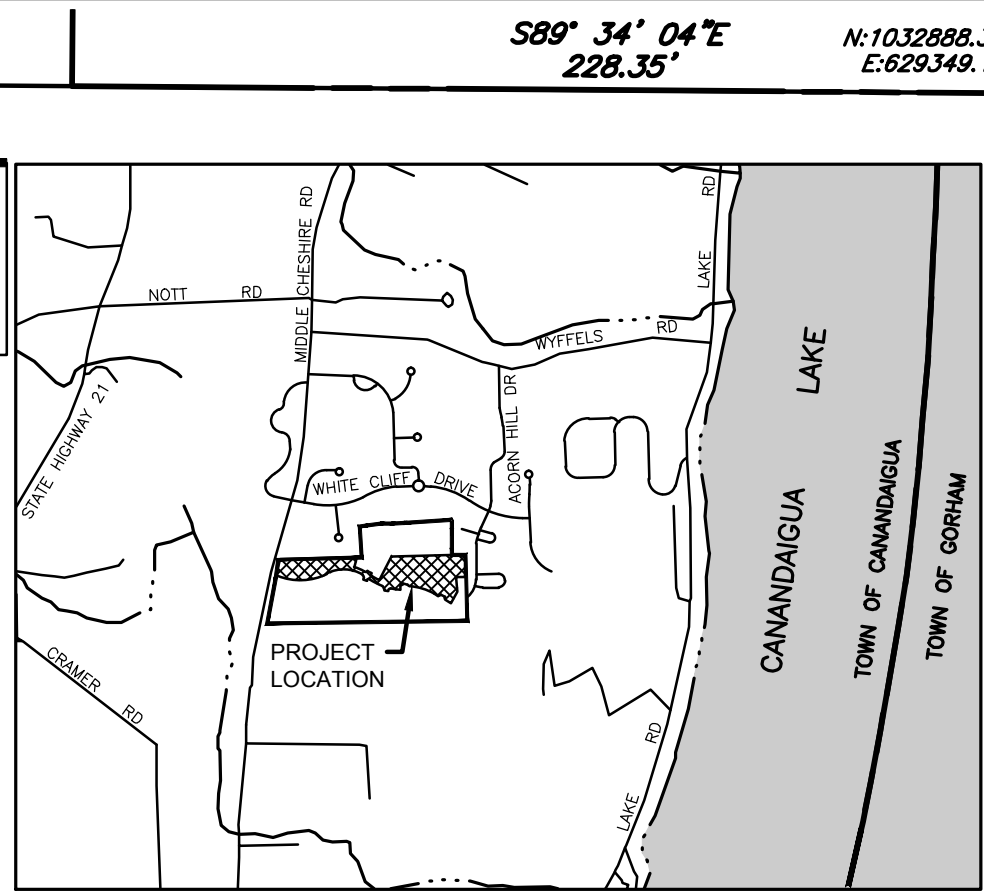
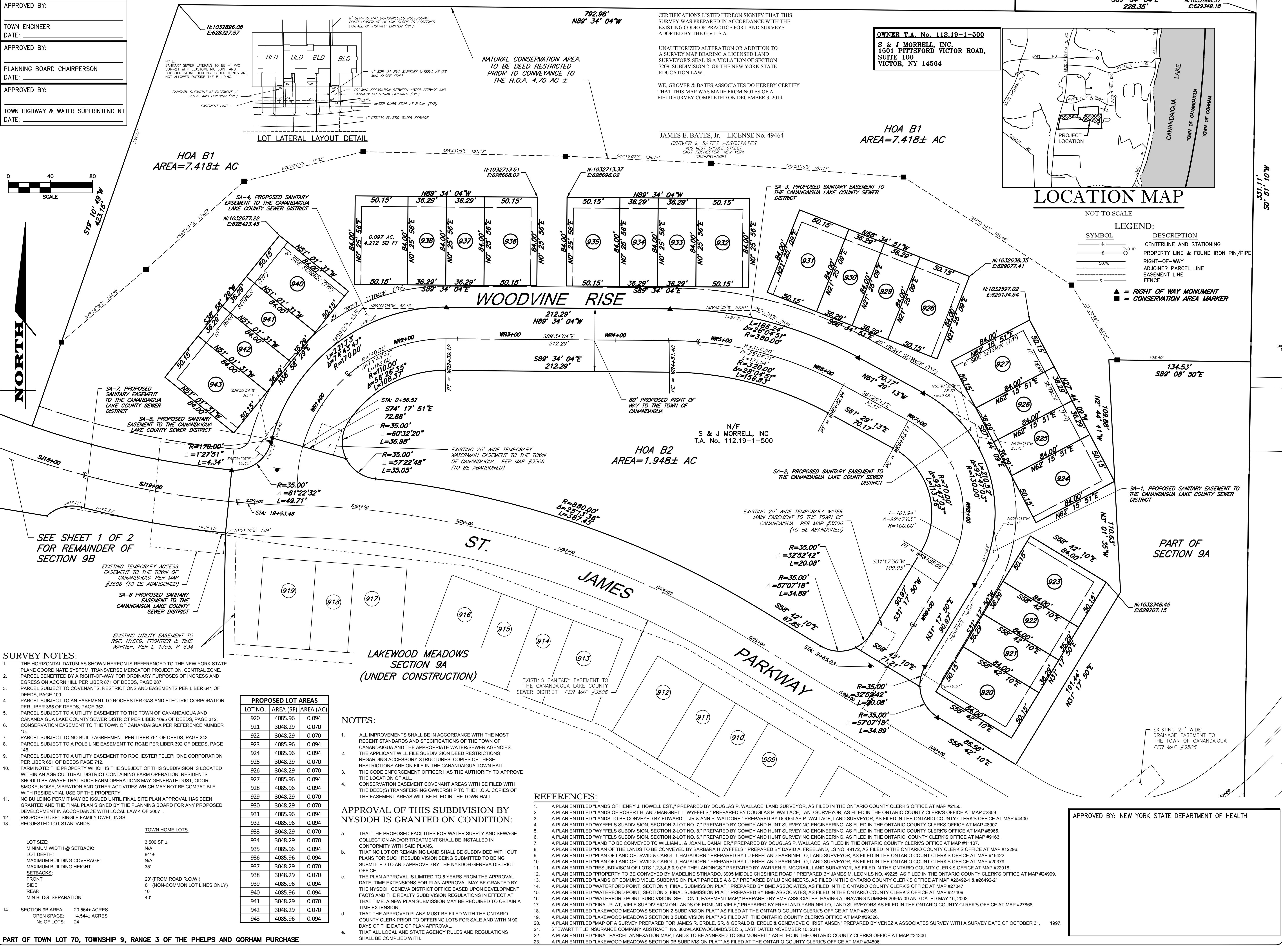
PLANNING BOARD CHAIRPERSON

DATE:

APPROVED BY:

TOWN HIGHWAY & WATER SUPERINTENDENT

DATE:



LOCATION MAP

NOT TO SCALE

LEGEND:

SYMBOL	DESCRIPTION
—	CENTERLINE AND STATIONING
—	PROPERTY LINE & FOUND IRON PIN/PIPE
—	RIGHT-OF-WAY
—	ADJOINER PARCEL LINE
—	EASEMENT LINE
—	FENCE
▲	RIGHT OF WAY MONUMENT
■	CONSERVATION AREA MARKER

MARATHON
ENGINEERING

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ROCHESTER, NY 14614
PHONE 585-458-7770
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FINAL PLANS - SECTION 9B
for
LAKEWOOD MEADOWS
SUBDIVISION

STATE OF NEW YORK
ONTARIO COUNTY
TOWN OF CANANDAIGUA
ST. JAMES PARKWAY

JOB NO: 0551-16
SCALE: 1" = 40'
DRAWN: RJT
DESIGNED: RJT
DATE: 7/15/16

REVISIONS

DATE	BY	REVISION
7/22/16 10/18/16	RJT RJT	CONS. AREA ID ISSUED FOR FINAL REVIEW

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JAMES E. BATES, JR. PLS

STATE OF NEW YORK
JAMES E. BATES, JR.
LICENSED LAND SURVEYOR
No. 49464

DRAWING TITLE:
SUBDIVISION PLAT
- SHEET 2

4 of 21 SHEET No:	SV1.1
0551-16 JOB No:	DRAWING No:

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NOTES, INFORMATION AND SPECIFICATIONS

GENERAL

1. **APPLICABILITY** - THE NOTES AND INFORMATION PROVIDED ON THIS SHEET ARE APPLICABLE TO ALL "C" SERIES DRAWINGS. THE "C" SERIES DRAWINGS COVER SITE RELATED IMPROVEMENTS OUTSIDE THE BUILDING ENVELOPE. THE BUILDING ENVELOPE INCLUDES ALL AREA WITHIN 5' OUTSIDE OF THE BUILDING'S EXTERIOR WALL.
2. **MAPPING** - THE EXISTING UNDERGROUND UTILITIES WERE PLOTTED BASED ON RECORD MAPPING SUPPLIED BY OTHERS. THE ENGINEER MAKES NO WARRANTY AS TO THE LOCATION, SIZE, TYPE, ELEVATION, AND/OR NUMBER OF EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE VICINITY OF THE NEW INFRASTRUCTURE.
3. **STAKEOUT** - THE CONTRACTOR SHALL NOTIFY DIG SAFELY NEW YORK (1-800-962-7962) FOR A UTILITY STAKEOUT 48 HOURS IN ADVANCE OF COMMENCING WORK. STAKEOUT OF PRIVATE UTILITIES SHALL BE COORDINATED WITH THE OWNER.
4. **PROPERTY PROTECTION** - THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO EXISTING PAVEMENT, CURBS, WALKS, LAWNS, TREES, ETC. CAUSED BY THEIR CONSTRUCTION OPERATIONS. ALL DAMAGE SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR TO THE OWNER'S SATISFACTION AT NO ADDITIONAL EXPENSE.
5. **ACCESS** - THE CONTRACTOR SHALL PROVIDE SATISFACTORY VEHICULAR ACCESS TO ALL ADJOINING PROPERTIES, PRIVATE ROADWAYS, PARKING FACILITIES, AND PUBLIC STREETS DURING CONSTRUCTION.
6. **SITE SAFETY** - PRIOR TO AND THROUGHOUT CONSTRUCTION, THE CONTRACTOR SHALL POST SIGNAGE IN CONFORMANCE WITH THE REQUIREMENTS OF THE LOCAL MUNICIPALITY AND OCCUPATIONAL HEALTH AND SAFETY ACT (OHSAS). JOB SAFETY AND MAINTENANCE AND PROTECTION OF TRAFFIC IS THE RESPONSIBILITY OF THE CONTRACTOR.
7. **EXCAVATIONS** - ALL EXCAVATIONS SHALL BE BACKFILLED/BARRICADED TO THE SATISFACTION OF THE OWNERS REPRESENTATIVE AT THE CONCLUSION OF EACH WORKING DAY.
8. **MAINTENANCE** - PUBLIC STREETS, PRIVATE DRIVES AND PARKING FACILITIES SHALL BE KEPT FREE OF FOREIGN MATERIALS. ALL AREAS SHALL BE SWEEP CLEAN AT THE END OF EACH WORKING DAY AND/OR AS DIRECTED BY THE OWNERS ON-SITE REPRESENTATIVE.
9. **CONSTRUCTION STORAGE** - STORAGE OF EQUIPMENT AND MATERIALS SHALL BE WITHIN A SPECIFIED AND SECURED AREA AS DETERMINED IN CONTRACT DOCUMENTS OR AS SPECIFIED BY THE OWNERS ON-SITE REPRESENTATIVE.
10. **PERMIT(S)** - PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FROM THE APPLICABLE MUNICIPALITY OR AGENCY. THE CONTRACTOR IS RESPONSIBLE FOR ALL BONDS AND INSURANCES AND THE OWNER IS RESPONSIBLE FOR PERMIT FEES UNLESS OTHERWISE STATED IN THE OWNER/ CONTRACTOR AGREEMENT.

CONSTRUCTION

1. **STAKEOUT** - THE CONSTRUCTION STAKEOUT SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR USING CONTROL PROVIDED ON THESE PLANS. ANY DISCREPANCIES SHALL BE REPORTED TO THE DESIGN ENGINEER PRIOR TO THE INSTALLATION OF IMPROVEMENTS) FOR COORDINATION AND CLARIFICATION.
2. **DEMOLITION** - CLEARING AND GRUBBING SHALL BE LIMITED TO THE SITE BOUNDARIES OR WITHIN THE "WORK LIMIT LINE" AS DEFINED ON THE PLAN. TREES AND OBJECTS DESIGNATED FOR REMOVAL SHALL BE COORDINATED AND FIELD VERIFIED WITH PROJECT ON-SITE REPRESENTATIVE. ALL MATERIALS SHALL BE LEGALLY DISPOSED OF OFF-SITE OR RETURNED TO OWNER AS DIRECTED BY CONTRACT DOCUMENTS. ALL ITEMS NOT SPECIFICALLY CALLED OUT TO BE REMOVED SHALL REMAIN.
3. **COORDINATION** - THE CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITY WORK WITH OTHER SITE UTILITIES (I.E. GAS, ELECTRIC, LIGHTING, COMMUNICATIONS) TO AVOID POTENTIAL INSTALLATION CONFLICTS.
4. **STAGING** - AS DEFINED BY THE CONTRACT DOCUMENTS THE CONTRACTOR SHALL CONSTRUCT A SECURE STAGING AREA FOR STORAGE OF EQUIPMENT, MATERIALS, EMPLOYEE PARKING AND OFFICE SPACE. IF THE AREAMETHOD IS NOT SPECIFICALLY DEFINED ON THE DOCUMENTS THEN IT SHALL BE COORDINATED WITH THE OWNERS ON-SITE REPRESENTATIVE.
5. **CLOSE-OUT** - THE CONTRACTORS WORK SCOPE INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING AT PROJECT CLOSE-OUT TO THE SATISFACTION OF OWNERS ON-SITE REPRESENTATIVE:
 - REMOVAL OF ANY CONSTRUCTION DEBRIS.
 - CLEANING PAVEMENT AND WALKWAY SURFACES.
 - RESTORATION OF ALL DISTURBED GRASS AND LANDSCAPED AREAS.
 - PROVIDING BONDS, GUARANTEES, CERTIFICATIONS, ETC. AS REQUIRED BY CONTRACT DOCUMENTS.
 - PROVIDING A RECORD DRAWING.
 - COMPLETION OF FINAL PUNCH LIST ITEMS.
6. **CONSTRUCTION ENTRANCE & PARKING** - INITIALLY, CONSTRUCTION EQUIPMENT, TRUCKS, EMPLOYEES OF THE SUB-CONTRACTORS, ETC. WILL USE THE ENTRANCE OFF WYFFELS ROAD TO ACCESS THE SITE. THE ROAD IS TO BE KEPT CLEAN FOR THE RESIDENTS WHO LIVE THERE. PROVIDE A PARKING AREA FOR VEHICLES OTHER THAN THE PUBLIC ROAD FOR EMPLOYEES WORKING ON THE SITE.
AFTER THE ST. JAMES PARKWAY CONNECTION IS MADE TO MIDDLE CHESHIRE ROAD, CONSTRUCTION EQUIPMENT, TRUCKS, EMPLOYEES OF THE SUB-CONTRACTORS, ETC. WILL USE THIS ENTRANCE TO ACCESS THE CONSTRUCTION SITE.

UTILITIES

1. STORM

- 1.1 **REGULATIONS** - STORM SEWERS AND APPURTENANCES SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE LATEST REGULATIONS OF THE MUNICIPALITY.
- 1.2 **MATERIALS** - THE CONTRACTOR MAY USE THE FOLLOWING PIPE MATERIAL FOR THE MAIN SEWER AS ALLOWED BY THE MUNICIPALITY, PROVIDING THAT THE ROUGHNESS COEFFICIENT ("N" FACTOR) IS 0.013 OR BETTER:
 - REINFORCED CONCRETE PIPE (RCP), CLASS III
 - HIGH DENSITY CORRUGATED POLYETHYLENE PIPE (PE), AASHTO M-29, TYPE S, ASTM D-3350.
- 1.3 **ROOF DRAINAGE** - ALL ROOF DRAINAGE AND SUMP PUMPS SHALL BE DISCONNECTED TO THE REAR OF THE LOT AS SHOWN IN THE PLANS.
- 1.4 **TESTING** - UPON COMPLETION OF SYSTEM INSTALLATION, THE MAIN SEWER SYSTEM AND LEADS TO STRUCTURES SHALL BE FLUSHED AND LAMPED TO THE SATISFACTION OF THE MUNICIPALITY.

2. PUBLIC WATER EXTENSION

CANANDAIGUA CONSOLIDATED WATER DISTRICT AND NEW YORK STATE DEPARTMENT OF HEALTH

- 2.1 **SPECIFICATIONS** - WATER MAINS AND APPURTENANCES TO BE CONSTRUCTED IN ACCORDANCE WITH THE REGULATIONS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA WATER DEPARTMENT AND NYSDOH.
- 2.2 **MATERIAL:**
 - WATER MAIN(S) SHALL BE 8" DR-14 PLASTIC.
 - WATER SERVICE(S) SHALL BE 1-INCH CTS200 FROM THE WATER MAIN TO THE CURB BOX AND 1-INCH FROM THE CURB BOX TO THE METER.
 - WATER METER(S) SHALL BE LOCATED ON THE INTERIOR OF EXTERIOR WALLS IMMEDIATELY UPON SERVICE ENTRANCE INTO THE BUILDING(S). ON METERED SERVICES REQUIRING A 1 1/2-INCH OR LARGER METER A BYPASS AROUND THE METER IS REQUIRED.
 - ALL GATE VALVES SHALL HAVE STAINLESS STEEL BODY AND BONNET BOLTS.
 - ALL WATERMAIN MATERIALS AND GATE VALVES ARE TO BE MUELLER AND ALL CAST IRON FITTINGS ARE TO BE TYLER.
 - HYDRANTS ARE TO BE PAINTED RED.

2.3 TESTING:

- **PRESSURE** - THE WATER MAIN SHALL BE PRESSURE/LEAKAGE TESTED IN ACCORDANCE WITH THE MINIMUM REQUIREMENTS OF THE AWWA STANDARD C605 (LATEST REVISION) OR IN ACCORDANCE WITH MORE STRINGENT REQUIREMENTS IMPOSED BY THE CANANDAIGUA WATER DEPARTMENT.
- **HEALTH SAMPLE**
 - THE WATER MAIN SHALL BE DISINFECTED EQUAL TO AWWA STANDARD SPECIFICATIONS, DESIGNATION C-651, BY USING THE CONTINUOUS FEED METHOD. AFTER FLUSHING AND DISINFECTING THE WATER MAIN, WATER SAMPLES SHALL BE COLLECTED FROM THE MAIN BY THE TOWN OF CANANDAIGUA WATER DEPARTMENT AND RESULTS PROVIDED TO NYSDOH.
 - TWO CONSECUTIVE DAYS OF ACCEPTABLE BACTERIOLOGICAL SAMPLE RESULTS ARE REQUIRED. FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS. APPROVAL AND NOTIFICATION BY THE HEALTH DEPARTMENT MUST BE RECEIVED BEFORE THE MAIN IS PLACED IN SERVICE.

2.4 INSTALLATION:

- WATER MAINS AND ALL WATER SERVICE LINES SHALL HAVE A MINIMUM OF FIVE FEET OF COVER FROM FINISHED GRADE IN LAWN AREAS AND A MINIMUM OF SIX FEET OF COVER FROM FINISHED GRADE IN PAVED AREAS.
- TRACER WIRE IS TO BE PLACED WITH THE WATERMAIN AND LOOPED AT THE FIRE HYDRANTS.
- MINIMUM VERTICAL SEPARATION BETWEEN WATER MAINS AND SEWER PIPELINES SHALL BE 18 INCHES MEASURED FROM THE OUTSIDE OF THE PIPES AT THE POINT OF CROSSING. ONE FULL STANDARD LAYING LENGTH OF WATER MAIN SHALL BE CENTERED UNDER OR OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE. IN ADDITION, WHEN THE WATER MAIN PASSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACTED SELECTED FILL) SHALL BE PROVIDED FOR THE SEWER TO PREVENT EXCESSIVE DEFLECTIONS OF JOINTS AND SETTLING OF THE SEWER ON THE WATER MAIN. MINIMUM HORIZONTAL SEPARATION BETWEEN PARALLEL WATER MAINS AND SEWER PIPES (INCLUDING MANHOLES AND VAULTS) SHALL BE 10 FEET MEASURED FROM THE OUTSIDE OF THE PIPES, MANHOLES, OR VAULTS.
- FIRE HYDRANT WEEP HOLES (DRAINS) SHALL BE PLUGGED WHEN GROUND WATER IS ENCOUNTERED WITHIN SEVEN FEET OF THE FINISHED GRADE.
- ALL MECHANICAL JOINT FITTINGS (TEES, BENDS, PLUGS, ETC.) SHALL BE BACKED WITH 2500 PSI CONCRETE THRUST BLOCKS.

THERE ARE NO KNOWN SOIL CHARACTERISTICS REQUIRING SPECIAL INSTALLATION MEASURES (WRAPPING PIPE, ETC.). IF CONTRACTOR ENCOUNTERS SOILS DURING INSTALLATION THAT MAY REQUIRE SPECIAL INSTALLATION MEASURES NOT INCLUDED IN THIS DOCUMENT, THE CONTRACTOR SHALL CONTACT THE ENGINEER FOR OBSERVATION AND INSTALLATION DIRECTION.

THE TOWN OF CANANDAIGUA WATER SUPERINTENDANT IS TO BE CONTACTED TO INSPECT WATERMAIN MATERIALS PRIOR TO INSTALLATION.

- 2.5 **FLUSHING** - WATER MAINS DESIGNATION C651 (LATEST REVISION), FOLLOWING DISINFECTION, THE WATER MAIN SHALL BE FLUSHED UNTIL THE CHLORINE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT GENERALLY PREVAILING IN THE TOWN OF CANANDAIGUA WATER DEPARTMENT EMPLOYEES. THE TOWN OF CANANDAIGUA WILL PROVIDE A DE-CHLORINATION DEVICE FOR THE SUPER-CHLORINATED WATER.

2.6 DISINFECTION

- THE WATER MAIN SHALL BE DISINFECTED EQUAL TO AWWA STANDARD FOR DISINFECTING WATER MAINS DESIGNATION C651 (LATEST REVISION), FOLLOWING DISINFECTION, THE WATER MAIN SHALL BE FLUSHED UNTIL THE CHLORINE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT GENERALLY PREVAILING IN THE SYSTEM.
- ALL WATER MAIN FITTINGS NOT RECEIVING 24-HOUR CHLORINE DISINFECTION CONTACT TIME MUST BE SWAB DISINFECTED 30 MINUTES PRIOR TO INSTALLATION.

2.7 SAMPLING - THE SAMPLING POINT(S) MUST BE DECONTAMINATED BY FLAMING.

- FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS.
- SAMPLING SHALL NOT BE PERFORMED PRIOR TO RECEIPT FROM A NEW YORK STATE LICENSED OR REGISTERED DESIGN PROFESSIONAL (ENGINEER, ARCHITECT OR LAND SURVEYOR WITH A SPECIAL EXEMPTION UNDER SECTION 7208(N) OF THE EDUCATION LAW) CERTIFYING THAT THE WATER SUPPLY IMPROVEMENTS, TESTING AND DISINFECTION PROCEDURES WERE COMPLETED IN ACCORDANCE WITH THE APPROVED PLANS, REPORTS, SPECIFICATIONS AND ANY APPROVED AMENDMENTS. SAMPLES SHALL BE COLLECTED FOR FREE CHLORINE RESIDUAL, TOTAL COLIFORM, ESCHERICHIA COLI (E. COLI) AND TURBIDITY.
- THE WATER MAIN SHALL NOT BE PLACED INTO SERVICE UNTIL SO AUTHORIZED BY THE NEW YORK STATE DEPT. OF HEALTH.
- TOWN OF CANANDAIGUA WATER DEPARTMENT WILL COLLECT SAMPLES.

EARTHWORK

1. **PREPARATION** - PRIOR TO START OF EARTHWORK OPERATIONS THE CONTRACTOR SHALL COMPLETE THE FOLLOWING APPLICABLE ITEMS AS DEFINED BY CONTRACT DOCUMENTS:
 - **SITE DEMOLITION** - REMOVAL AND DISPOSAL OFF-SITE IN A LEGAL MANNER; STRUCTURES, UTILITIES, PAVEMENTS, ETC.
 - **CLEARING AND GRUBBING** - REMOVAL AND DISPOSAL OFF-SITE IN A LEGAL MANNER; TREES, BRUSH, STUMPS, ETC.
 - **TOPSOIL STRIPPING** - STRIP AND STOCKPILE TOPSOIL FOR REUSE. EXCESS TOPSOIL MAY BE REMOVED FROM SITE WITH APPROVAL BY OWNER AND MUNICIPALITY.
2. **RESPONSIBILITY** - THE CONTRACTOR IS RESPONSIBLE FOR:
 - **ESTIMATE** - COMPLETION OF A QUANTITY TAKEOFF TO DETERMINE THE VOLUME OF CUT, FILL, AND TOPSOIL. COMPARE AND COORDINATE WITH INFORMATION PROVIDED BY THE DESIGN ENGINEER.
 - **GRADE TOLERANCES** - ESTABLISHING DESIGN SUBGRADE ELEVATIONS TO WITHIN ONE TENTH OF ONE FOOT (0.10') IN PAVEMENT AREAS (INCLUDING WALKS) AND TO WITHIN THIRTY-THREE HUNDREDTHS OF ONE FOOT (0.33') FOR ALL REMAINING AREAS.
 - **COMPACTION** - ACHIEVING THE SPECIFIED MINIMUM COMPACTION VALUES FOR EMBANKMENT/FILL AREAS. THE TERMS "FILL" AND "EMBANKMENT" ARE INTERCHANGEABLE.
 - **CUTS** - ONCE EXCAVATIONS ARE SHAPED TO THE DESIGN GRADES THE AREAS SHALL BE PROTECTED TO ASSURE THAT THE INTEGRITY OF MATERIAL IS NOT COMPROMISED BY CONSTRUCTION VEHICLES AND/OR IMPROPER DRAINAGE. AREAS DETERMINED BY CONTRACTOR TO BE **NOT** SUITABLE FOR SUBGRADE PLACEMENT SHALL BE IMMEDIATELY REPORTED WHEN THE SUBGRADE IS ESTABLISHED TO OWNER'S REPRESENTATIVE. STABILIZATION MEASURES FOR CUT AREAS MAY BE CONSIDERED BY OWNER'S REPRESENTATIVE AS A CHANGE TO THE BASE CONTRACT.
3. **TESTING** - THE FOLLOWING MAXIMUM DRY DENSITIES SHALL BE ACHIEVED AS MEASURED BY THE MODIFIED PROCTOR METHOD ASTM D-1557:
 - **95%** UNDER PAVEMENTS, WALKS, AND IN STRUCTURAL FILL AREAS
 - **85%** IN REMAINING AREASTHE AGREEMENT BETWEEN THE OWNER AND CONTRACTOR SHALL DEFINE THE NUMBER OF TESTS AND RESPONSIBILITY. WE RECOMMEND IN EMBANKMENT AREAS ONE PER LIFT AND/OR ONE PER 1,000 CUBIC YARDS.

THE TOWN OF CANANDAIGUA HAS THE FOLLOWING ADDITIONAL REQUIREMENTS:

- METHODS AND EQUIPMENT PROPOSED FOR COMPACTION SHALL BE SUBJECT TO THE APPROVAL OF THE TOWN. COMPACTION BY ROLLING OR OPERATING HEAVY EQUIPMENT OVER FILL AREAS SHALL BE CONDUCTED IN A MANNER BY WHICH DAMAGE TO EXISTING UTILITIES AND STRUCTURES SHALL BE AVOIDED. ANY PIPE OR STRUCTURE DAMAGED THEREBY SHALL BE REPLACED OR REPAIRED AS DIRECTED BY THE TOWN AT THE EXPENSE OF THE DEVELOPER.
 - FIELD DENSITY TESTS MAY BE ORDERED BY THE TOWN AS NECESSARY AND WILL BE PAID FOR BY THE DEVELOPER. THE DEVELOPER SHALL FURNISH ALL NECESSARY SAMPLES FOR LABORATORY TESTS AND SHALL PROVIDE ASSISTANCE AND COOPERATION DURING FIELD TESTS. THE DEVELOPER SHALL PLAN HIS OPERATIONS TO ALLOW ADEQUATE TIME FOR LABORATORY TESTS AND TO PERMIT TAKING OF FIELD DENSITY TESTS DURING COMPACTION.
 - ANY AREAS FOUND TO BE BELOW COMPACTION DENSITIES SHALL BE REMOVED AND REPLACED WITH NEW MATERIAL AT THE DEVELOPER'S EXPENSE. THE METHODS OF OPERATION AND/OR THE BACKFILL MATERIALS SHALL BE CHANGED TO MEET REQUIRED COMPACTIONS.
 - INADEQUATE COMPACTION SHALL BE CAUSE FOR THE TOWN TO ISSUE A STOP WORK ORDER ON A PROJECT.
4. **LIFT THICKNESS** - THE MAXIMUM LIFT THICKNESS UNDER PAVEMENTS, WALKS, AND STRUCTURAL FILLS SHALL BE 12 INCHES. HAND OPERATED COMPACTION FILLS SHALL NOT EXCEED 6 INCHES.
 5. **PROOF ROLLING** - THE TOWN OF CANANDAIGUA HIGHWAY DEPARTMENT SHALL BE NOTIFIED PRIOR TO A PROOF ROLL (I.E. LOADED TEN WHEELER) OF SUBGRADE AREAS BEING PERFORMED PRIOR TO PLACEMENT OF SUBBASE MATERIALS. AREAS THAT "FAIL" SHALL BE REMOVED AND REPLACED TO ACHIEVE A PASSING SUBGRADE.
 6. **EXISTING SOIL CONDITIONS** - NO EXISTING SOIL INFORMATION HAS BEEN PROVIDED BY THE OWNER/ DEVELOPER. IT IS ASSUMED THAT SOILS ARE SUITABLE FOR CUTS AND FILLS. FOR PURPOSES OF DESIGN 12" OF TOPSOIL WAS ASSUMED TO BE PRESENT ON AVERAGE THROUGHOUT THE SITE.
 7. **DEWATERING** - THE CONTRACTOR IS RESPONSIBLE FOR ALL DEWATERING PRACTICES INCLUDING DRYING OF MATERIAL TO ACCOMPLISH COMPACTION IN FILL AREAS AND DEMONSTRATING SUITABILITY OF SUBGRADE. - CONTRACTOR IS RESPONSIBLE FOR DEWATERING THE EXISTING POND PRIOR TO EXCAVATION/GRADING TO PROPOSED GRADES SHOWN ON THE PLANS. DEWATERING OUTFLOW SHALL BE PUMPED TO A STONE FILTER EXITING TO THE EXISTING OUTFALL SWALE.

EROSION CONTROL

1. **CERTIFICATION** - THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WHICH INCLUDES THE "GRADING PLAN", "EROSION CONTROL PLAN", "EROSION CONTROL NOTES", ALONG WITH THE "DRAINAGE REPORT", DEFINES AND MEETS THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) LATEST STORM WATER REGULATIONS.
2. **CONTRACTOR RESPONSIBILITY** - ALL CONTRACTORS AND SUB-CONTRACTORS SHALL CERTIFY WITHIN THE SWPPP THAT THEY WILL IMPLEMENT AND MAINTAIN STORM WATER MANAGEMENT PRACTICES.
3. **INSPECTION** - EROSION CONTROL (EC) MEASURES INSTALLED AND MAINTAINED BY THE SITE WORK CONTRACTOR ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE MUNICIPALITY, DESIGN ENGINEER, NYSDEC, AND OWNER'S REPRESENTATIVE. IMMEDIATE ACTION BY THE CONTRACTOR SHALL BE TAKEN IF ADDITIONAL OR CORRECTIVE MEASURES ARE REQUIRED BY ANY ONE OF THESE CITED REVIEWERS. EROSION CONTROL MEASURES NOT SPECIFICALLY SHOWN ON CONTRACT DRAWINGS (I.E., STRAW BALES, COLLARS, FABRICS, ETC.) SHALL BE INSTALLED AS WARRANTED BY FIELD CONDITIONS, AND AS DIRECTED BY THE AFOREMENTIONED REVIEWERS.
4. **NOTIFICATION** - AS DESIGN ENGINEER, OUR OFFICE HAS NOTIFIED THE OWNER OF THE INSPECTION REQUIREMENTS UNDER GP-15-02. DISTURBANCES OF 1.0 ACRE OR GREATER REQUIRE THAT THE OWNER FILE A NOTICE OF INTENT (NOI) AND A SWPPP WITH THE NYSDEC UNDER STATE POLLUTANT DISCHARGE ELIMINATION SYSTEM (SPDES) GENERAL PERMIT GP-15-02. SWPPP INSPECTIONS ARE TO BE COMPLETED BY A LICENSED PROFESSIONAL AND INSPECTION REPORTS ARE TO BE PROVIDED TO THE TOWN DEVELOPMENT OFFICE UNTIL THE SITE IS PERMANENTLY STABILIZED AND APPROVED BY THE TOWN CODE ENFORCEMENT OFFICER.
5. **PRE-CONSTRUCTION** - THE APPROPRIATE EROSION CONTROL MEASURES AS DEFINED BY THE CONSTRUCTION DOCUMENTS SHALL BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
6. **TOPSOIL** - UPON COMPLETION OF THE STOCKPILE STRIPPING OPERATION, STOCKPILES SHALL BE STABILIZED IN ACCORDANCE TO NYSDEC REGULATIONS.
7. **SLOPES** - UPON COMPLETION OF GRADING, SLOPES WITH A GRADIENT OF ONE FOOT VERTICAL TO THREE FEET HORIZONTAL (1 ON 3) OR GREATER SHALL BE: TOPSOILED, SEEDED, FERTILIZED, MULCHED AND STABILIZED WITH AN EROSION CONTROL BLANKET. RILLS SHALL BE IMMEDIATELY ADDRESSED AND STABILIZED AS NEEDED WITH JUTE MESH OR REAPPLICATION OF MULCH.
8. **DUST** - THE CONTRACTOR SHALL APPLY WATER AND/OR CALCIUM CHLORIDE, AS CONDITIONS WARRANT, TO CONTROL WIND BORN EROSION. THIS MEASURE APPLIES TO: HAUL ROADS, CUT AND FILL OPERATIONS, SUB-BASE AND ANY OTHER EXPOSED SURFACES.
9. **OPERATION & MAINTENANCE** - THROUGHOUT THE PERIOD OF CONSTRUCTION AND PRIOR TO ESTABLISHING FINAL GROUND COVER THE SITE CONTRACTOR IS RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE TEMPORARY EROSION CONTROL MEASURES. FOR EXAMPLE, THE SILTATION FACILITIES SHALL BE RE-EXCAVATED WHEN THE VOLUME (3600 CUBIC FEET/DISTURBED ACRE) IS REDUCED BY ONE-HALF OR MORE OF ITS SPECIFIED CAPACITY AND/OR THE MATERIAL IS WITHIN ONE FOOT OF THE DISCHARGE POINT.
10. **WORK STOPPAGE** - ALL DISTURBED AREAS NOT TO BE WORKED WITHIN 14 DAYS MUST BE SEEDED AND STABILIZED WITHIN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA.
11. **TOWN OF CANANDAIGUA REQUIREMENTS** -

- DEVELOPMENT WITHIN THE CANANDAIGUA LAKE WATERSHED THAT REQUIRES POST CONSTRUCTION WATER QUALITY MEASURES SUCH AS STORMWATER MANAGEMENT FACILITIES, THE DEVELOPER IS REQUIRED TO PROVIDE DAILY OBSERVATION OF THE SITE BY A LICENSED PROFESSIONAL OR A CERTIFIED PERSONS IN EROSION AND SEDIMENT CONTROL (CPESC) UNTIL SUCH TIME THAT THE MASS GRADING OF THAT SECTION OR PHASE IS COMPLETED AND ALL STORMWATER MANAGEMENT COMPONENTS OF THE SWPPP ARE INSTALLED AND FUNCTIONING.
- DEVELOPMENT WITHIN THE CANANDAIGUA LAKE WATERSHED THAT WILL DISTURB MORE THAN 5 ACRES AT ONE TIME, SHALL BE REQUIRED TO COORDINATE THE REGULAR STORMWATER OBSERVATIONS (REQUIRED BY SPDES GENERAL PERMIT) WITH THE WATERSHED INSPECTOR AND THE WATERSHED PROGRAM MANAGER.

CANANDAIGUA LAKE COUNTY SEWER DISTRICT

1. SEWER PERMITS AND PERMITS FOR WORK WITHIN ONTARIO COUNTY HIGHWAY RIGHTS OF WAY MUST BE PURCHASED IN ADVANCE AT THE ONTARIO COUNTY PUBLIC WORKS OFFICE LOCATED AT 2962 COUNTY ROAD 48 IN THE TOWN OF HOPEWELL. CALL 585-396-4000 FOR INFORMATION.
2. SANITARY SEWER CONSTRUCTION AND/OR IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CANANDAIGUA LAKE COUNTY SEWER DISTRICT, N.Y.S. DEPARTMENT OF ENVIRONMENTAL CONSERVATION, N.Y.S. DEPARTMENT OF HEALTH, THE LATEST EDITION OF *RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES*, AND ANY OTHER AGENCIES HAVING JURISDICTION.
3. SANITARY SEWER MAIN GRAVITY PIPE SHALL BE 8" DIA. OR LARGER PVC CLASS SDR-35 OR SDR-21 WITH ELASTOMERIC JOINTS. LATERALS SHALL BE 4" DIA. SDR-21 WITH ELASTOMERIC JOINTS. ACTUAL FIELD CONDITIONS MAY REQUIRE ADDITIONAL PIPE OR BACKFILL REINFORCEMENT. THE SANITARY SEWER WILL BE DESIGNED BY THE DEVELOPER'S ENGINEER. FIELD CHANGES MUST BE APPROVED BY THE SEWER DISTRICT.
4. THE SANITARY SEWER IS DESIGNED TO PROVIDE GRAVITY SERVICE TO ALL ADJACENT BUILDING BASEMENTS. EXCEPTIONS HAVE BEEN APPROVED BY THE SEWER DISTRICT AND ARE CLEARLY NOTED ON THE UTILITY PLAN. BASEMENT FLOOR ELEVATIONS WILL BE SHOWN ON THE SANITARY SEWER PROFILE FOR EACH LOT THAT WILL NOT BE SERVED BY GRAVITY LATERALS.
5. THE CONTRACTOR SHALL LOCATE, MARK AND PRESERVE ANY RIGHT OF WAY MONUMENTS OR SURVEY CONTROL IN THE AREA OF CONSTRUCTION.
6. UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION OF UTILITIES, EXCAVATING TO EXPOSE THE UTILITY. IF NECESSARY IN THE AREA OF CONSTRUCTION, BEFORE COMMENCING CONSTRUCTION, CONTACT U.F.P.O. AT 1-800-962-7962 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.
7. THE SANITARY SEWER SHALL BE LOCATED A MINIMUM HORIZONTAL DISTANCE OF 10' FROM ANY EXISTING OR PROPOSED WATER MAIN (AS MEASURED FROM THE OUTSIDE OF THE SEWER TO THE OUTSIDE OF THE WATER MAIN). IN CASES WHERE THE SANITARY SEWER CROSSES A WATER MAIN, THE MINIMUM VERTICAL SEPARATION SHALL BE 18" (MEASURED OUT-TO-OUT). THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS.
8. A LETTER OF CREDIT, OR ENGINEER APPROVED EQUIVALENT, FOR AN AMOUNT EQUAL TO THE ESTIMATED COST OF CONSTRUCTION, INSPECTION, RECORD DRAWINGS, DEDICATION DOCUMENTS AND RELATED EXPENSES FOR THE SANITARY SEWER PLUS AN ADDITIONAL 10% FOR CONTINGENCIES MUST BE SUBMITTED TO THE COMMISSIONER OF PUBLIC WORKS BEFORE A PERMIT IS ISSUED OR SEWER CONSTRUCTION MAY COMMENCE.
9. THE CONTRACTOR SHALL PROVIDE THE DISTRICT WITH SHOP DRAWINGS AND MATERIAL SPECIFICATIONS THAT HAVE BEEN PRE-APPROVED BY THE DESIGN ENGINEER BEFORE A PERMIT WILL BE ISSUED.
10. THE DEVELOPER IS RESPONSIBLE FOR THE PREPARATION OF ALL REQUIRED EASEMENT MAPS AND DESCRIPTIONS AND SUBMISSION TO THE DISTRICT FOR APPROVAL. PERMITS WILL NOT BE ISSUED PRIOR TO THE EASEMENT DOCUMENTS BEING SIGNED BY THE COMMISSIONER AND RECORDED IN THE COUNTY CLERK'S OFFICE.
11. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH OSHA REQUIREMENTS IN ALL ASPECTS OF CONSTRUCTION, PAYING PARTICULAR ATTENTION TO REQUIREMENTS FOR OPEN TRENCH AND CONFINED SPACE. ENTRY INTO ANY DISTRICT STRUCTURE MUST COMPLY WITH ALL DISTRICT AND OSHA APPROVED PROCEDURES FOR CONFINED SPACES.
12. WHEN SANITARY SEWER CONSTRUCTION ACTIVITIES BEGIN, THE CONTRACTOR SHALL PLUG THE MAIN AT THE CONNECTING MANHOLE. PLUGS SHALL NOT BE REMOVED UNTIL THE COMPLETED SEWER LINE IS TESTED AND APPROVED FOR USE.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SANITARY FLOWS AT ALL TIMES BY METHODS ACCEPTABLE TO THE DEVELOPER'S ENGINEER AND THE DISTRICT.
14. THE SEWER LINE SHALL BE LAID USING A PIPE LASER. GRADE SHALL BE CHECKED EVERY 100 FEET USING A SURVEYOR'S LEVEL TO INSURE THE CORRECT GRADE IS BEING MAINTAINED.
15. FLOOR DRAINS IN THE BASEMENT OR GARAGE ARE TO BE CONNECTED TO THE SANITARY SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION OR FOOTER DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUND WATER. ALL DISCHARGES TO THE SANITARY SEWER MUST COMPLY WITH EFFLUENT LIMITS OF THE ONTARIO COUNTY SEWER USE LAW. FOUNDATION AND FOOTER DRAINS SHALL BE CONSTRUCTED IN A MANNER THAT WILL PROHIBIT GROUND WATER FROM DRAINING INTO THE SANITARY SEWER PIPE CRADLE.
16. OPENINGS IN EXISTING MANHOLES SHALL BE MADE WITH A CORE SAW. A RUBBER, WATER-TIGHT PIPE-TO-MANHOLE BOOT ADAPTER OR OTHER DISTRICT APPROVED CONNECTOR CONFORMING TO ASTM C-923, SHALL BE USED TO MAKE THE CONNECTION TO THE EXISTING MANHOLE.
17. THE CONTRACTOR SHALL PERFORM ALL EXISTING MANHOLE MODIFICATION OPERATIONS IN SUCH A MANNER TO ENSURE NO DEBRIS OR CONSTRUCTION MATERIALS ENTER THE SANITARY SEWER SYSTEM.
18. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN PERFORMING EXISTING MANHOLE MODIFICATION OPERATIONS. ANY DAMAGE TO THE EXISTING SLAB, BARREL, OR ANY OTHER PART OF THE STRUCTURE SHALL BE REPLACED IN KIND TO THE SATISFACTION OF THE CANANDAIGUA LAKE COUNTY SEWER DISTRICT REPRESENTATIVE AT THE CONTRACTOR'S EXPENSE.
19. EXISTING MANHOLES THAT ARE MODIFIED IN ANY MANNER SHALL BE SUBJECT TO VACUUM TESTING PER DISTRICT REQUIREMENTS.
20. CONNECTIONS REQUIRING OPENINGS IN ASBESTOS CEMENT PIPE WILL BE DESIGNED, INSPECTED AND CERTIFIED BY THE DESIGN ENGINEER OR REPRESENTATIVE THEREOF.
21. ALL PIPES ENTERING AND EXITING MANHOLES SHALL HAVE A FLEXIBLE WATER-TIGHT JOINT NO LESS THAN 1 FOOT AND NO GREATER THAN 3 FEET FROM THE OUTSIDE WALL OF THE MANHOLE.
22. MANHOLES DEEPER THAN 4 FEET, LESS THAN 5 FEET IN DEPTH, OR HAVING THREE OR MORE PIPE CONNECTIONS SHALL HAVE A MINIMUM INSIDE DIAMETER OF 5 FEET.
23. ANY EXCAVATION NOT BACKFILLED BY THE END OF THE WORKDAY SHALL BE FENCED, BARRICADED AND LIGHTED FOR SAFETY AND PROTECTION OF THE PUBLIC.
24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING SANITARY MAINS, STRUCTURES AND APPURTENANCES, IF ANY, NECESSARY TO COMPLY WITH THE WORK.
25. EXISTING LATERALS TO BE DISCONNECTED MUST BE PERMANENTLY PLUGGED OR CAPPED AT THE EASEMENT OR RIGHT OF WAY LINE UNDER THE DIRECTION OF THE CANANDAIGUA LAKE COUNTY SEWER DISTRICT SUPERVISOR. THE CONTRACTOR IS REQUIRED TO OBTAIN A PERMIT PRIOR TO PERFORMING THE WORK. THE LOCATION OF THE PLUG OR CAP SHALL BE RECORDED FOR AS-BUILT DRAWING PURPOSES.
26. LATERAL CLEAN OUTS WILL BE PROVIDED AT THE RIGHT OF WAY LINE OR SANITARY SEWER EASEMENT LINE, WHICHEVER IS FURTHEST FROM THE SEWER MAIN, AND EVERY 90 LINEAR FEET THEREAFTER.
27. THE CONTRACTOR SHALL TAKE AND RECORD FIELD MEASUREMENTS TO ALL WYES, CLEAN OUTS AND LATERAL PLUGS AS WELL AS LENGTHS OF RISERS AND DEPTHS AT LATERAL PLUGS. THE INFORMATION WILL BE GIVEN TO THE DEVELOPER'S ENGINEER FOR USE IN PREPARING RECORD DRAWINGS.
28. FOLLOWING PROJECT COMPLETION AND 30 DAYS AFTER THE BACKFILL HAS BEEN IN PLACE THE FOLLOWING TESTS SHALL BE PERFORMED ON GRAVITY SANITARY SEWER MAIN:
 - a. INFILTRATION/EX-FILTRATION TESTS ON SEWER MAIN AND MANHOLES: AIR PRESSURE TESTING FOR SEWER MAINS AND VACUUM TESTING FOR MANHOLES IS RECOMMENDED. TESTS ON MANHOLES MAY BE PERFORMED ONLY AFTER MANHOLE BENCHES AND INVERTS ARE COMPLETE.
 - b. A DEFLECTION TEST USING A RIGID BALL OR MANDREL HAVING A DIAMETER OF 95% OF THE INSIDE DIAMETER OF THE PIPE. MECHANICAL PULLING DEVICES WILL NOT BE USED.
 - c. THE SEWER LINE WILL BE TELEVIEWED AND LAMPED AFTER ALL OTHER TESTS ARE COMPLETE. A GOOD QUALITY COPY OF THE DVD OR VIDEO-TAPE AND RELATED RECORDS WILL BE SUBMITTED FOR EVALUATION TO CANANDAIGUA LAKE COUNTY SEWER DISTRICT. PRIOR TO TELEVIEWING THE SEWER LINE SHALL BE FLUSHED AND CLEARED OF DIRT, STONES AND DEBRIS. IF PERMISSION IS GRANTED TO REMOVE THE PLUG AT THE CONNECTING MANHOLE PRIOR TO FLUSHING OPERATION, PROVIDED DOWNSTREAM SCREENS OR OTHER DEVICES TO PREVENT DEBRIS FROM ENTERING THE COUNTY'S SEWER SYSTEM. SECTIONS OF PIPE REPAIRED OR RE-FLUSHED WILL BE RE-TELEVIEWED UNTIL ACCEPTABLE.
29. UPON PROJECT COMPLETION AND PRIOR TO PROJECT APPROVAL, THE DEVELOPER'S ENGINEER WILL SUBMIT RECORD DRAWINGS ON MYLAR AND IN ELECTRONIC FORMAT, TIED TO NAD83 HORIZONTAL AND NAVD 88 VERTICAL DATUM. THE DRAWINGS WILL SHOW ACTUAL FIELD MEASURED LOCATIONS, LENGTHS, ELEVATIONS AND TYPES OF PIPE AND APPURTENANCES, INCLUDING WYES AND LATERALS, AS WELL AS PROFILES, EASEMENTS AND ANY OTHER RELATED INFORMATION REQUESTED BY THE DISTRICT. MYLAR DRAWINGS WILL BE STAMPED, SEALED AND SIGNED BY A PROFESSIONAL ENGINEER OR SURVEYOR, AND SHALL BE AT STANDARD ENGINEERING SCALE (I" = 50' MIN.), AND ON STANDARD SIZE DRAWINGS NO SMALLER THAN 11" x 17" AND NO LARGER THAN 24" x 36". PROJECT MONUMENTATION AND PERMANENT BENCHMARKS SHALL BE SHOWN WITH COORDINATE AND/OR ELEVATION INFORMATION.
30. THE DEVELOPER IS RESPONSIBLE FOR PROVIDING EASEMENT MAPS AND DESCRIPTIONS AND SEWER DEDICATION DOCUMENTS. MAPS WILL BE RECORDED WITH DEDICATION DOCUMENTS IN THE ONTARIO COUNTY CLERK'S OFFICE, AND THEREFORE NEED TO BE SUBMITTED ON LEGAL SIZE (8 1/2" x 14") PAPER.
31. PRIOR TO RELEASING THE RETAINAGE FROM THE ORIGINAL LETTER OF CREDIT, A MAINTENANCE BOND FOR A MINIMUM OF 10% OF THE TOTAL SANITARY SEWER-RELATED COST OF THE PROJECT IN FAVOR OF THE CANANDAIGUA LAKE COUNTY SEWER DISTRICT WILL BE SUBMITTED TO THE COMMISSIONER. THE BOND WILL EXPIRE NO SOONER THAN ONE YEAR FROM THE DATE OF DEDICATION OF THE SEWER, OR THE RELEASE DATE OF THE RETAINAGE FROM THE LETTER OF CREDIT, WHICHEVER OCCURS LAST.



MARATHON
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FINAL PLANS - SECTION 9B
for
LAKEWOOD MEADOWS
SUBDIVISION

STATE OF NEW YORK
ONTARIO COUNTY
TOWN OF CANANDAIGUA
ST. JAMES PARKWAY

JOB NO:	0551-16
SCALE:	N/A
DRAWN:	RJT
DESIGNED:	RPB
DATE:	7/15/16

REVISIONS		
DATE	BY	REVISION
10/18/16	RJT	ISSUED FOR FINAL REVIEW

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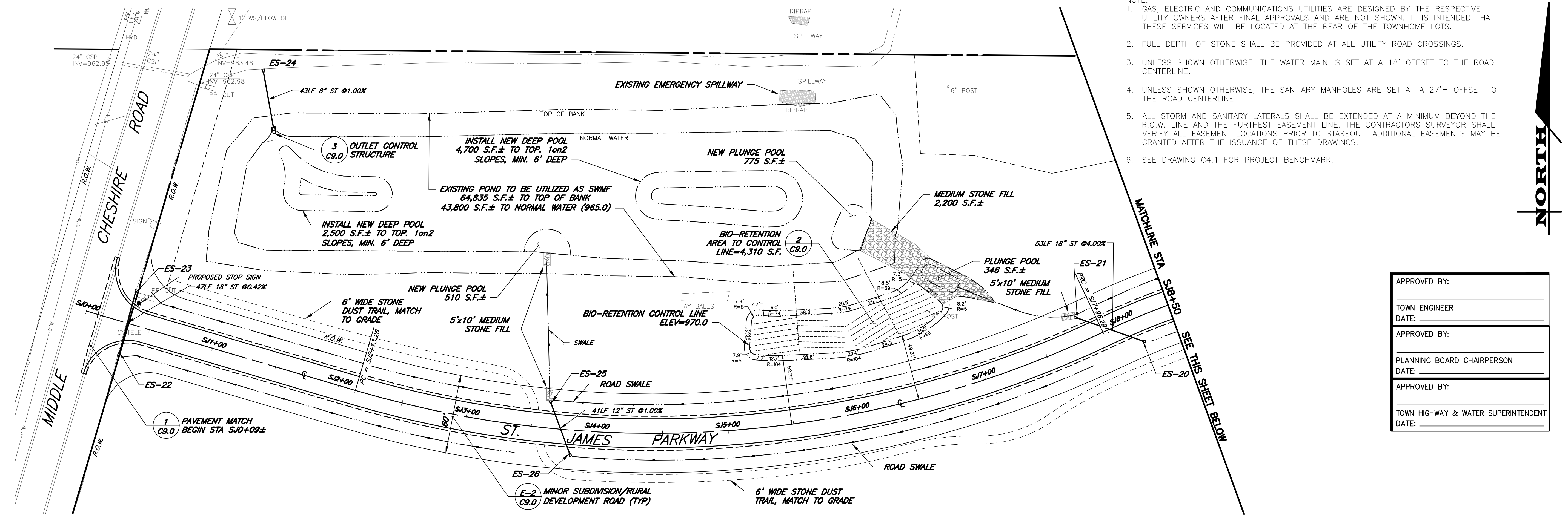
ROBERT P. BRINGLEY

DRAWING TITLE:
NOTES, LEGEND & ABBREVIATIONS

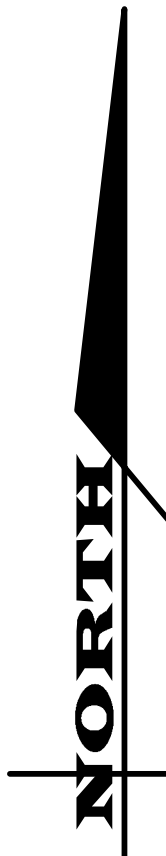
5 of 21 SHEET No:	C0.1
0551-16 JOB No:	
DRAWING No:	

NOTE: SEE DRAWING NO. C1.0 FOR LEGEND.

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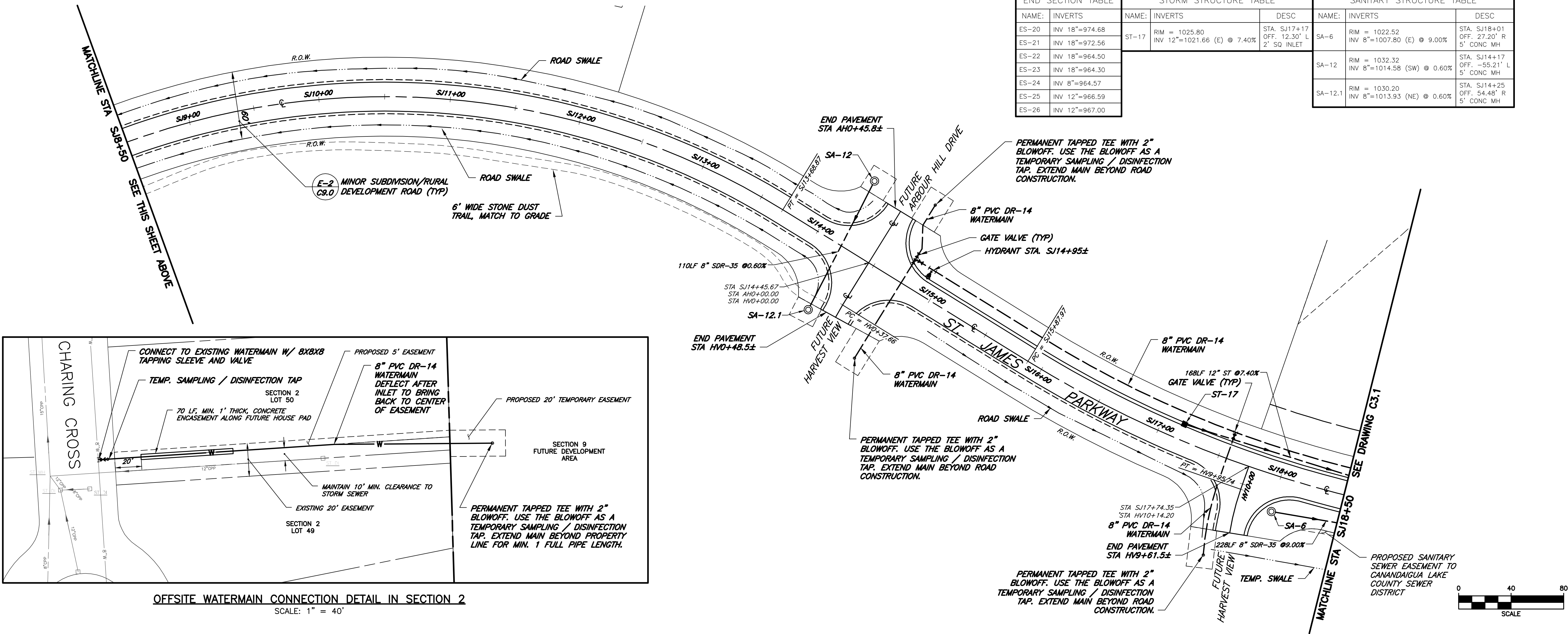


- NOTE:
1. GAS, ELECTRIC AND COMMUNICATIONS UTILITIES ARE DESIGNED BY THE RESPECTIVE UTILITY OWNERS AFTER FINAL APPROVALS AND ARE NOT SHOWN. IT IS INTENDED THAT THESE SERVICES WILL BE LOCATED AT THE REAR OF THE TOWNHOME LOTS.
 2. FULL DEPTH OF STONE SHALL BE PROVIDED AT ALL UTILITY ROAD CROSSINGS.
 3. UNLESS SHOWN OTHERWISE, THE WATER MAIN IS SET AT A 18" OFFSET TO THE ROAD CENTERLINE.
 4. UNLESS SHOWN OTHERWISE, THE SANITARY MANHOLES ARE SET AT A 27±" OFFSET TO THE ROAD CENTERLINE.
 5. ALL STORM AND SANITARY LATERALS SHALL BE EXTENDED AT A MINIMUM BEYOND THE R.O.W. LINE AND THE FURTHEST EASEMENT LINE. THE CONTRACTORS SURVEYOR SHALL VERIFY ALL EASEMENT LOCATIONS PRIOR TO STAKEOUT. ADDITIONAL EASEMENTS MAY BE GRANTED AFTER THE ISSUANCE OF THESE DRAWINGS.
 6. SEE DRAWING C4.1 FOR PROJECT BENCHMARK.



APPROVED BY:	
TOWN ENGINEER	
DATE:	
APPROVED BY:	
PLANNING BOARD CHAIRPERSON	
DATE:	
APPROVED BY:	
TOWN HIGHWAY & WATER SUPERINTENDENT	
DATE:	

END SECTION TABLE		STORM STRUCTURE TABLE		SANITARY STRUCTURE TABLE	
NAME:	INVERTS	NAME:	INVERTS	NAME:	INVERTS
ES-20	INV 18"=974.68	ST-17	RIM = 1025.80 INV 12"=1021.66 (E) @ 7.40%	SA-6	RIM = 1022.52 INV 8"=1007.80 (E) @ 9.00%
ES-21	INV 18"=972.56		STA. SJ17+17 OFF. 12.30' L 2" SQ INLET		STA. SJ18+01 OFF. 27.20' R 5' CONC MH
ES-22	INV 18"=964.50			SA-12	RIM = 1032.32 INV 8"=1014.58 (SW) @ 0.60%
ES-23	INV 18"=964.30				STA. SJ14+17 OFF. -55.21' L 5' CONC MH
ES-24	INV 8"=964.57			SA-12.1	RIM = 1030.20 INV 8"=1013.93 (NE) @ 0.60%
ES-25	INV 12"=966.59				STA. SJ14+25 OFF. 54.48' R 5' CONC MH
ES-26	INV 12"=967.00				



FINAL PLANS - SECTION 9B
for
LAKEWOOD MEADOWS
SUBDIVISION

STATE OF NEW YORK
TOWN OF CANANDAIGUA
ST. JAMES PARKWAY
ONTARIO COUNTY

JOB NO: 0551-16
SCALE: 1" = 40'
DRAWN: RJT
DESIGNED: RJT
DATE: 7/15/16

REVISIONS		
DATE	BY	REVISION
10/18/16	RJT	ISSUED FOR FINAL REVIEW
10/31/16	RJT	OCDPW COMMENTS

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DRAWING TITLE:
UTILITY PLAN -
SHEET 1

7 of 21
SHEET No: C3.0
0551-16
JOB No: DRAWING No:

JOB NO: 0551-16
SCALE: 1" = 40'
DRAWN: RJT
DESIGNED: RPB
DATE: 7/15/16

REVISIONS		
DATE	BY	REVISION
10/18/16	RJT	ISSUED FOR FINAL REVIEW
10/18/16	RJT	OCDPW COMMENTS

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DRAWING TITLE:
UTILITY PLAN -
SHEET 2

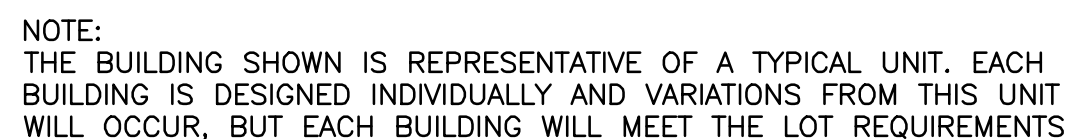
8 of 21

SHEET No

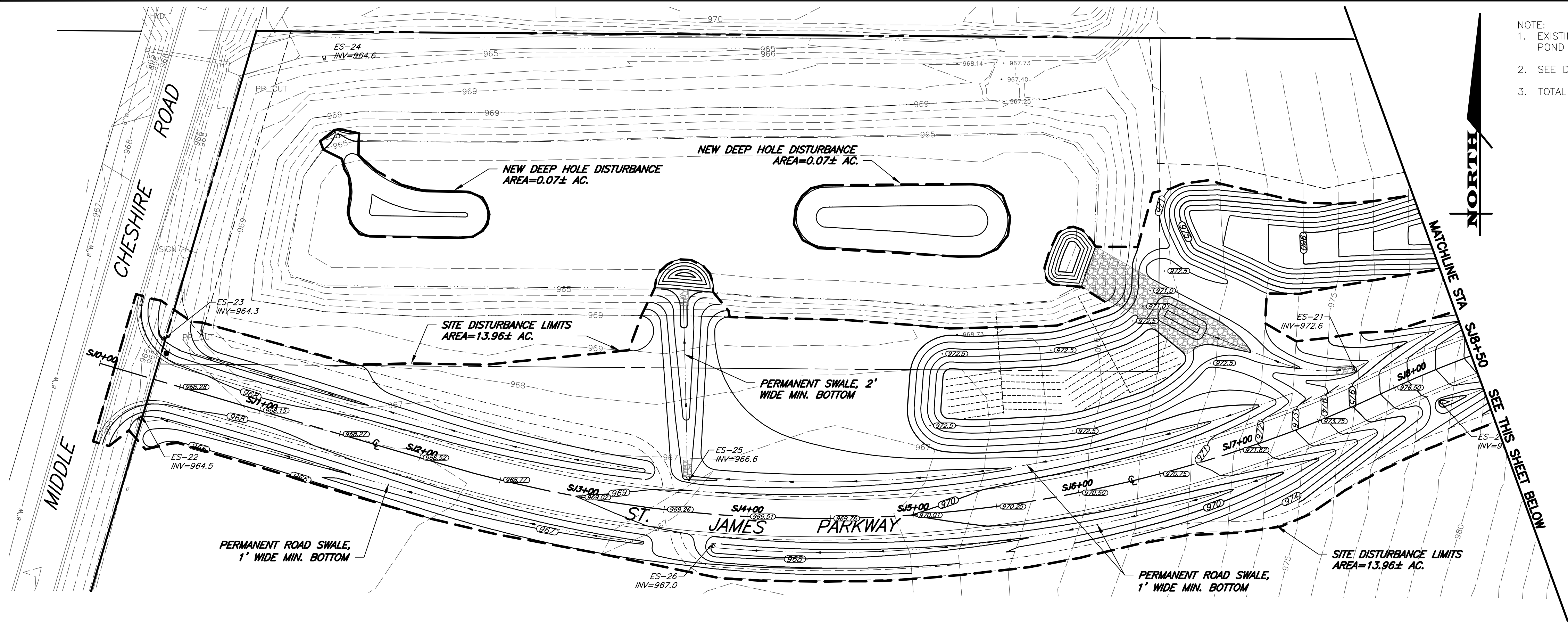
0551-16

C3.1

DRAWING No.



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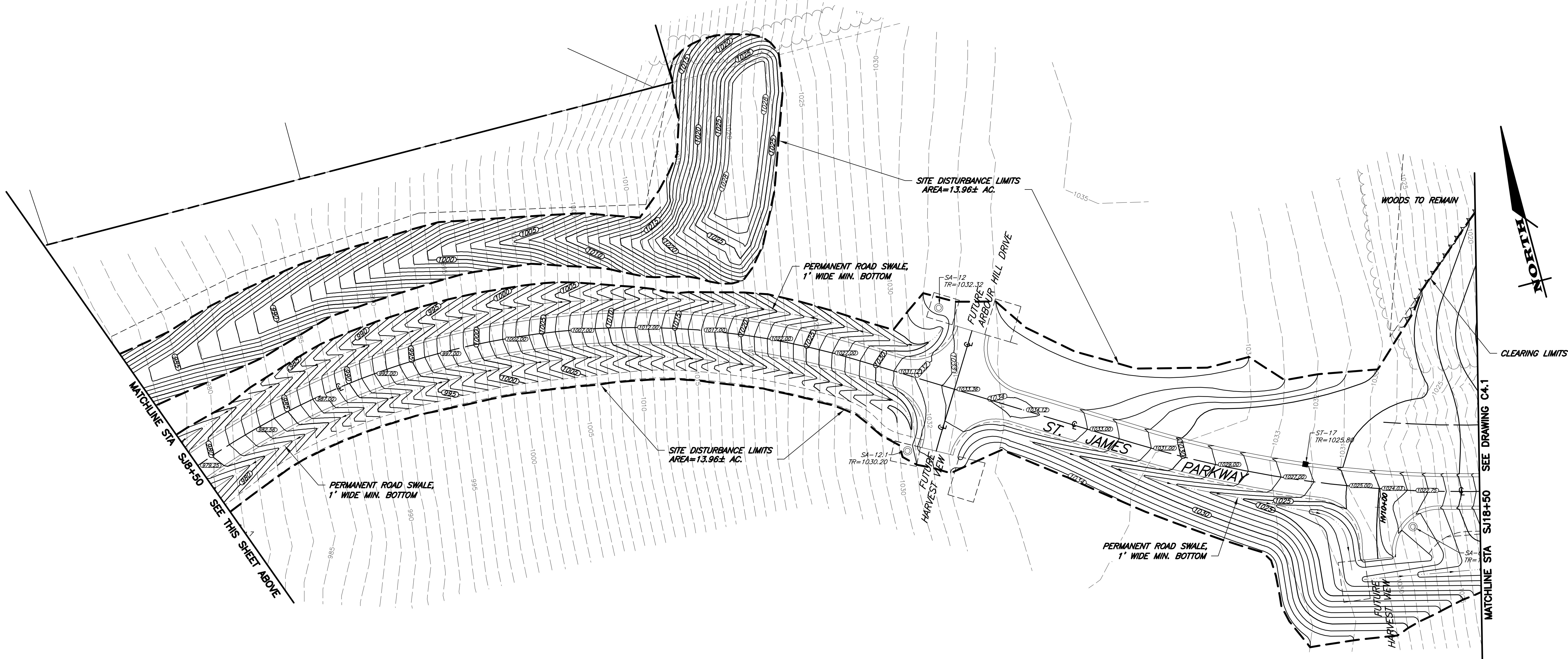
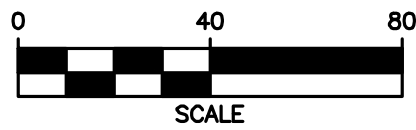


- NOTE:
1. EXISTING POND SHALL BE PROTECTED FROM SEDIMENT. IF SEDIMENTATION OCCURS, POND SHALL BE RESTORED TO EXISTING GRADES AND SEEDED WITH A WETLAND MIX.
 2. SEE DRAWING C4.1 FOR PROJECT BENCHMARK.
 3. TOTAL AREA OF DISTURBANCE = 14.14± ACRES.

POND STORM ELEVATIONS

EVENT	ELEVATION
1 YEAR	965.17
10 YEAR	965.56
25 YEAR	965.87
50 YEAR	966.21
100 YEAR	966.57

APPROVED BY:	
TOWN ENGINEER	
DATE:	
APPROVED BY:	
PLANNING BOARD CHAIRPERSON	
DATE:	
APPROVED BY:	
TOWN HIGHWAY & WATER SUPERINTENDENT	
DATE:	



FINAL PLANS - SECTION 9B
for
LAKEWOOD MEADOWS
SUBDIVISION

STATE OF NEW YORK

ONTARIO COUNTY

TOWN OF CANANDAIGUA

JOB NO: 0551-16
SCALE: 1" = 40'
DRAWN: RJT
DESIGNED: RJT
DATE: 7/15/16

REVISIONS

DATE	BY	REVISION
10/18/16	RJT	ISSUED FOR FINAL REVIEW

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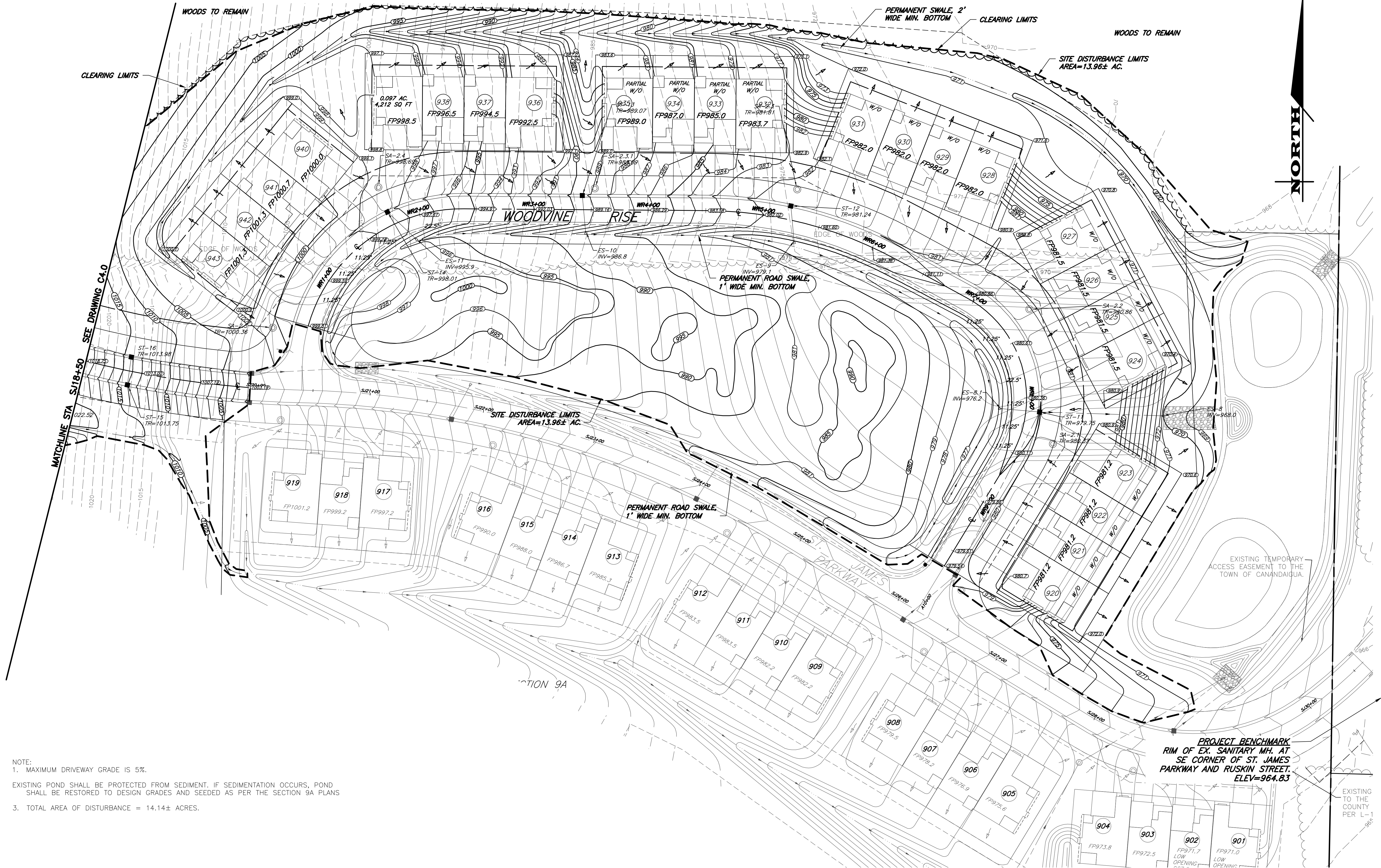


ROBERT P. BRINGLEY

DRAWING TITLE:
GRADING PLAN -
SHEET 1

9 of 21	C4.0
SHEET No:	
JOB No:	
DRAWING No:	

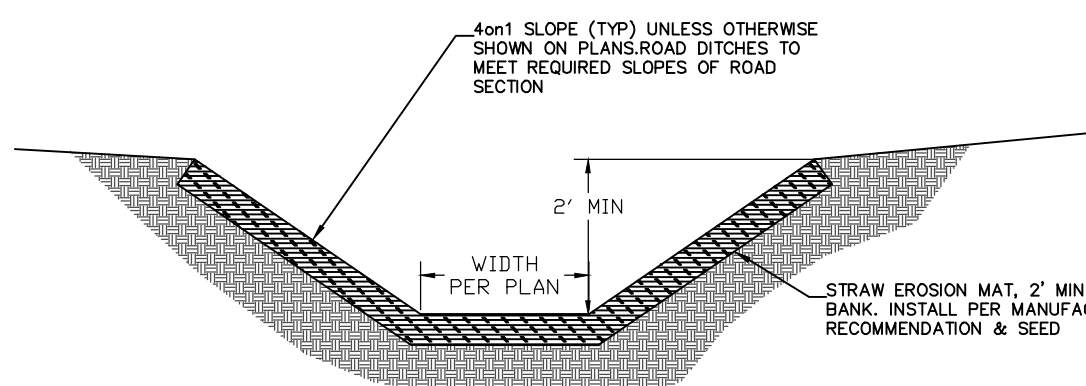
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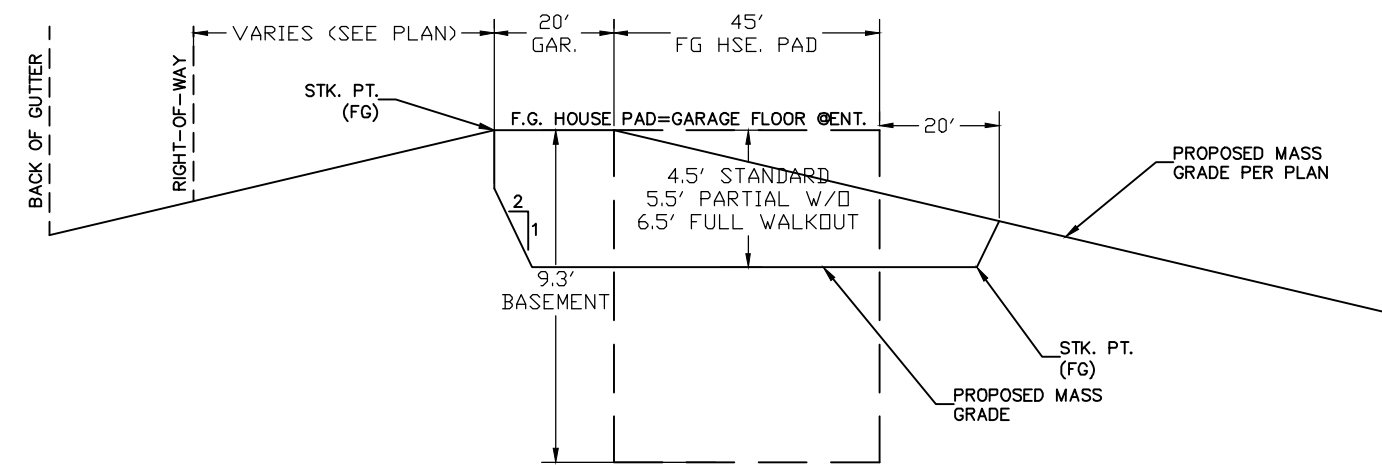
NOTE:
1. MAXIMUM DRIVEWAY GRADE IS 5%.

EXISTING POND SHALL BE PROTECTED FROM SEDIMENT. IF SEDIMENTATION OCCURS, POND SHALL BE RESTORED TO DESIGN GRADES AND SEEDED AS PER THE SECTION 9A PLANS

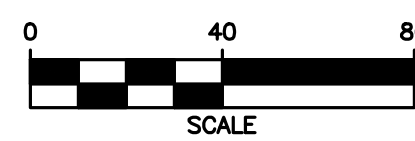
3. TOTAL AREA OF DISTURBANCE = 14.14± ACRES.



PROPOSED TYPICAL PERMANENT SWALE SECTION (N.T.S.)



PROPOSED TYPICAL MASS GRADING PLAN FOR A TOWN HOUSE UNIT (N.T.S.)



PROJECT BENCHMARK
RIM OF EX. SANITARY MH. AT
SE CORNER OF ST. JAMES
PARKWAY AND RUSKIN STREET.
ELEV=964.83

APPROVED BY:	
TOWN ENGINEER	
DATE:	
APPROVED BY:	
PLANNING BOARD CHAIRPERSON	
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APPROVED BY:	
TOWN HIGHWAY & WATER SUPERINTENDENT	
DATE:	

MARATHON
ENGINEERING
39 CASCADE DRIVE
ROCHESTER, NY 14614
PHONE 585-458-7770
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FINAL PLANS - SECTION 9B
for
LAKEWOOD MEADOWS
SUBDIVISION

STATE OF NEW YORK
TOWN OF CANANDAIGUA
ST. JAMES PARKWAY
ONTARIO COUNTY

JOB NO: 0551-16
SCALE: 1" = 40'
DRAWN: RJT
DESIGNED: RJT
DATE: 7/15/16

REVISIONS		
DATE	BY	REVISION
10/18/16	RJT	ISSUED FOR FINAL REVIEW

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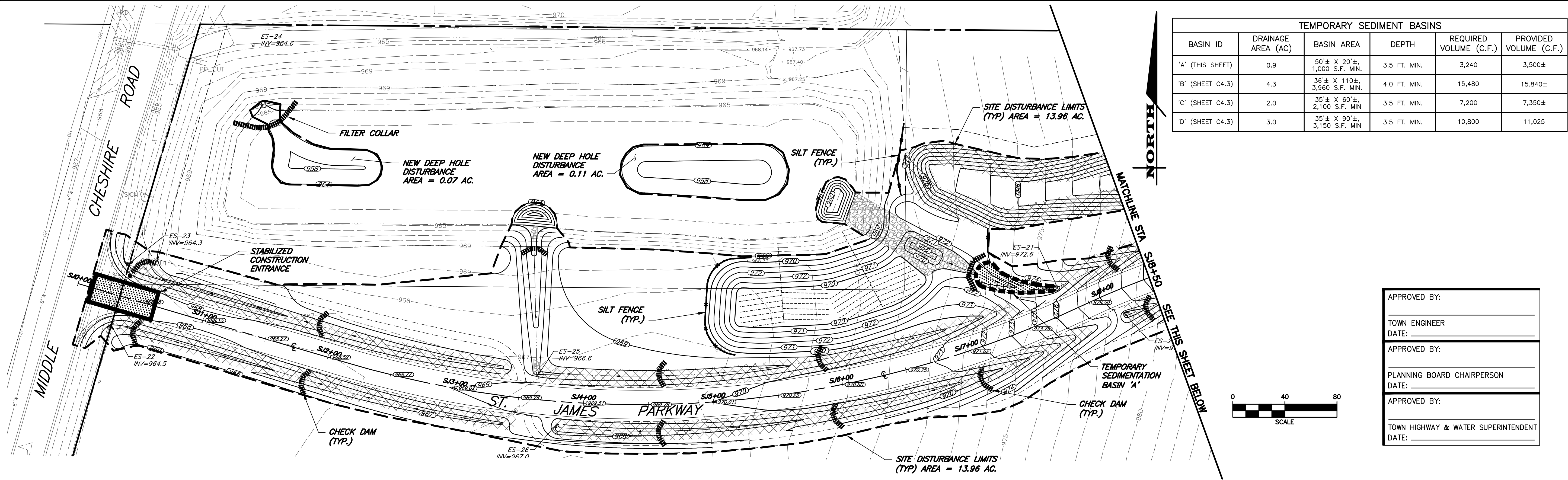


ROBERT P. BRINGLEY

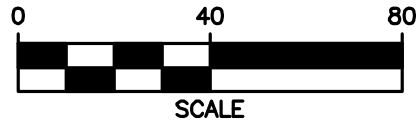
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GRADING PLAN -
SHEET 2

10 of 21 SHEET No:	C4.1
0551-16 JOB No:	DRAWING No:

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TEMPORARY SEDIMENT BASINS					
BASIN ID	DRAINAGE AREA (AC)	BASIN AREA	DEPTH	REQUIRED VOLUME (C.F.)	PROVIDED VOLUME (C.F.)
'A' (THIS SHEET)	0.9	50'± X 20'± 1,000 S.F. MIN.	3.5 FT. MIN.	3,240	3,500±
'B' (SHEET C4.3)	4.3	36'± X 110'± 3,960 S.F. MIN.	4.0 FT. MIN.	15,480	15,840±
'C' (SHEET C4.3)	2.0	35'± X 60'± 2,100 S.F. MIN.	3.5 FT. MIN.	7,200	7,350±
'D' (SHEET C4.3)	3.0	35'± X 90'± 3,150 S.F. MIN.	3.5 FT. MIN.	10,800	11,025



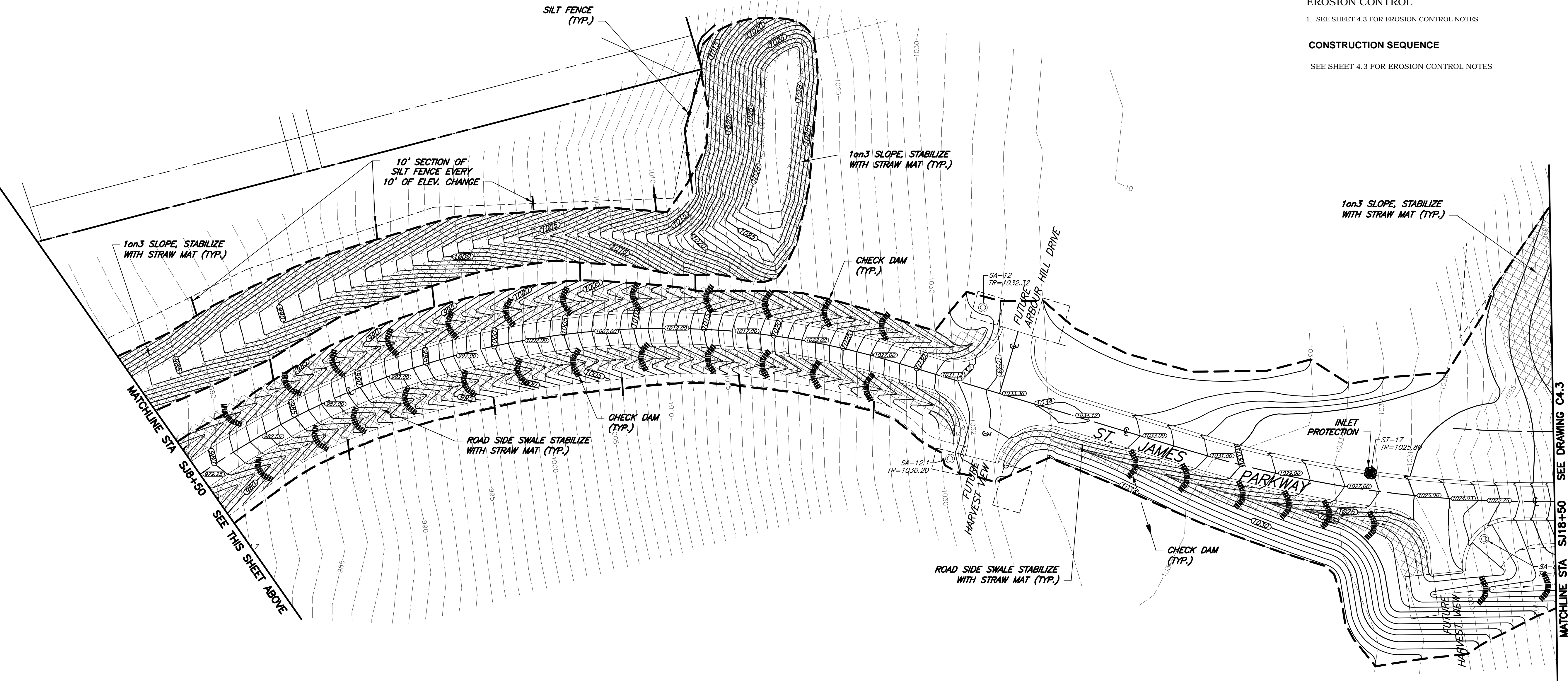
APPROVED BY:	
TOWN ENGINEER	
DATE:	
APPROVED BY:	
PLANNING BOARD CHAIRPERSON	
DATE:	
APPROVED BY:	
TOWN HIGHWAY & WATER SUPERINTENDENT	
DATE:	

EROSION CONTROL

1. SEE SHEET 4.3 FOR EROSION CONTROL NOTES

CONSTRUCTION SEQUENCE

SEE SHEET 4.3 FOR EROSION CONTROL NOTES



FINAL PLANS - SECTION 9B
for
LAKEWOOD MEADOWS
SUBDIVISION

STATE OF NEW YORK

ONTARIO COUNTY

TOWN OF CANANDAIGUA

JOB NO: 0551-16
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DRAWING TITLE:
EROSION CONTROL PLAN - SHEET 1

11 of 21
SHEET No:
0551-16
JOB No:

C4.2

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EROSION CONTROL

- CERTIFICATION** - THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WHICH INCLUDES THE "GRADING PLAN", "EROSION CONTROL NOTES", ALONG WITH THE "DRAINAGE REPORT", DEFINES AND MEETS THE REQUIREMENTS OF THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION (NYSDEC) LATEST STORM WATER REGULATIONS.
- CONTRACTOR RESPONSIBILITY** - ALL CONTRACTORS AND SUB-CONTRACTORS SHALL CERTIFY WITHIN THE SWPPP THAT THEY WILL IMPLEMENT AND MAINTAIN STORM WATER MANAGEMENT PRACTICES.
- INSPECTION** - EROSION CONTROL (EC) MEASURES INSTALLED AND MAINTAINED BY THE SITE WORK CONTRACTOR ARE SUBJECT TO THE REVIEW AND APPROVAL OF THE MUNICIPALITY, DESIGN ENGINEER, NYSDEC, AND OWNERS REPRESENTATIVE. IMMEDIATE ACTION BY THE CONTRACTOR SHALL BE TAKEN IF ADDITIONAL OR CORRECTIVE MEASURES ARE REQUIRED BY ANY ONE OF THESE CITED REVIEWERS. EROSION CONTROL MEASURES NOT SPECIFICALLY SHOWN ON CONTRACT DRAWINGS (I.E., STRAW BALES, COLLARS, FABRICS, ETC.) SHALL BE INSTALLED AS WARRANTED BY FIELD CONDITIONS, AND AS DIRECTED BY THE AFOREMENTIONED REVIEWERS.
- NOTIFICATION** - AS DESIGN ENGINEER, OUR OFFICE HAS NOTIFIED THE OWNER OF THE INSPECTION REQUIREMENTS UNDER GP-15-02. DISTURBANCES OF 1.0 ACRE OR GREATER REQUIRE THAT THE OWNER FILE A NOTICE OF INTENT (NOI) AND A SWPPP WITH THE NYSDEC UNDER STATE POLLUTANT DISCHARGE ELIMINATION SYSTEM (SPDES) GENERAL PERMIT #GP-15-02. SWPPP INSPECTIONS ARE TO BE COMPLETED BY A LICENSED PROFESSIONAL AND INSPECTION REPORTS ARE TO BE PROVIDED TO THE TOWN DEVELOPMENT OFFICE UNTIL THE SITE IS PERMANENTLY STABILIZED AND APPROVED BY THE TOWN CODE ENFORCEMENT OFFICER.
- PRE-CONSTRUCTION** - THE APPROPRIATE EROSION CONTROL MEASURES AS DEFINED BY THE CONSTRUCTION DOCUMENTS SHALL BE INSTALLED PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITIES.
- TOPSOIL** - UPON COMPLETION OF THE STOCKPILE STRIPPING OPERATION, STOCKPILES SHALL BE STABILIZED IN ACCORDANCE TO NYSDEC REGULATIONS.
- DUST** - THE CONTRACTOR SHALL APPLY WATER AND/OR CALCIUM CHLORIDE, AS CONDITIONS WARRANT, TO CONTROL WIND BORN EROSION. THIS MEASURE APPLIES TO: HAUL ROADS, CUT AND FILL OPERATIONS, SUB-BASE AND ANY OTHER EXPOSED SURFACES.
- OPERATION & MAINTENANCE** - THROUGHOUT THE PERIOD OF CONSTRUCTION AND PRIOR TO ESTABLISHING FINAL GROUND COVER THE SITE CONTRACTOR IS RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE TEMPORARY EROSION CONTROL MEASURES. FOR EXAMPLE, THE SILTATION FACILITIES SHALL BE RE-EXCAVATED WHEN THE VOLUME (3600 CUBIC FEET/DISTURBED ACRE) IS REDUCED BY ONE-HALF OR MORE OF ITS SPECIFIED CAPACITY AND/OR THE MATERIAL IS WITHIN ONE FOOT OF THE DISCHARGE POINT.
- WORK STOPPAGE** - ALL DISTURBED AREAS NOT TO BE WORKED WITHIN 21 DAYS MUST BE SEEDED WITHIN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA. IF THE SITE IS OVER 5 ACRES OF DISTURBANCE, IN AREAS WHERE WHERE SOIL DISTURBANCE HAS BEEN TEMPORARILY CEASED, TEMPORARY AND/OR PERMANENT SOIL STABILIZATION MEASURES SHALL BE INSTALLED AND/OR IMPLEMENTED WITHIN SEVEN (7) DAYS FROM THE DATE THE SOIL DISTURBANCE ACTIVITY LAST CEASED.
- TOWN OF CANANDAIGUA REQUIREMENTS**
 - DEVELOPMENT WITHIN THE CANANDAIGUA LAKE WATERSHED THAT REQUIRES POST CONSTRUCTION WATER QUALITY MEASURES SUCH AS STORMWATER MANAGEMENT FACILITIES, THE DEVELOPER IS REQUIRED TO PROVIDE DAILY OBSERVATION OF THE SITE BY A LICENSED PROFESSIONAL OR A CERTIFIED PERSONS IN EROSION AND SEDIMENT CONTROL (CPESC) UNTIL SUCH TIME THAT THE MASS GRADING OF THAT SECTION OR PHASE IS COMPLETED AND ALL STORMWATER MANAGEMENT COMPONENTS OF THE SWPPP ARE INSTALLED AND FUNCTIONING.
 - DEVELOPMENT WITHIN THE CANANDAIGUA LAKE WATERSHED THAT WILL DISTURB MORE THAN 5 ACRES AT ONE TIME, SHALL BE REQUIRED TO COORDINATE THE REGULAR STORMWATER OBSERVATIONS (REQUIRED BY SPDES GENERAL PERMIT) WITH THE WATERSHED INSPECTOR AND THE WATERSHED PROGRAM MANAGER.
- TEMPORARY SEED** - TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:

THE SURFACE TWO INCHES OF SOIL SHOULD BE LOOSENEED BY DISKING, RAKING, OR BACK-BLADING WITH A BULLDOZER. IMMEDIATELY FERTILIZE WITH 300 LBS. PER ACRE (OR 7 LBS. PER 1,000 SQ. FT.) OF 10-10-10 FERTILIZER. IMMEDIATELY SEED WITH THE FOLLOWING MIX:

LBS./ACRE	LBS./1,000 SQ. FT.
ANNUAL RYEGRASS	40
PERENNIAL RYEGRASS	40
OATS	40
WHITE CLOVER (+ INNOCULANT)	4

SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85 PERCENT, AND MINIMAL INERT MATERIAL.

- PERMANENT SEED** - UPON COMPLETION OF WORK WITHIN THE R.O.W., DISTURBED AREAS WITHIN THE R.O.W. SHALL BE STABILIZED USING THE FOLLOWING PERMANENT LAWN SEEDING MIX. UPON COMPLETION OF GRADING AND CONSTRUCTION OF EACH TOWNHOME BUILDING, ALL AREAS DISTURBED IN CONJUNCTION WITH THE TOWNHOME CONSTRUCTION SHALL BE STABILIZED WITH THE FOLLOWING LAWN SEEDING MIX.

LBS./ACRE	% BY PURITY	% GERM.
PENNINNE' PERENNIAL RYE GRASS	35	85
PENNLAWN RED FESCUE	30	87
KENTUCKY BLUEGRASS	35	85

SEEDING RATE: 6.0 LBS. PER 1,000 SQ. FT.
MULCH: STRAW OR WOOD FIBER MULCH USED WITH A HYDROSEEDING METHOD.
AT TWO TONS PER ACRE WITH TACKIFIER
STARTING FERTILIZER: 5:10:10 AT 20 LBS. PER 1,000 SQ. FT.

- SLOPES** - UPON COMPLETION OF GRADING, SLOPES WITH A GRADIENT OF ONE FOOT VERTICAL TO THREE FEET HORIZONTAL (1 ON 3) OR GREATER SHALL BE: TOPSOILED, SEEDED, FERTILIZED, MULCHED AND STABILIZED WITH AN EROSION CONTROL BLANKET. RILLS SHALL BE IMMEDIATELY FERTILIZED AND STABILIZED AS NEEDED WITH JUTE MESH OR REAPPLICATION OF MULCH. ALL OTHER SLOPES SHALL TOPSOILED, SEEDED, FERTILIZED AND MULCHED. SLOPES SHALL BE FINE GRADED WITH A MINIMUM OF 6 INCHES OF TOPSOIL AND SEEDED WITH THE FOLLOWING SEED MIX.

LBS./ACRE	% BY PURITY	% GERM.
PENNGIFT CROWN VETCH	40	98
BIRDSFOOT TREFOIL	16	98
TALL FESCUE	20	90

SEEDING RATE: 75 LBS. PER ACRE
LIME: RATE OF 1,000 LBS. PER ACRE AS NECESSARY TO REACH PH OF 6.0
INOCULANT: RATE AS RECOMMENDED BY THE MANUFACTURER (FOR HYDROSEEDING, USE FOUR TIMES THE RECOMMENDED RATE.)
MULCH: STRAW OR WOOD FIBER MULCH USED WITH A HYDROSEEDING METHOD.
AT TWO TONS PER ACRE WITH TACKIFIER

- MONITORING** - ALL SEEDED AREAS ARE TO BE MONITORED FOR GERMINATION AND EROSION. ERODED AREAS ARE TO BE BACKFILLED, FINE GRADED, AND RE-SEEDED. AREAS THAT FAIL TO GERMINATE A MINIMUM OF 75% SHALL BE RE-SEEDED.
- BUILDER RESPONSIBILITY** - THE HOME BUILDER SHALL BE RESPONSIBLE FOR IMPLEMENTING INDIVIDUAL LOT EROSION CONTROL MEASURES AS SHOWN ON THE PLAN DETAIL FOR INDIVIDUAL HOUSE CONSTRUCTION. THE MEASURES ARE TO REMAIN IN PLACE UNTIL HOUSE CONSTRUCTION IS COMPLETE AND THE LAWN IS ESTABLISHED.
- 5-ACRE WAIVER** - IF THE TOTAL ACREAGE TO BE DISTURBED IS GREATER THAN 5 ACRES, THEN A 5-ACRE WAIVER FROM NYSDEC WILL BE REQUIRED.
 - IF A 5-ACRE WAIVER HAS BEEN GRANTED AND THE SITE DISTURBANCE IS OVER 5 ACRES, IN AREAS WHERE SOIL DISTURBANCE HAS TEMPORARILY CEASED, TEMPORARY AND/OR PERMANENT SOIL STABILIZATION MEASURES SHALL BE INSTALLED AND/OR IMPLEMENTED WITHIN SEVEN (7) DAYS FROM THE DATE THE SOIL DISTURBANCE ACTIVITY CEASED.
 - INCREASED SITE INSPECTION FREQUENCY TO AT LEAST TWO (2) SITE INSPECTIONS EVERY SEVEN (7) CALENDAR DAYS FOR AS LONG AS THE DISTURBANCE EXCEEDS FIVE (5) ACRES. THE TWO (2) INSPECTIONS MUST BE SEPARATED BY AT LEAST TWO (2) CALENDAR DAYS.

CONSTRUCTION SEQUENCE

THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES IN THE FOLLOWING SEQUENCE UNLESS AUTHORIZED OTHERWISE AT PRE-CONSTRUCTION MEETING. ALL AUTHORIZED CHANGES TO THE SEQUENCE SHALL BE ADDED TO THE REVISION SECTION OF THE SWPPP AND THE OWNER, ENGINEER, INSPECTOR AND TOWN OF CANANDAIGUA MSA OFFICER SHALL BE NOTIFIED.

- 5 ACRE WAIVER IS REQUIRED (14.2+ ACRES OF TOTAL DISTURBANCE)
- INSTALL STABILIZED CONSTRUCTION ENTRANCE & CONCRETE WASH STATION
- PROTECT EXISTING VEGETATION AND OTHER ENVIRONMENTAL FEATURES TO BE PRESERVED WITH CONSTRUCTION BARRIERS
- INSTALL REQUIRED PERIMETER SEDIMENT CONTROLS
- GRADE, INSTALL AND MAINTAIN POND, UTILIZE SWMF AS A TEMPORARY SEDIMENT BASIN & SECONDARY SEDIMENT CONTROL
- CLEAR & GRUB REMAINING SITE TO DISTURBANCE LIMITS
- INSTALL ANY TEMPORARY DIVERSION SWALES AS SITE CONDITIONS REQUIRE.
- INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROLS ACCORDING TO PLAN.
- MAINTAIN SEDIMENT BASINS WHEN SEDIMENT REACHES 25% OF CAPACITY.
- STRIP AND STOCKPILE TOPSOIL
- ROUGH GRADE THE REMAINING AREA.
- INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROLS AS REQUIRED OR NECESSITATED BY SITE CONDITIONS.
- STABILIZE DENUDE AREAS AND STOCKPILES WITHIN SEVEN (7) DAYS OF LAST CONSTRUCTION ACTIVITY (OR 14 DAYS IF SITE DISTURBANCE IS UNDER 5 ACRES).
- CLEAN AND MAINTAIN POND AND SEDIMENT BASINS AS REQUIRED
- INSTALL UTILITIES, REMAINING STORM SEWER STRUCTURES & PIPING
- INSTALL GUTTER
- APPLY STONE TO ROAD
- COMPLETE GRADING, REAPPLY TOPSOIL, AND INSTALL PERMANENT SEEDING, FERTILIZER AND MULCH.
- COMPLETE BINDER PAVING FOR ROADWAYS.
- ONCE ST. JAMES PARKWAY IS PAVED TO MIDDLE CHESHIRE ROAD, THIS CONNECTION SHALL BE USED FOR SITE CONSTRUCTION ACCESS (CONSTRUCTION ENTRANCE).
- REMOVE SEDIMENTATION FROM THE SWMF AND SEDIMENT BASINS, RESTORE TO DESIGN GRADES, INSTALL SEEDING FERTILIZER AND MULCH.
- REMOVE ALL SEDIMENT CONTROL PRODUCTS AND TEMPORARY SEDIMENT BASINS AFTER SOILS ARE STABILIZED.
- SEED & MULCH ANY DISTURBED AREAS AFTER REMOVAL IS COMPLETE
- INSTALL BIO-RETENTION
- FINAL ROAD PAVING



APPROVED BY:	
TOWN ENGINEER	
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PLANNING BOARD CHAIRPERSON	
DATE:	
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TOWN HIGHWAY & WATER SUPERINTENDENT	
DATE:	

FINAL PLANS - SECTION 9B for LAKEWOOD MEADOWS SUBDIVISION

STATE OF NEW YORK

ONTARIO COUNTY

TOWN OF CANANDAIGUA

JOB NO: 0551-16
SCALE: 1" = 40'
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CONTROL PLAN -
SHEET 2**

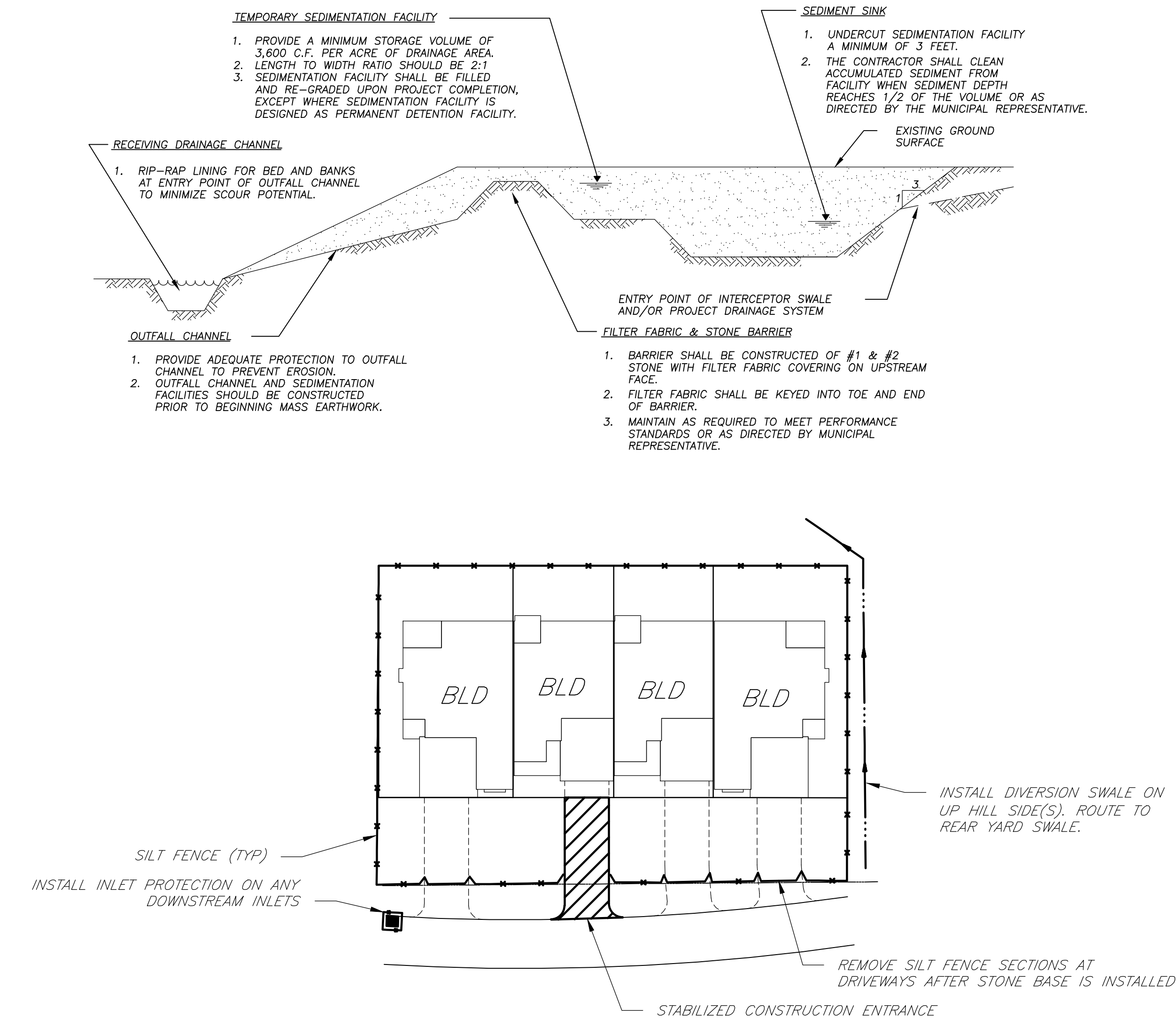
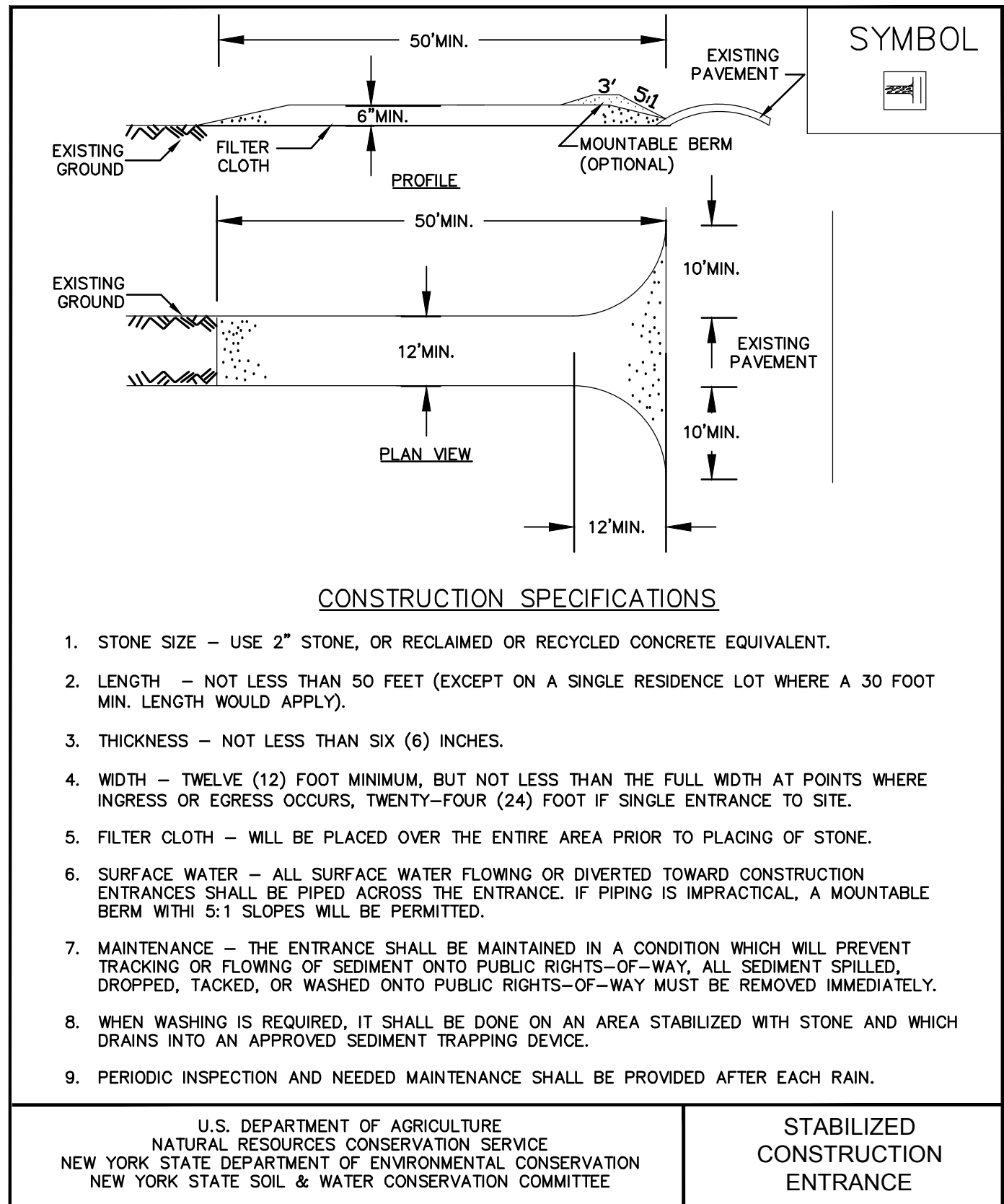
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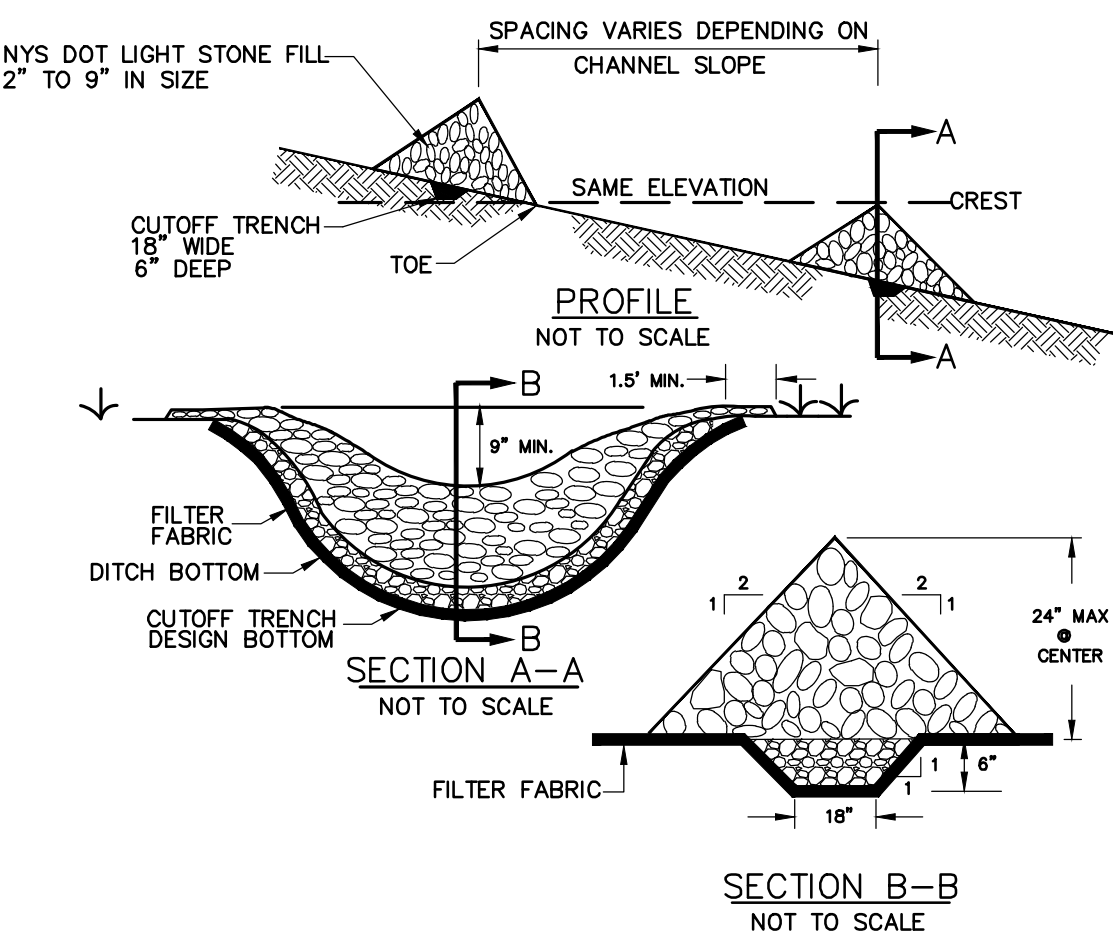
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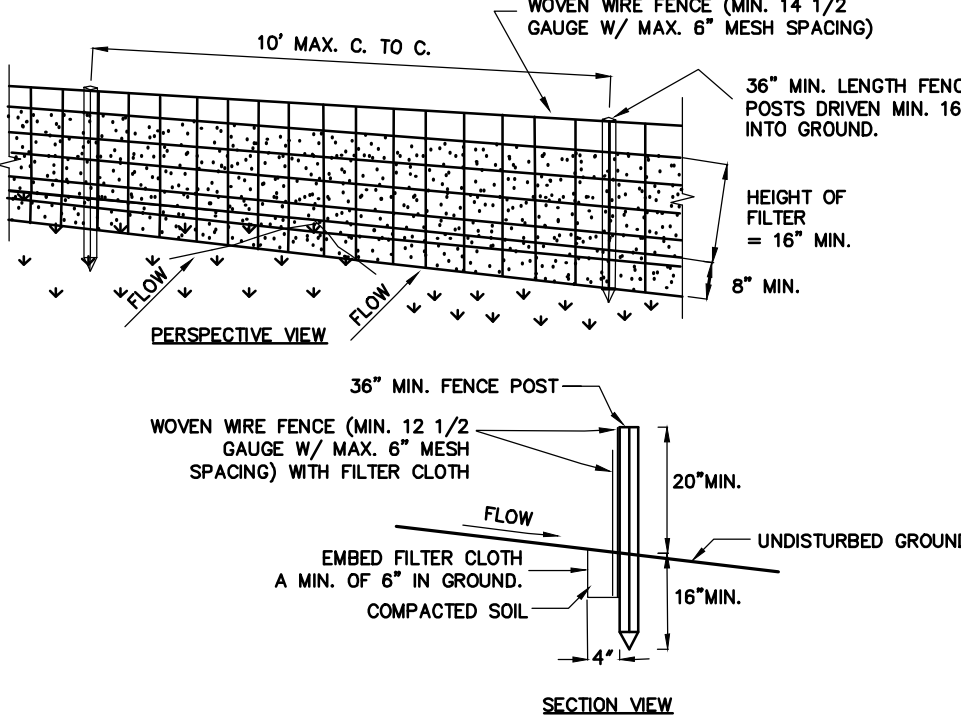
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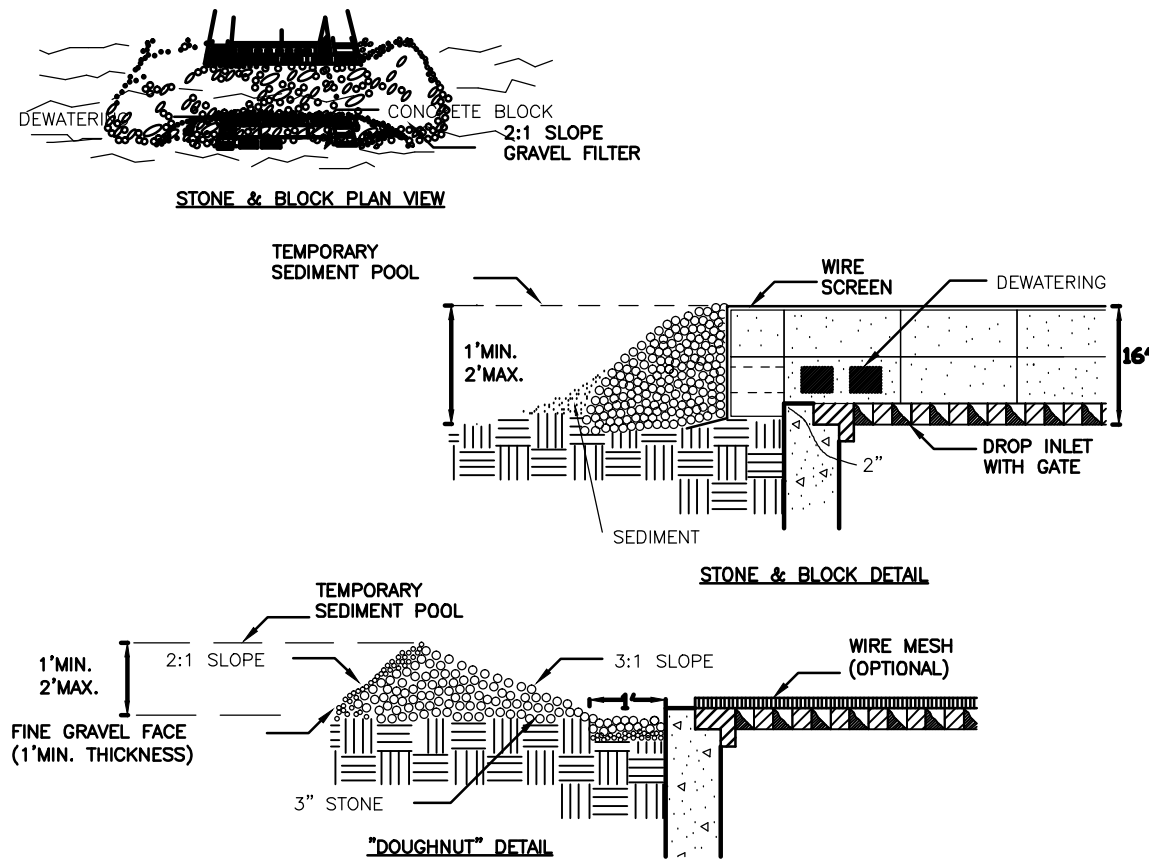
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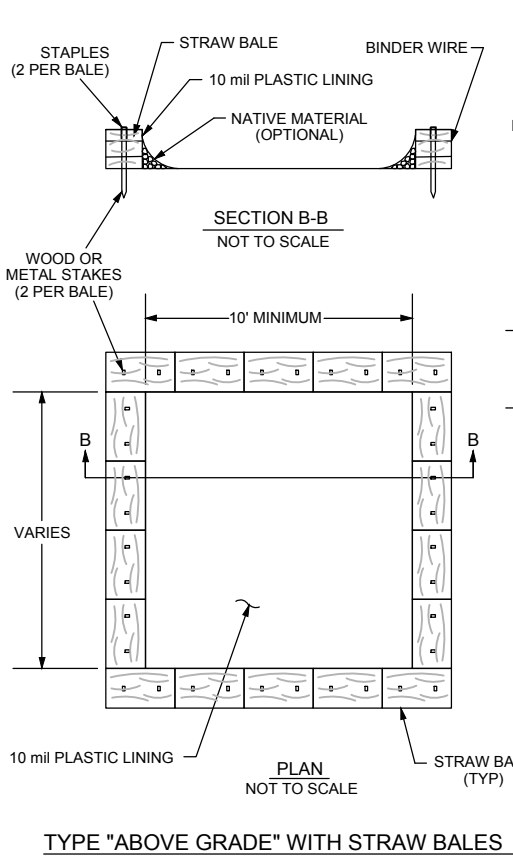
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9 STONE & BLOCK DROP INLET PROTECTION

SCALE: N.T.S.

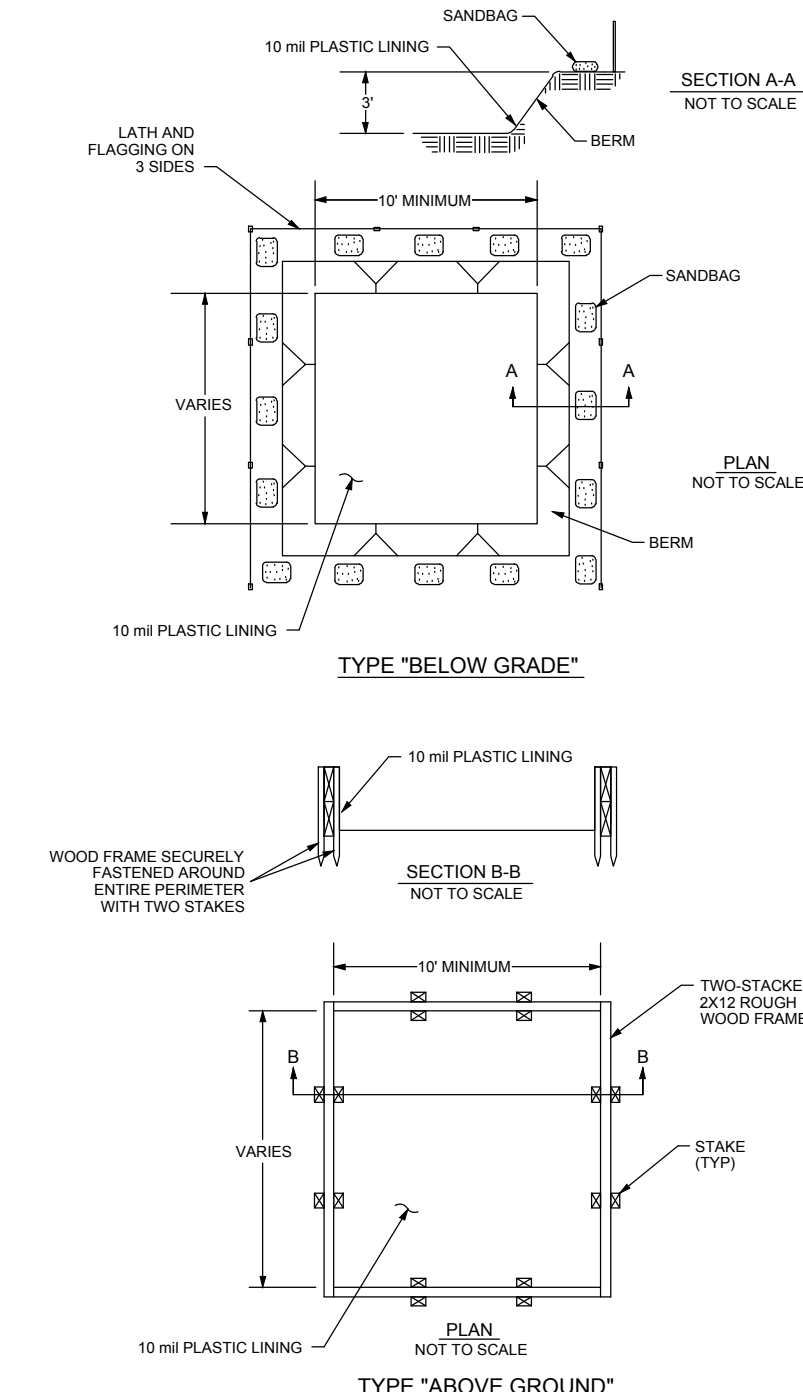


NOTES

- ACTUAL LAYOUT TO BE DETERMINED IN THE FIELD.
- A CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30' OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
- MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE REMOVED FROM THE SITE OF THE WORK AND DISPOSED OF OR RECYCLED.
- HOLES, DEPRESSIONS OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE BACKFILLED, REPAIRED, AND STABILIZED TO PREVENT EROSION.

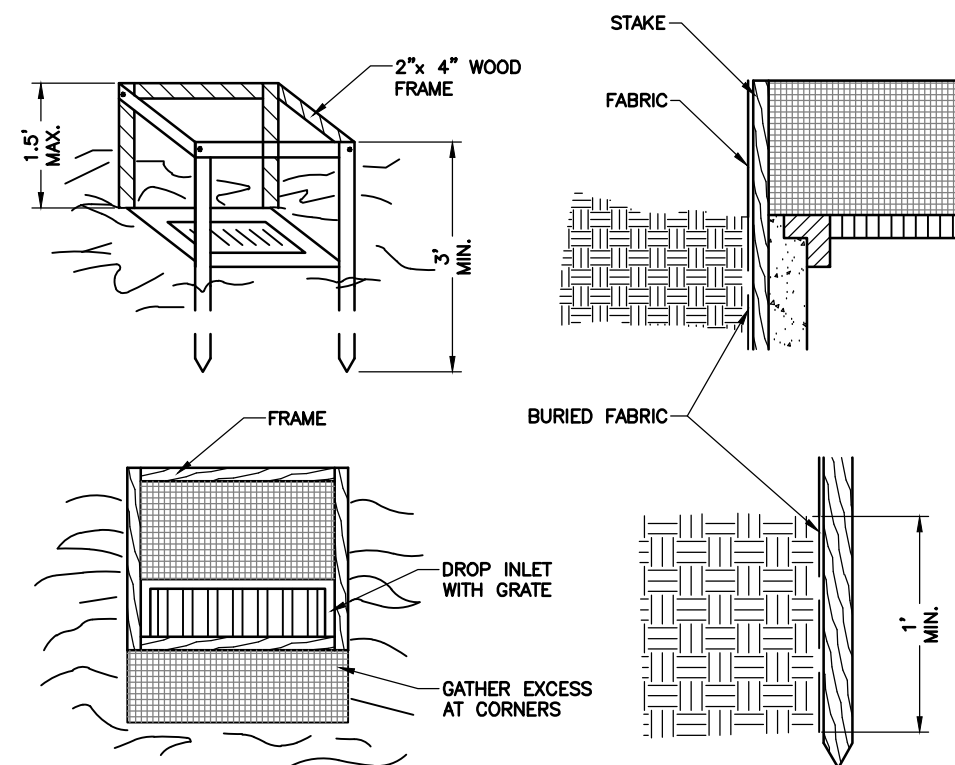
3 CONCRETE WASHOUT

SCALE: N.T.S.



8 CATCH BASIN SEDIMENT TRAP

SCALE: N.T.S.



CONSTRUCTION SPECIFICATIONS

- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
- CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
- STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3 FEET.
- SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM OF 18 INCHES DEEP. SPACES GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
- FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
- A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.

10 DROP INLET PROTECTION

SCALE: N.T.S.

SOIL RESTORATION REQUIREMENTS		
TYPE OF SOIL DISTURBANCE	RESTORATION REQUIREMENTS	COMMENTS/EXAMPLES
N.O. SOIL DISTURBANCE	RESTORATION IS NOT REQUIRED	PRESERVATION OF NATURAL FEATURES
MINIMAL SOIL DISTURBANCE	RESTORATION IS NOT REQUIRED	CLEARING & GRUBBING
AREAS WHERE TOPSOIL IS STRIPPED ONLY--NO CHANGE TO GRADE	HSG A & B APPLY 6 INCHES OF TOPSOIL	HSG C & D AERATE* & APPLY 4 INCHES OF TOPSOIL
AREAS OF CUTS OR FILLS	HSG A & B AERATE & APPLY 6 INCHES OF TOPSOIL	HSG C & D APPLY FULL SOIL RESTORATION**
HEAVY TRAFFIC AREAS (ESPECIALLY WITHIN A ZONE OF 5-25 FEET AROUND BUILDINGS, BUT NOT WITHIN 5 FEET OF THE FOUNDATION WALLS)	APPLY FULL SOIL RESTORATION (DECOMPACTION & COMPOST ENHANCEMENT)	
AREAS WHERE RUNOFF REDUCTION AND/OR INFILTRATION PRACTICES ARE APPLIED	SOIL RESTORATION IS NOT REQUIRED, BUT MAY BE APPLIED TO ENHANCE THE REDUCTION SPECIFIED FOR APPROPRIATE PRACTICES	KEEP CONSTRUCTION EQUIPMENT FROM CROSSING THESE AREAS. TO PROTECT NEWLY INSTALLED PRACTICES FROM ANY ONGOING CONSTRUCTION ACTIVITIES, CONSTRUCT A SINGLE PHASE OPERATION FENCE AREA.
REDEVELOPMENT PROJECTS	SOIL RESTORATION IS REQUIRED ON REDEVELOPMENT PROJECTS IN AREAS WHERE EXISTING IMPERVIOUS AREAS WILL BE CONVERTED TO PERVIOUS	

*Aeration includes the use of machines such as tractor-drawn implements with coulters making a narrow slit in the soil, a roller with many spikes making indentations in the soil, or prongs which function like a mini-subsoiler.

** Per "Deep Rippling and De-compaction, DEC 2008".

NOTES

- DURING PERIODS OF RELATIVELY LOW TO MODERATE SUBSOIL MOISTURE, THE DISTURBED SUBSOILS ARE RETURNED TO ROUGH GRADE AND THE FOLLOWING SOIL RESTORATION STEPS APPLIED:
 - APPLY 3 INCHES OF COMPOST OVER SUBSOIL.
 - TILL COMPOST INTO SUBSOIL TO A DEPTH OF AT LEAST 12 INCHES USING A CAT-MOUNTED RIPPER, TRACTOR-MOUNTED DISC, OR TILLER, MIXING, AND CIRCULATING AIR AND COMPOST INTO SUBSOILS.
 - ROCK-PICK UNTIL UNLIFTED STONE/ROCK MATERIALS OF FOUR INCHES AND LARGER SIZE ARE CLEANED OFF THE SITE.
 - APPLY TOPSOIL TO A DEPTH OF 6 INCHES.
- **SOIL RESTORATION APPLIES TO ALL DISTURBED AREAS THAT ARE TO REMAIN AS PERVIOUS AREAS AFTER FINAL CONSTRUCTION.

6 SOIL RESTORATION

SCALE: N.T.S.

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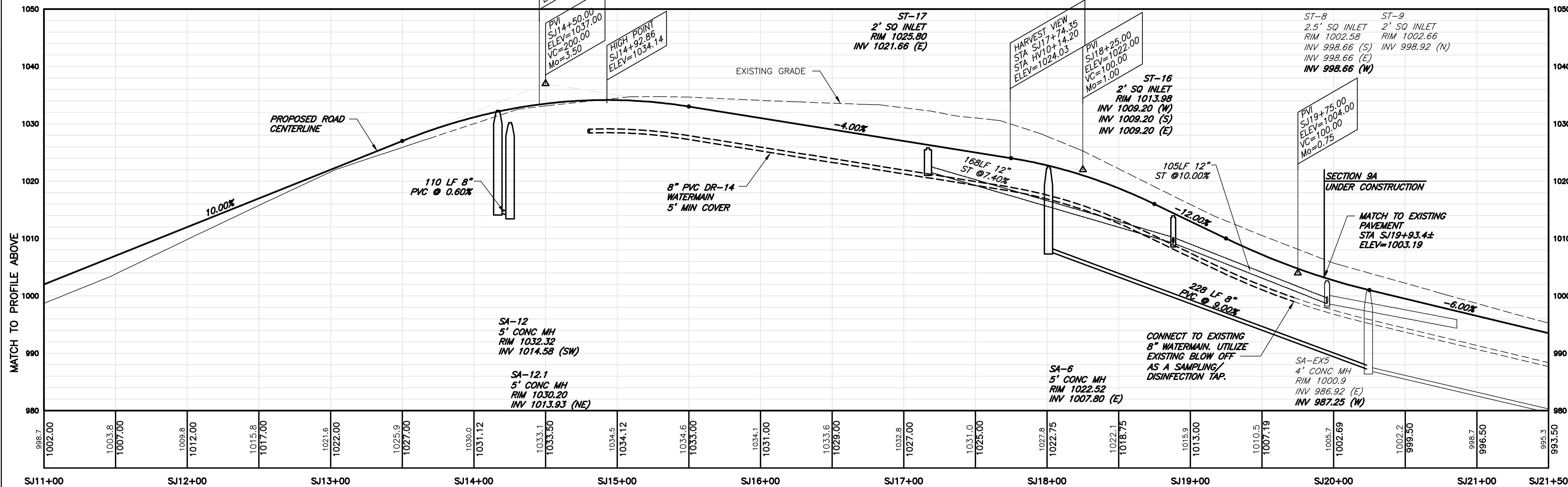
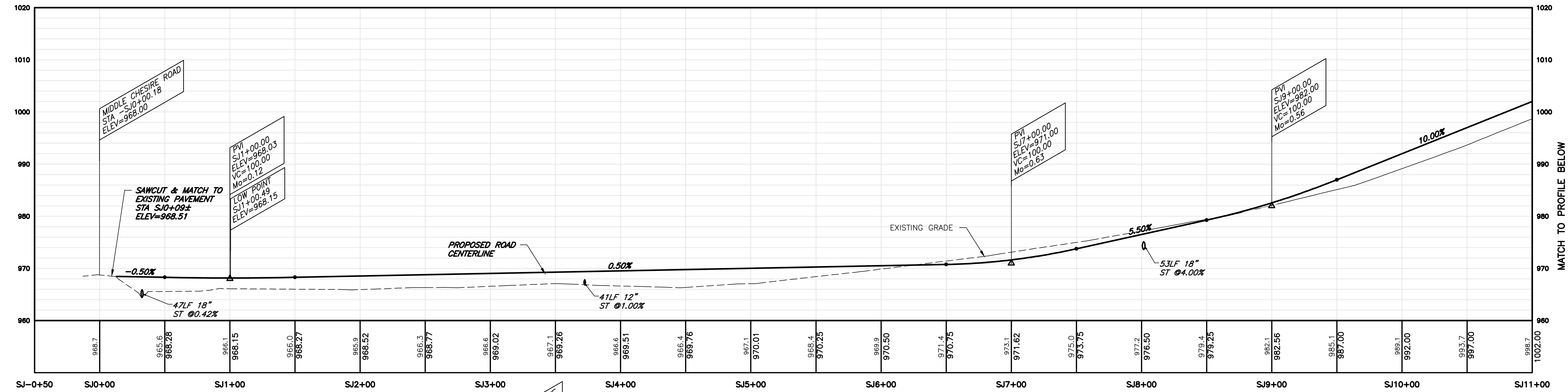


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DRAWING TITLE:
EROSION CONTROL DETAILS

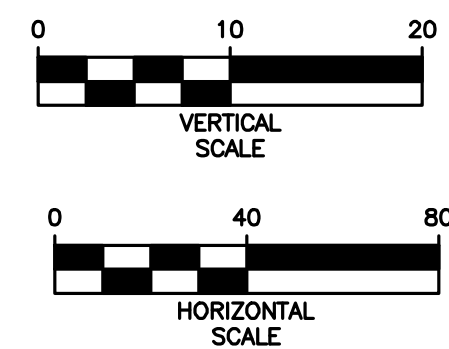
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0551-16 JOB No:	DRAWING No:

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St. JAMES PARKWAY CENTERLINE PROFILE
SCALE: 1" = 40' H, 1" = 10' V

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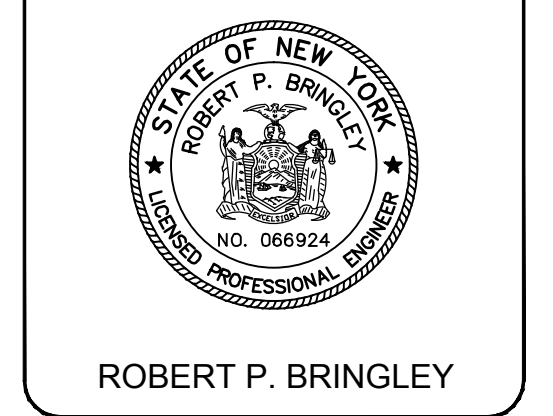


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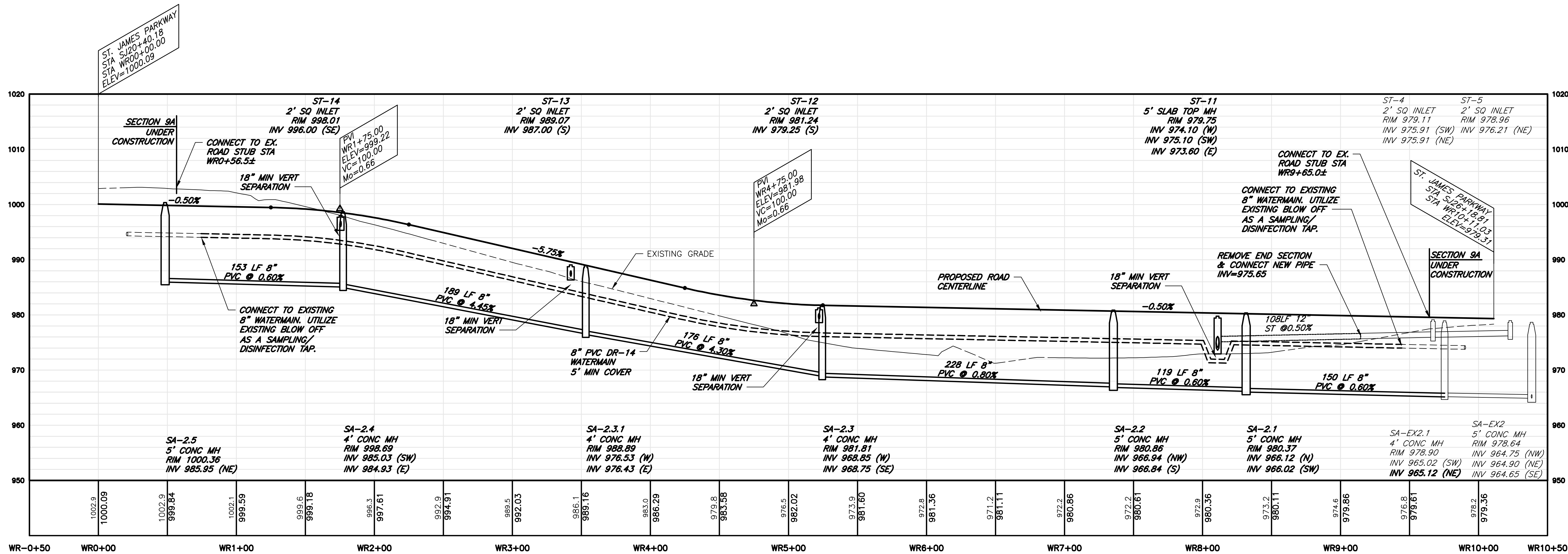
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10/31/16	RJT	OCDPW COMMENTS

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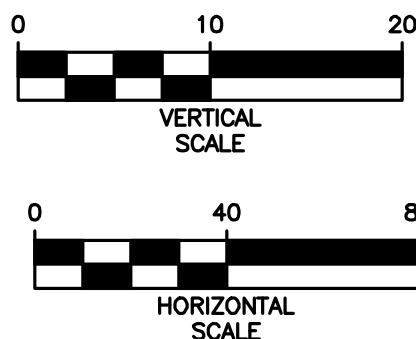
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PROFILE - ST. JAMES PARKWAY

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WOODVINE RISE CENTERLINE PROFILE
SCALE: 1" = 40' H, 1" = 10' V

APPROVED BY:	APPROVED BY:
PLANNING BOARD CHAIRPERSON	PLANNING BOARD CHAIRPERSON
DATE:	DATE:
TOWN ENGINEER	TOWN HIGHWAY & WATER SUPERINTENDENT
DATE:	DATE:



FINAL PLANS - SECTION 9B
for
LAKEWOOD MEADOWS
SUBDIVISION

STATE OF NEW YORK
TOWN OF CANANDAIGUA
ST. JAMES PARKWAY
ONTARIO COUNTY

JOB NO: 0551-16
SCALE: 1" = 30'
DRAWN: RJT
DESIGNED: RJT
DATE: 7/15/16

REVISIONS		
DATE	BY	REVISION
10/18/16	RJT	ISSUED FOR FINAL REVIEW
10/31/16	RJT	OCDPW COMMENTS

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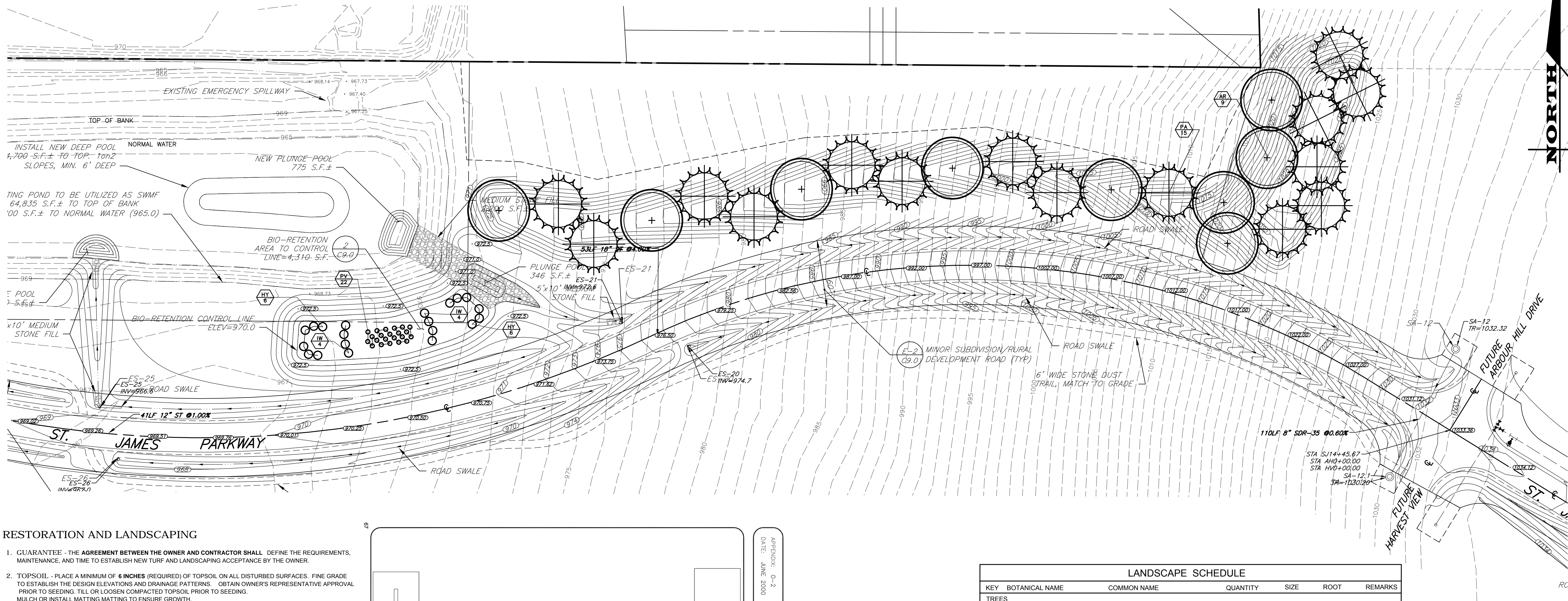
ROBERT P. BRINGLEY

DRAWING TITLE:
**PROFILE -
WOODVINE RISE**

15 of 21
SHEET No:
0551-16
JOB No:

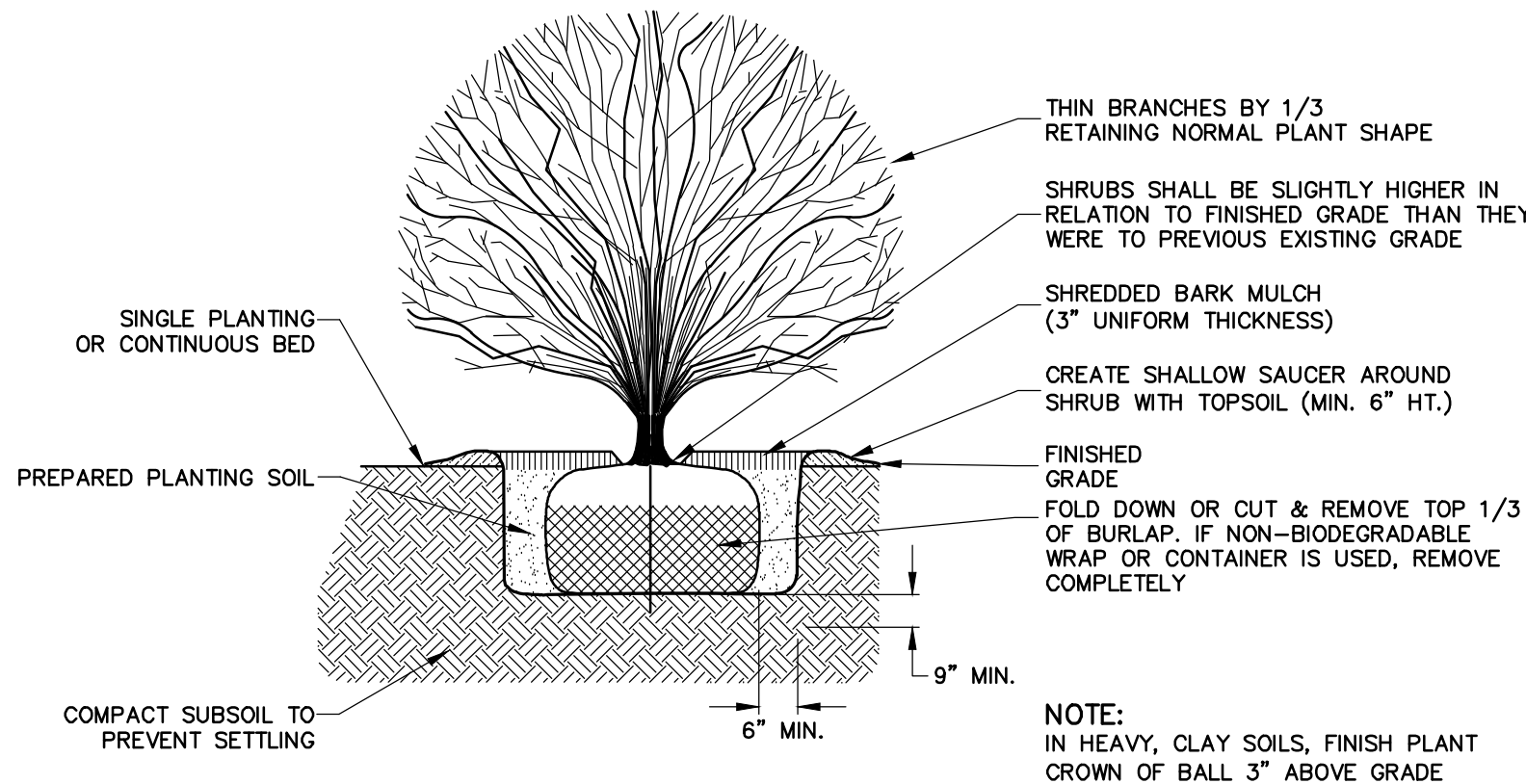
C6.1
DRAWING No:

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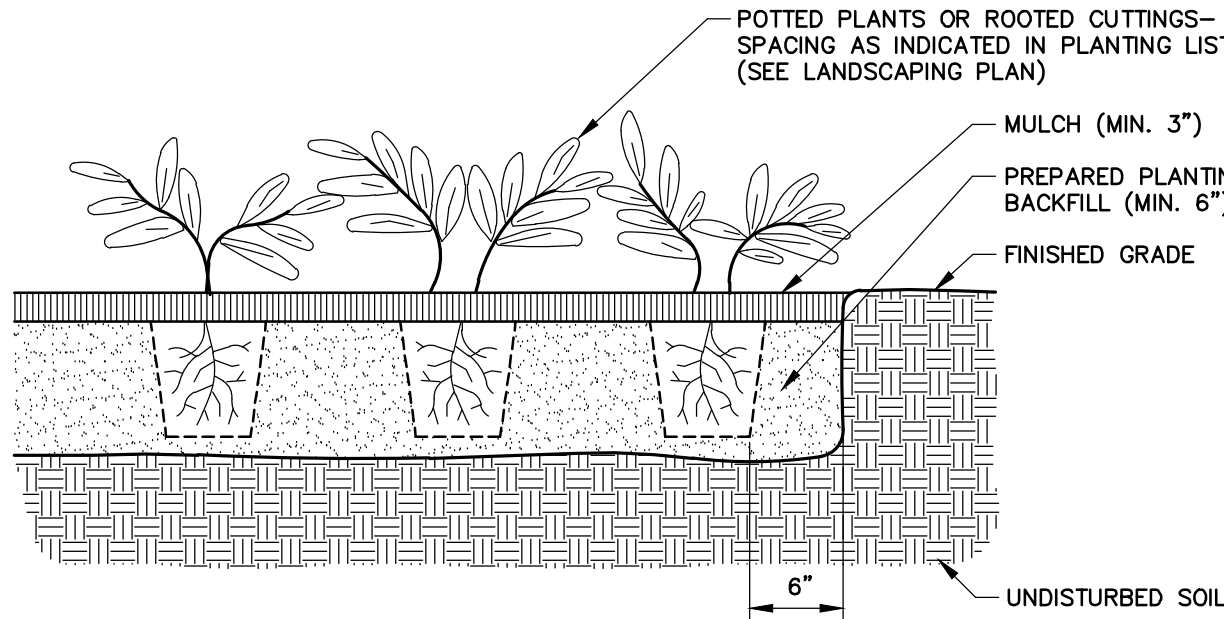


RESTORATION AND LANDSCAPING

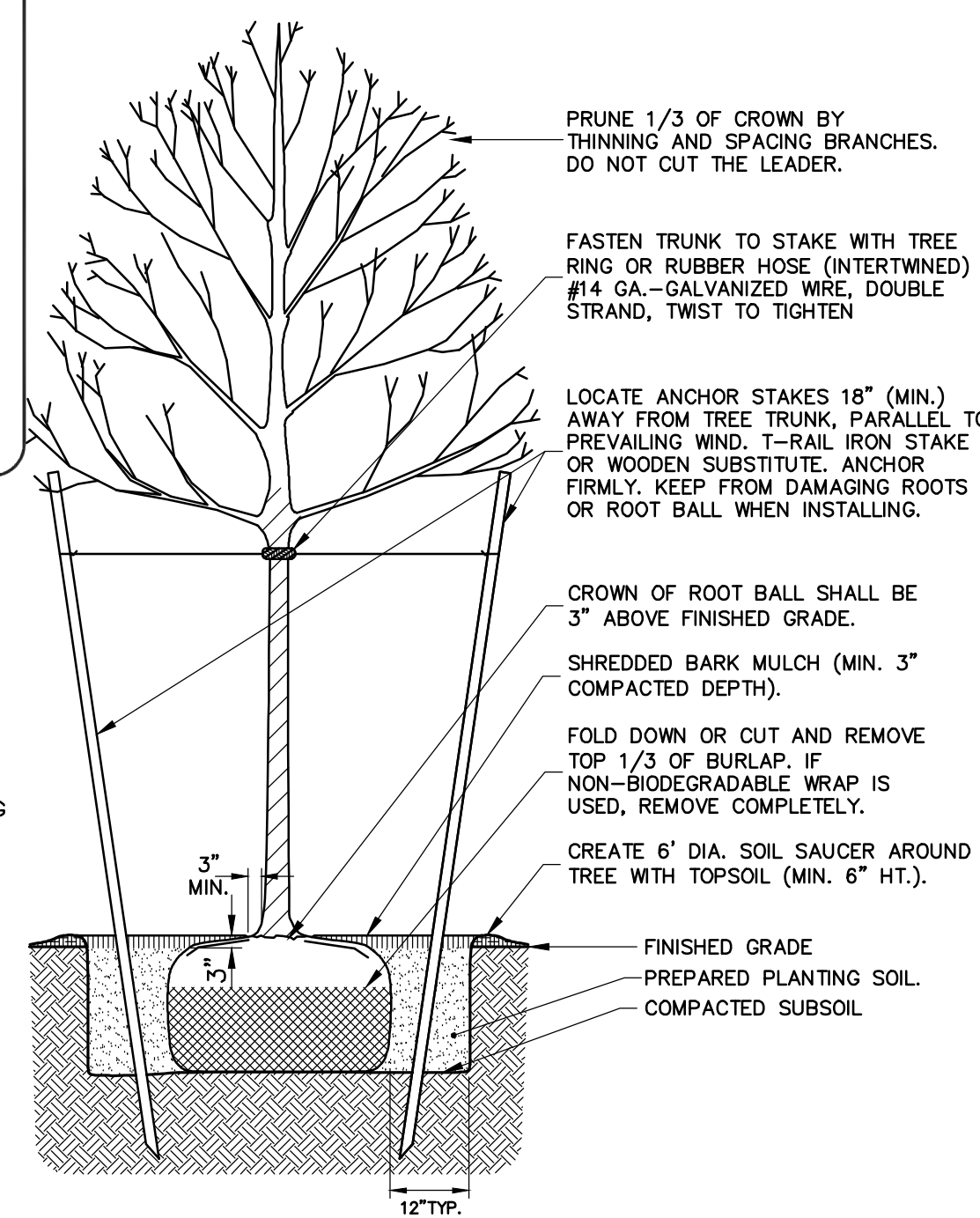
- GUARANTEE - THE AGREEMENT BETWEEN THE OWNER AND CONTRACTOR SHALL DEFINE THE REQUIREMENTS, MAINTENANCE, AND TIME TO ESTABLISH NEW TURF AND LANDSCAPING ACCEPTANCE BY THE OWNER.
- TOPSOIL - PLACE A MINIMUM OF 6 INCHES (REQUIRED) OF TOPSOIL ON ALL DISTURBED SURFACES. FINE GRADE TO ESTABLISH THE DESIGN ELEVATIONS AND DRAINAGE PATTERNS. OBTAIN OWNER'S REPRESENTATIVE APPROVAL PRIOR TO SEEDING, TILL OR LOOSEN COMPACTED TOPSOIL PRIOR TO SEEDING. MULCH OR INSTALL MATTING MATTING TO ENSURE GROWTH.
- SEED:
 - SEE DRAWING C4.3 FOR TEMPORARY SEEDING MIXTURE
 - SEE DRAWING C4.3 FOR PERMANENT SEED MIXTURE WITHIN THE RIGHT-OF-WAY.
 - LAWN AREAS SHALL BE HYDROSEED WITH AN APPROVED SEED MIXTURE, MULCH, AND FERTILIZER. THE APPLICATION RATE SHALL BE DETERMINED BY CONTRACTOR TO ESTABLISH A "STAND" OF GRASS. THE CONTRACTOR SHALL SUBMIT MATERIAL AND APPLICATION SPECIFICATIONS TO THE OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO APPLICATION.
 - SEE BIORETENTION DETAIL OF DRAWING C9.0 FOR BIO-RETENTION SEED MIXTURE
 - FOR AREAS DISTURBED IN THE SWMF:
 - AQUATIC BENCH: PREFERRED SEED "HARVEST SELECT" COMBINATION OBLIGATE/FACULTATIVE WETLAND MIXTURE, OR APPROVED EQUAL
 - BANKING ABOVE AQUATIC BENCH: PREFERRED SEED "SELECT RIPARIAN ZONE MIXTURE" OR APPROVED EQUAL
- TREE PLANTING - ALL TREE PLANTING LOCATIONS SHALL BE MARKED IN THE FIELD AND APPROVED BY BOTH THE TOWN OF CANANDAIGUA WATER & HIGHWAY SUPERINTENDENT AND THE ONTARIO COUNTY SEWER DEPARTMENT.
- PHOSPHOROUS:
 - NO PHOSPHOROUS SHALL BE USED AT PLANTING TIME UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY A HORTICULTURAL TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHOROUS DEFICIENCY THAT IS HARMFUL OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY
 - IF SOIL TESTS INDICATE A PHOSPHOROUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHOROUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYSDEC REGULATIONS AND GUIDELINES.



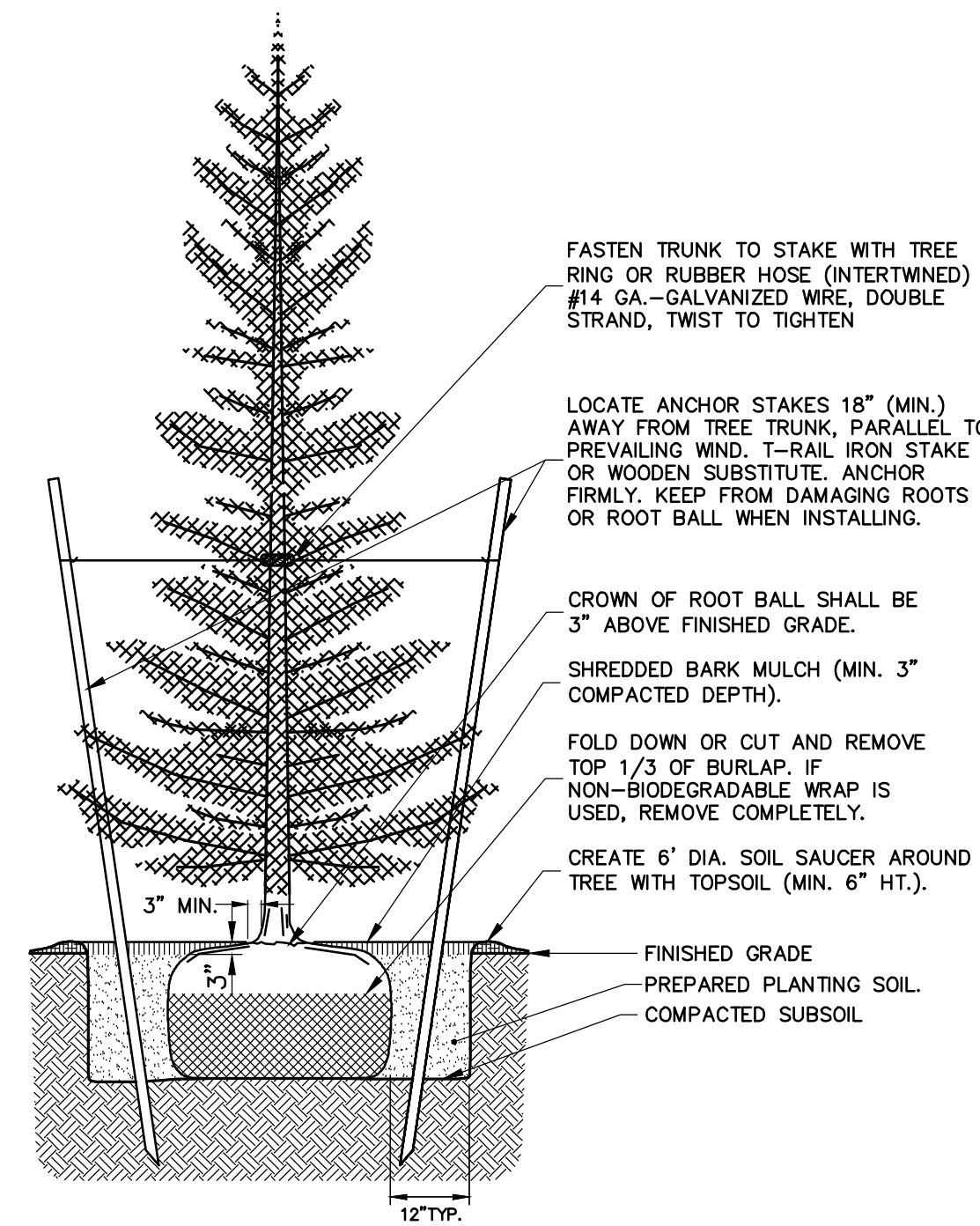
SHRUB PLANTINGS



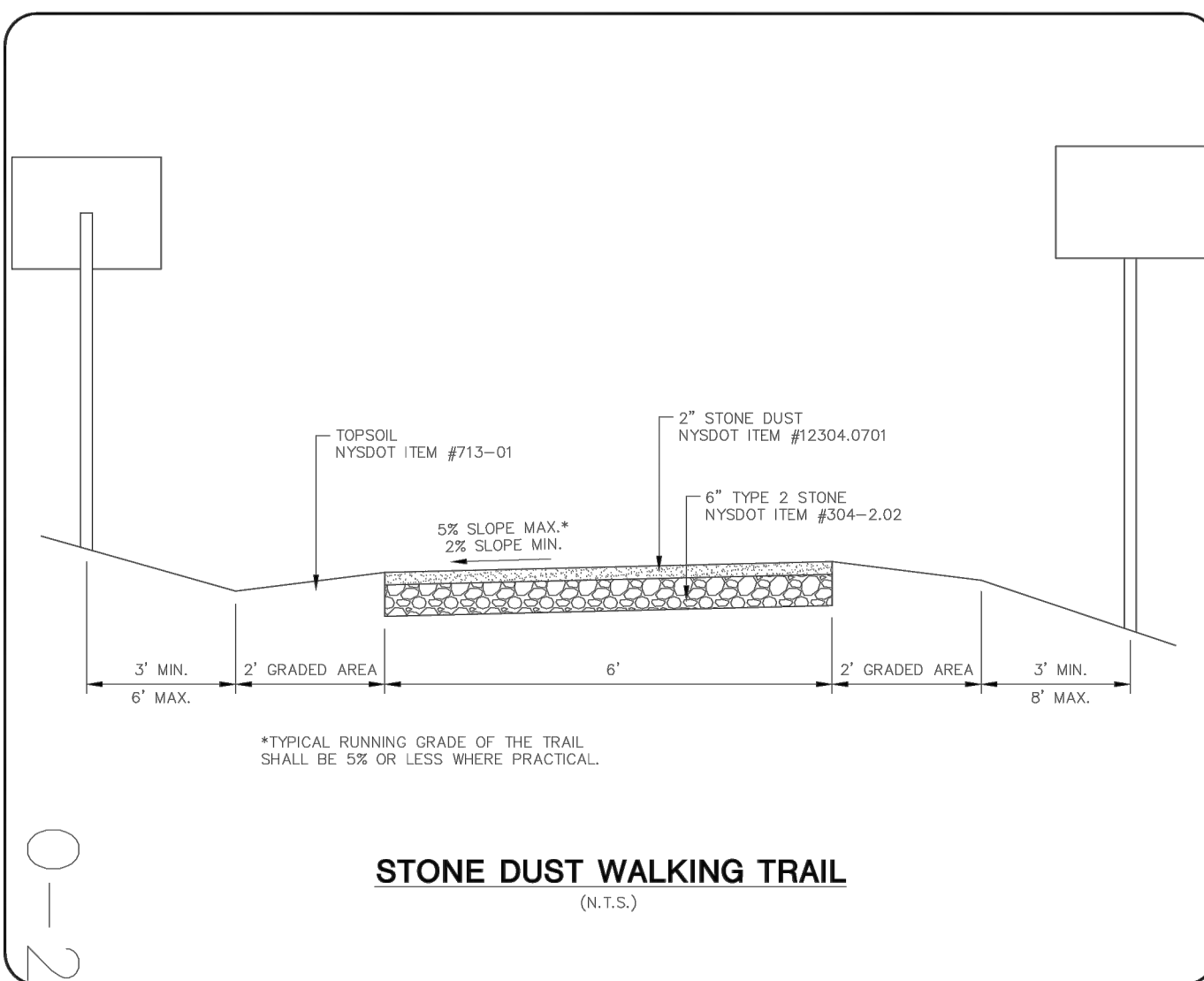
GROUND COVER PLANTINGS



DECIDUOUS PLANTINGS



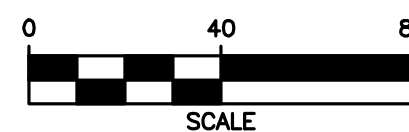
CONIFEROUS PLANTINGS



STONE DUST WALKING TRAIL
(N.T.S.)

LANDSCAPE SCHEDULE						
KEY	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	ROOT	REMARKS
TREES						
AR	ACER rubrum 'Red Sunset'	RED SUNSET MAPLE	9	2 1/2" CAL	B&B	
PV	Panicum virgatum	SWITCHGRASS	22	#2 CONT.	CLUMP	
IW	Ilex vert. 'Winter Red'	WINTER RED WINTERBERRY	8	30"-36" HT.	#3 CONT.	
HY	Hamamelis vernalis	VERNAL WITCHHAZEL	12	9' HT.	B&B	
PA	Picea abies	NORWAY SPRUCE	15	7-8' HT.	B&B	

APPROVED BY:	
TOWN ENGINEER	
DATE:	
APPROVED BY:	
PLANNING BOARD CHAIRPERSON	
DATE:	
APPROVED BY:	
TOWN HIGHWAY & WATER SUPERINTENDENT	
DATE:	



FINAL PLANS - SECTION 9B for LAKEWOOD MEADOWS SUBDIVISION

TOWN OF CANANDAIGUA
ST. JAMES PARKWAY
ONTARIO COUNTY
STATE OF NEW YORK

JOB NO: 0551-16
SCALE: 1" = 40'
DRAWN: RJT
DESIGNED: RJT
DATE: 7/15/16

REVISIONS

DATE	BY	REVISION
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10/18/16 RJT ISSUED FOR FINAL REVIEW

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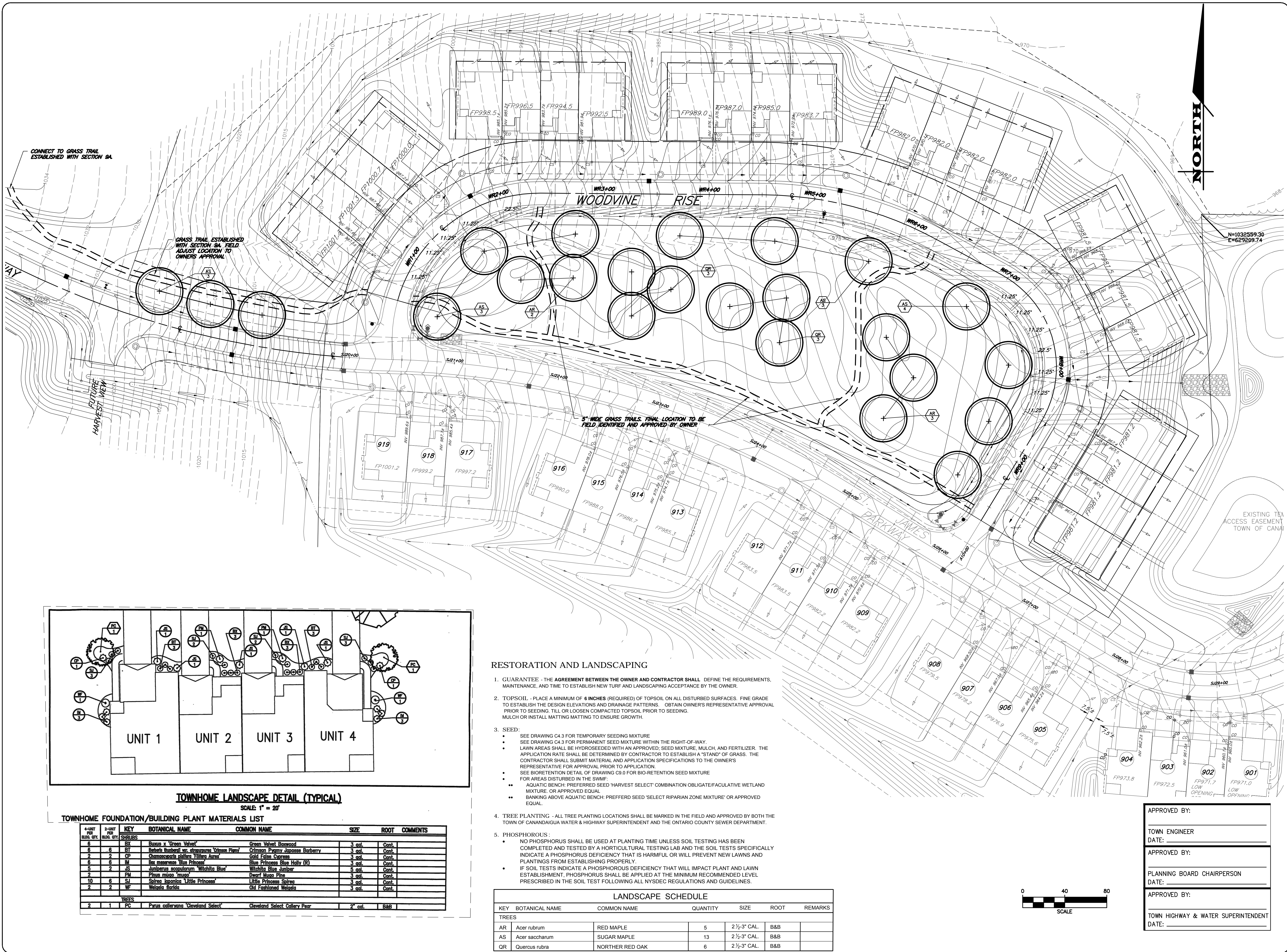


ROBERT P. BRINGLEY

DRAWING TITLE:
LANDSCAPING
PLAN - SHEET 1

16 of 21 SHEET No:	C8.0
0551-16 JOB No:	DRAWING No:

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FINAL PLANS - SECTION 9B
for
LAKEWOOD MEADOWS
SUBDIVISION
ST. JAMES PARKWAY
ONTARIO COUNTY
TOWN OF CANANDAIGUA
STATE OF NEW YORK

JOB NO: 0551-16
SCALE: 1" = 40'
DRAWN: RJT
DESIGNED: RJT
DATE: 7/15/16

REVISIONS		
DATE	BY	REVISION
7/22/16	RJT	REV. TRAILS
10/18/16	RJT	ISSUED FOR FINAL REVIEW

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ROBERT P. BRINGLEY

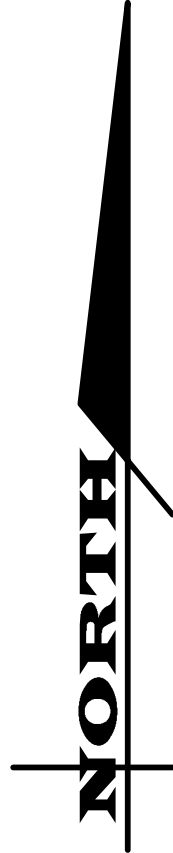
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PLAN - SHEET 2

17 of 21
SHEET No: **C8.1**
0551-16
JOB No: DRAWING No:

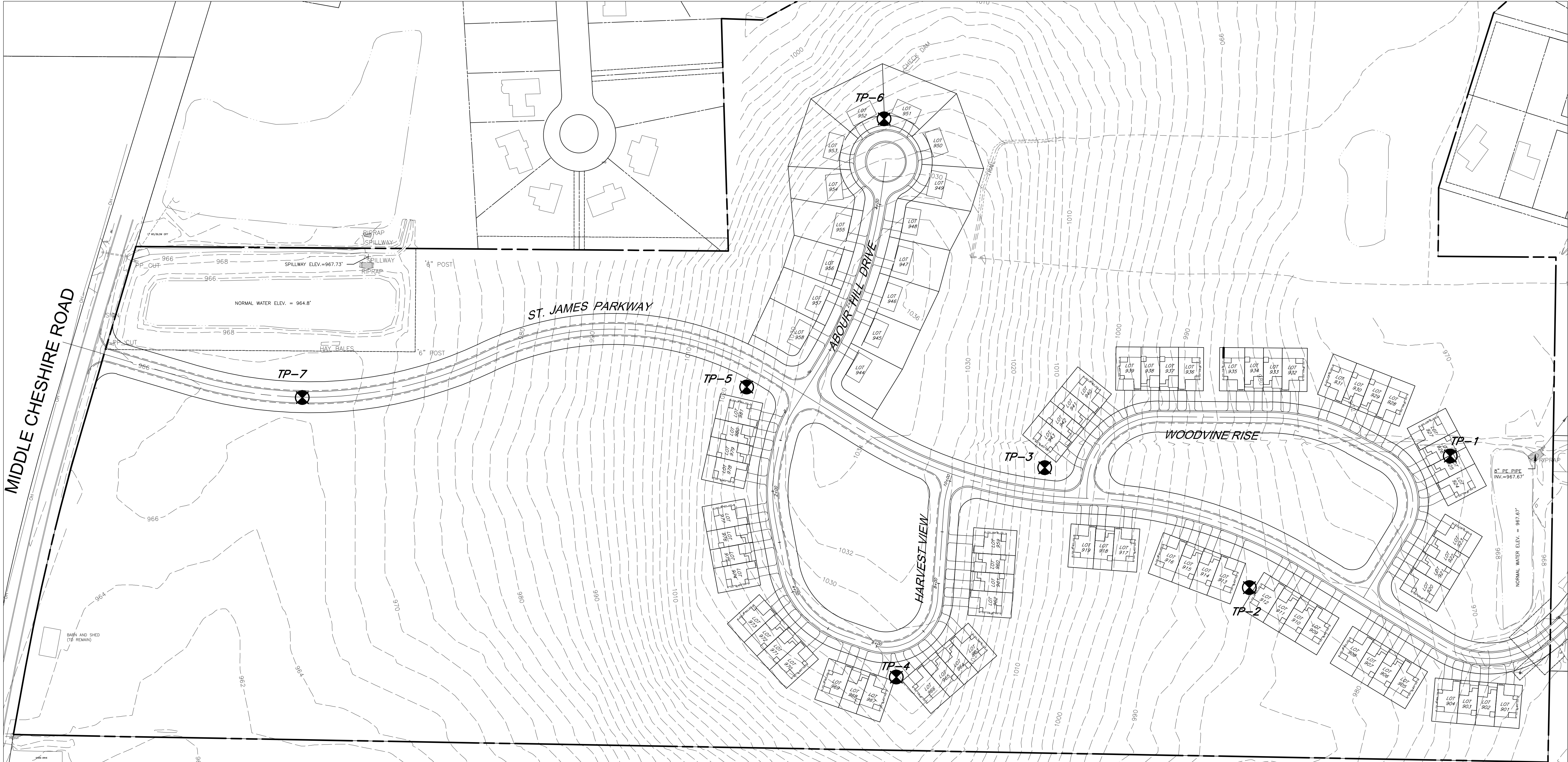
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DEEP TEST HOLE DATA 5/8/15 % 5/21/15			
ID	DEPTH	RESULTS	COMMENT
TP-1	0"-16"	TOPSOIL	MINOR WATER SEEPAGE AT 44". NO BEDROCK. NO MINERALS.
	16"-36"	CLAY WITH MIXED GRAVEL	
	36"-96"	CLAY WITH SMALL (3"-6") ROCKS	
TP-2	0"-16"	TOPSOIL	MINOR WATER SEEPAGE. NO BEDROCK. NO MINERALS.
	16"-48"	CLAY	
	48"-96"	CLAY/SAND MIX WITH SMALL (2"-6") ROCKS	
TP-3	0"-18"	TOPSOIL	NO WATER. NO BEDROCK. NO MINERALS.
	18"-96"	CLAY WITH LARGE (6"-8") ROCKS	
TP-4	0"-12"	TOPSOIL	NO WATER. NO BEDROCK. NO MINERALS.
	12"-24"	CLAY	
	24"-96"	SANDY LOAM W/ CLAY & SMALL (3"-6") ROCKS	
TP-5	0"-6"	TOPSOIL	NO WATER. NO BEDROCK. NO MINERALS.
	6"-24"	CLAY	
	24"-96"	SANDY LOAM W/ CLAY	
TP-6	0"-12"	TOPSOIL	NO WATER. NO BEDROCK. NO MINERALS.
	12"-24"	SANDY LOAM W/ CLAY	
	24"-96"	CLAY WITH SMALL (3"-6") ROCKS	
TP-7	0"-9"	TOPSOIL	NO WATER. NO BEDROCK. NO MINERALS.
	9"-96"	CLAY WITH LARGE ROCKS	

APPROVED BY:
TOWN ENGINEER
DATE:
APPROVED BY:
PLANNING BOARD CHAIRPERSON
DATE:
APPROVED BY:
TOWN HIGHWAY & WATER SUPERINTENDENT
DATE:



DRAWING INCLUDED FOR REFERENCE FROM PRELIMINARY OVERALL, AND HAS NOT BEEN UPDATED WITH NEW CONSTRUCTION.



FINAL PLANS - SECTION 9B
for
LAKEWOOD MEADOWS
SUBDIVISION

TOWN OF CANANDAIGUA ONTARIO COUNTY STATE OF NEW YORK

JOB NO: 0551-16
SCALE: 1" = 100'
DRAWN: RJT
DESIGNED: RJT
DATE: 5/5/15

REVISIONS		
DATE	BY	REVISION
05/12/15	RJT	ISSUED FOR BID
05/22/15	RJT	DEEP HOLE DATA

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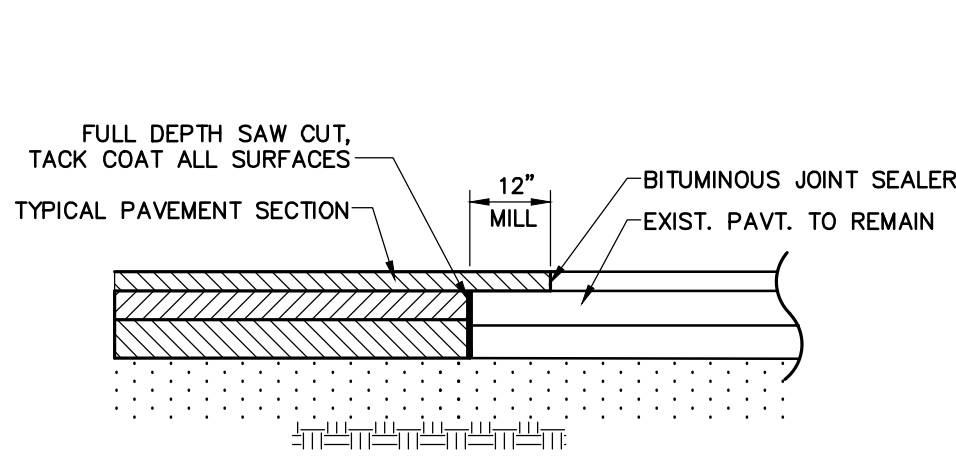


ROBERT P. BRINGLEY

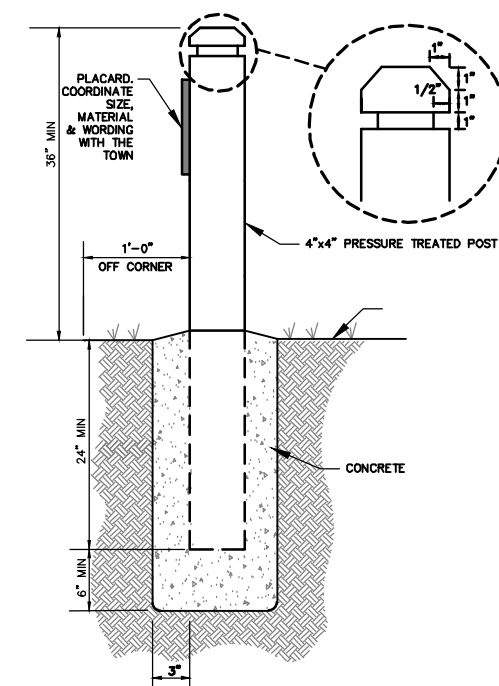
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DATA**

18 of 21 SHEET No:	C8.2
0551-16 JOB No:	
DRAWING No:	

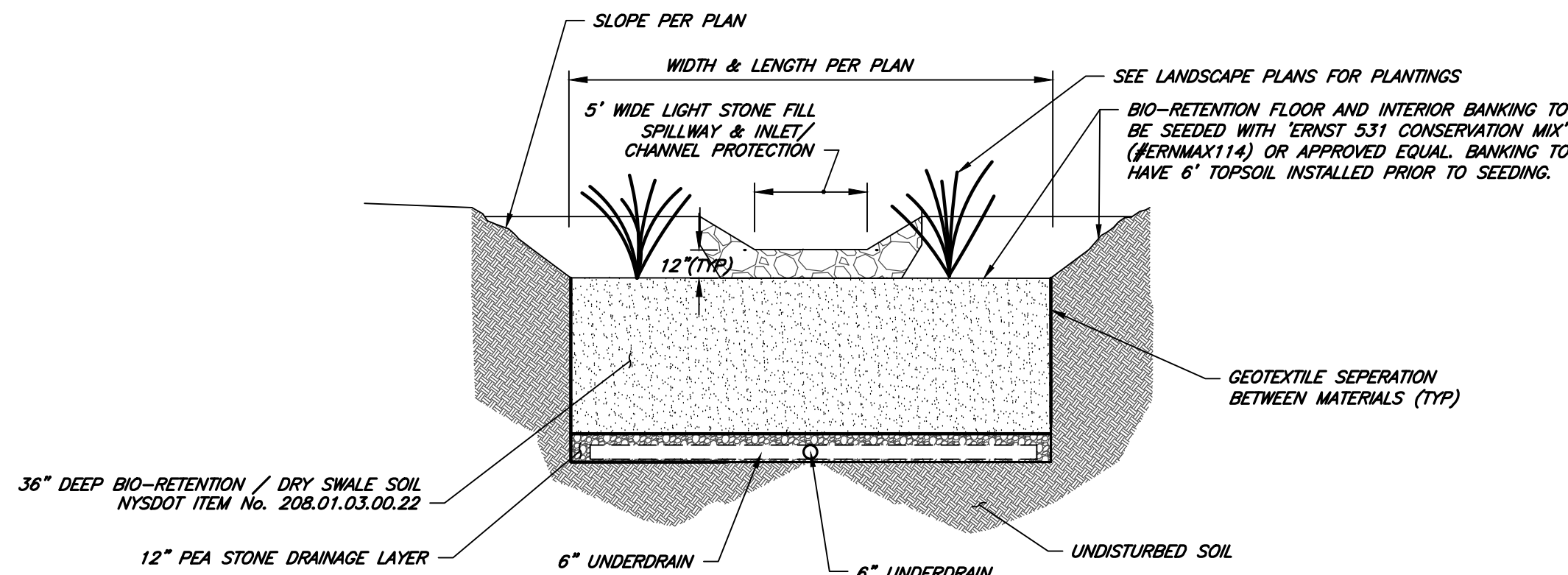
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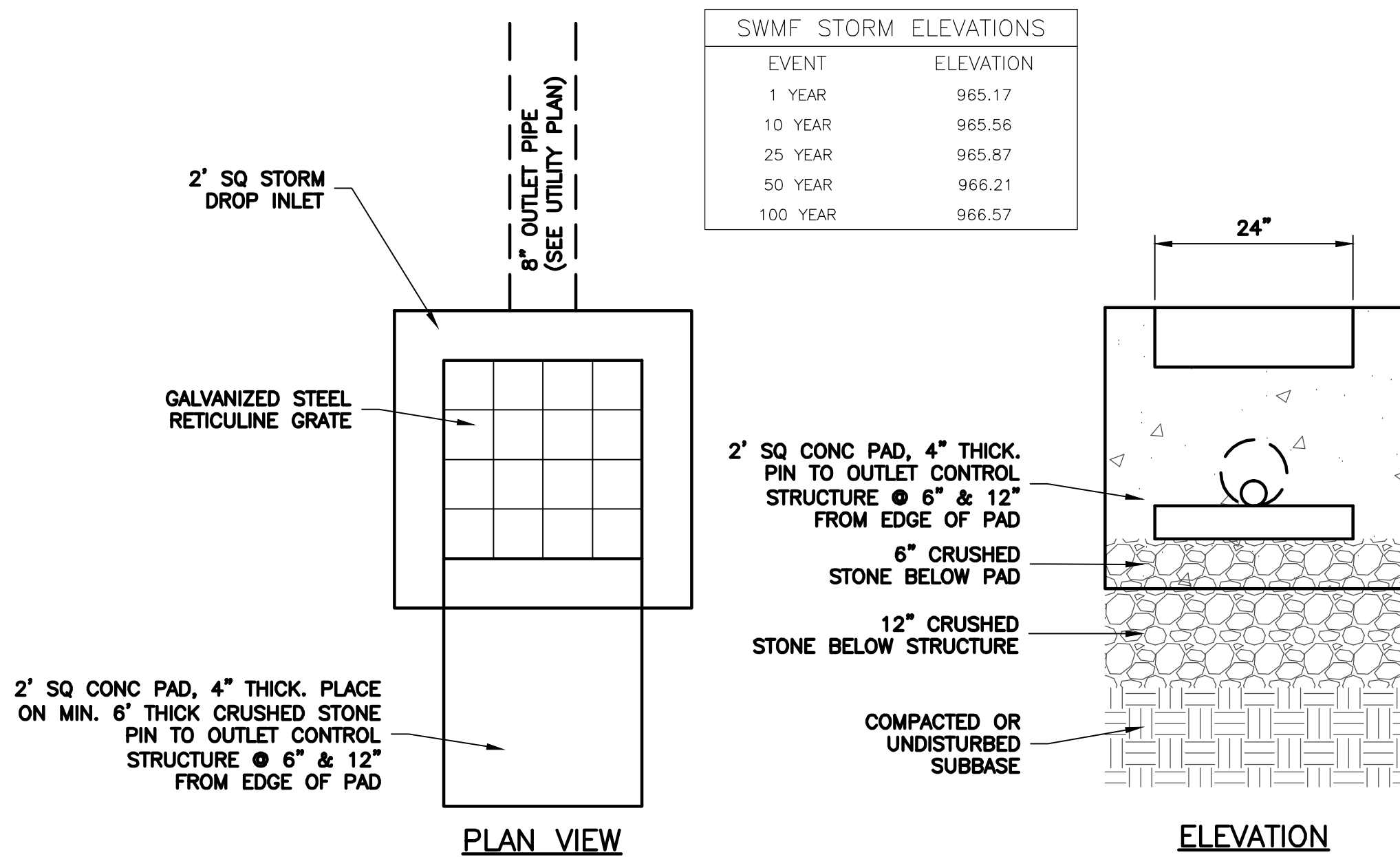
1 PAVEMENT MATCH



5 CONSERVATION AREA MARKER



2 BIORETENTION SECTION
N.T.S.



NOTE:
1. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL TO THE OWNER FOR ALL OUTLET CONTROL STRUCTURES PRIOR TO INSTALLING.
2. SPILLWAY AND POND OUTFALL STRUCTURE AS-BUILT ELEVATIONS SHALL BE PROVIDED TO THE TOWN OF CANANDAIGUA PRIOR TO BUILDING FOUNDATION CONSTRUCTION

3 OUTLET CONTROL STRUCTURE
SCALE: N.T.S.

APPROVED BY:	APPROVED BY:	APPROVED BY:
PLANNING BOARD CHAIRPERSON	TOWN ENGINEER	TOWN HIGHWAY & WATER SUPERINTENDENT
DATE: _____	DATE: _____	DATE: _____

APPENDIX: Z
DATE: SEPTEMBER 2008

TOWN OF CANANDAIGUA

!! CALL !!
BEFORE
YOU DIG, DRILL OR BLAST

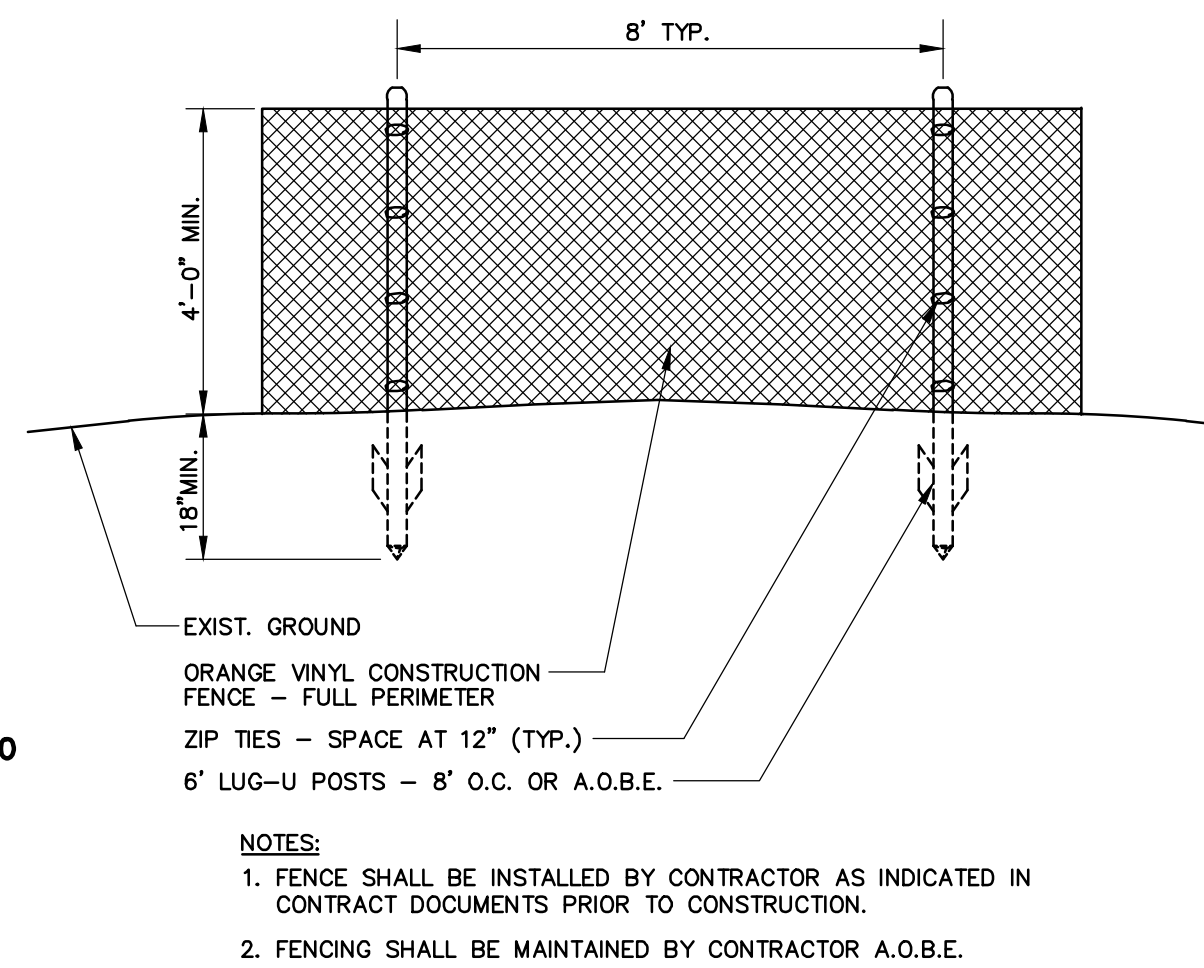
1-800-962-7962 or 811

IN ACCORDANCE WITH UFPO (UNDERGROUND FACILITIES PROTECTIVE ORGANIZATION), CONTRACTORS MUST NOTIFY ALL UTILITIES IN THE AREA TWO (2) WORKING DAYS BEFORE EXCAVATION.

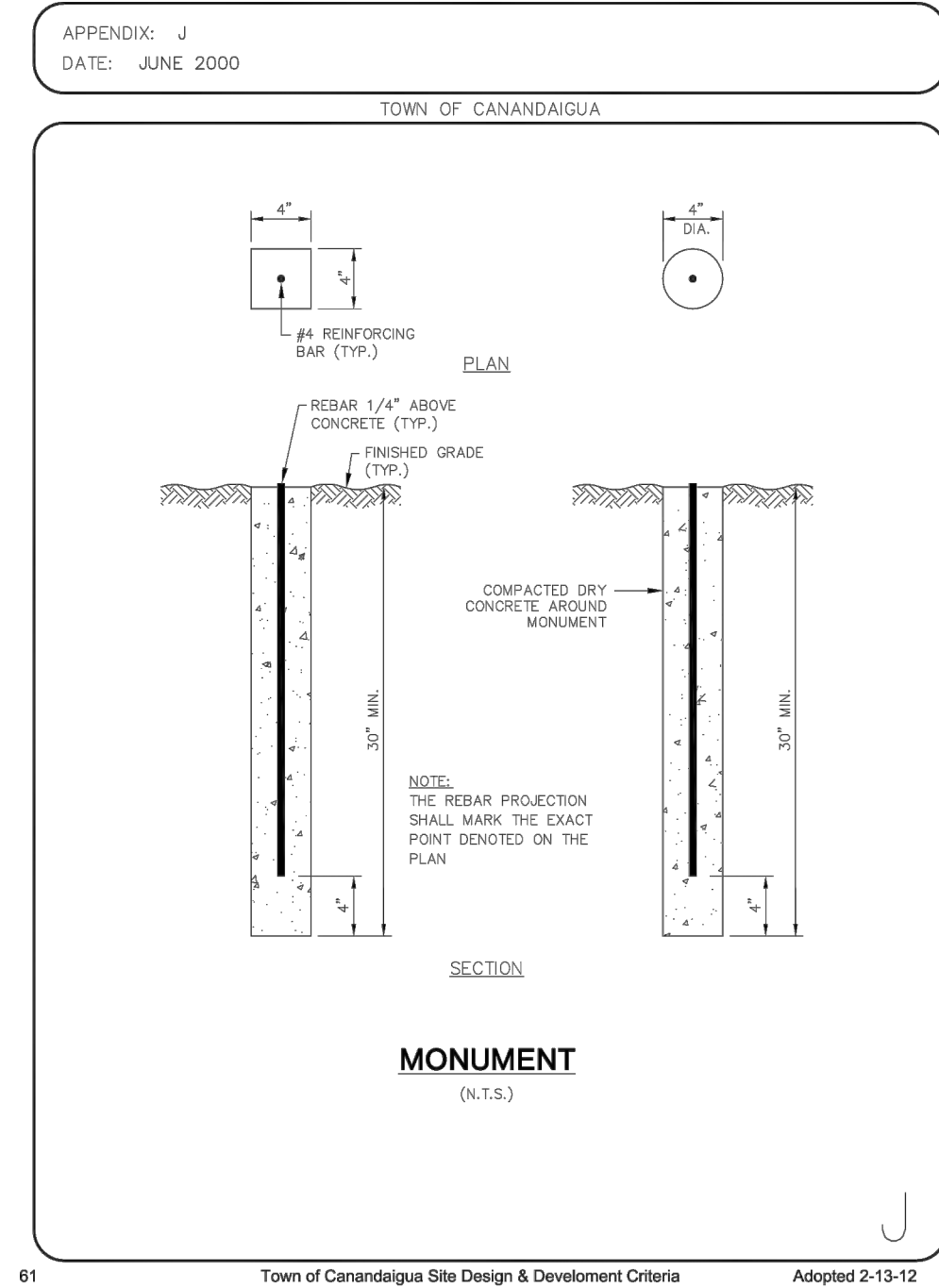
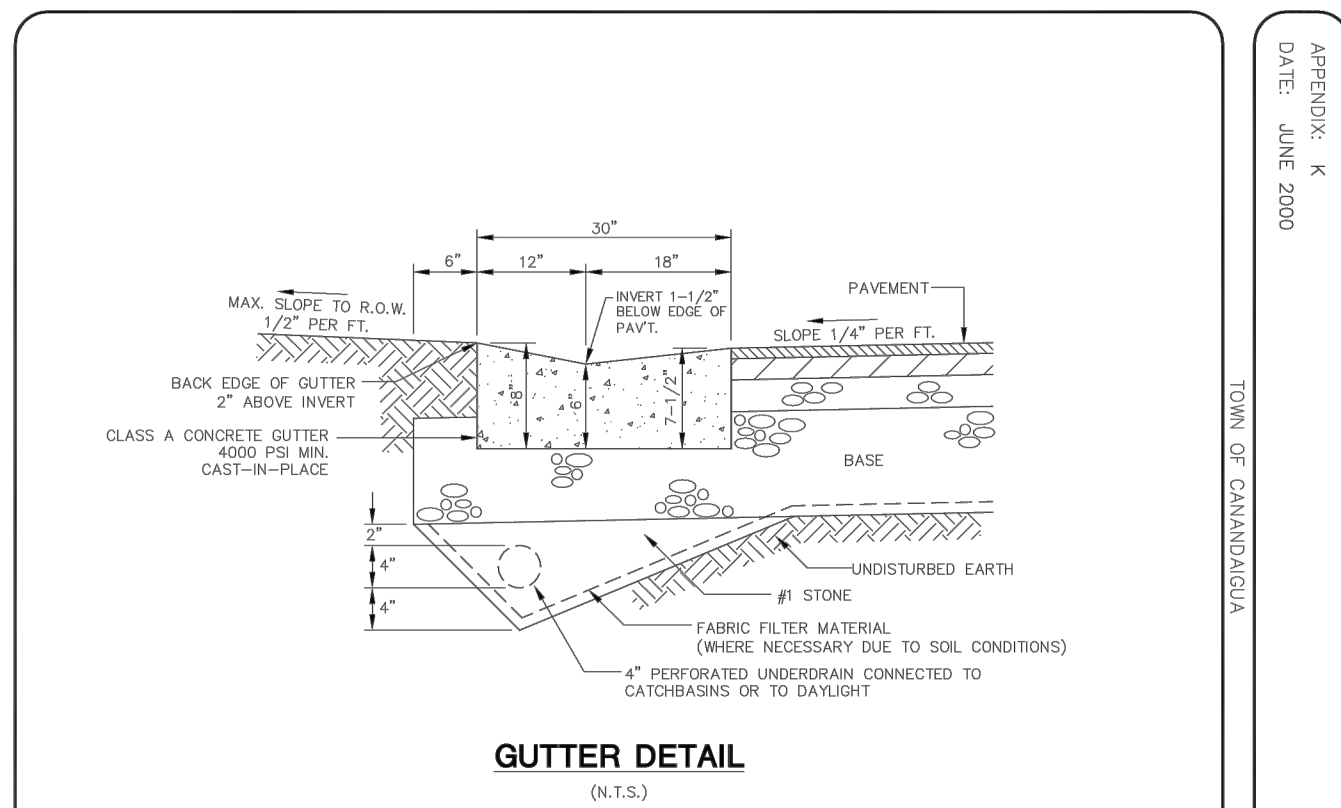
IN ADDITION, THE CONTRACTOR SHALL NOTIFY THE MUNICIPAL SEWER AND WATER DEPARTMENTS WITHIN THE PROJECT AREA.

UTILITY NOTIFICATIONS

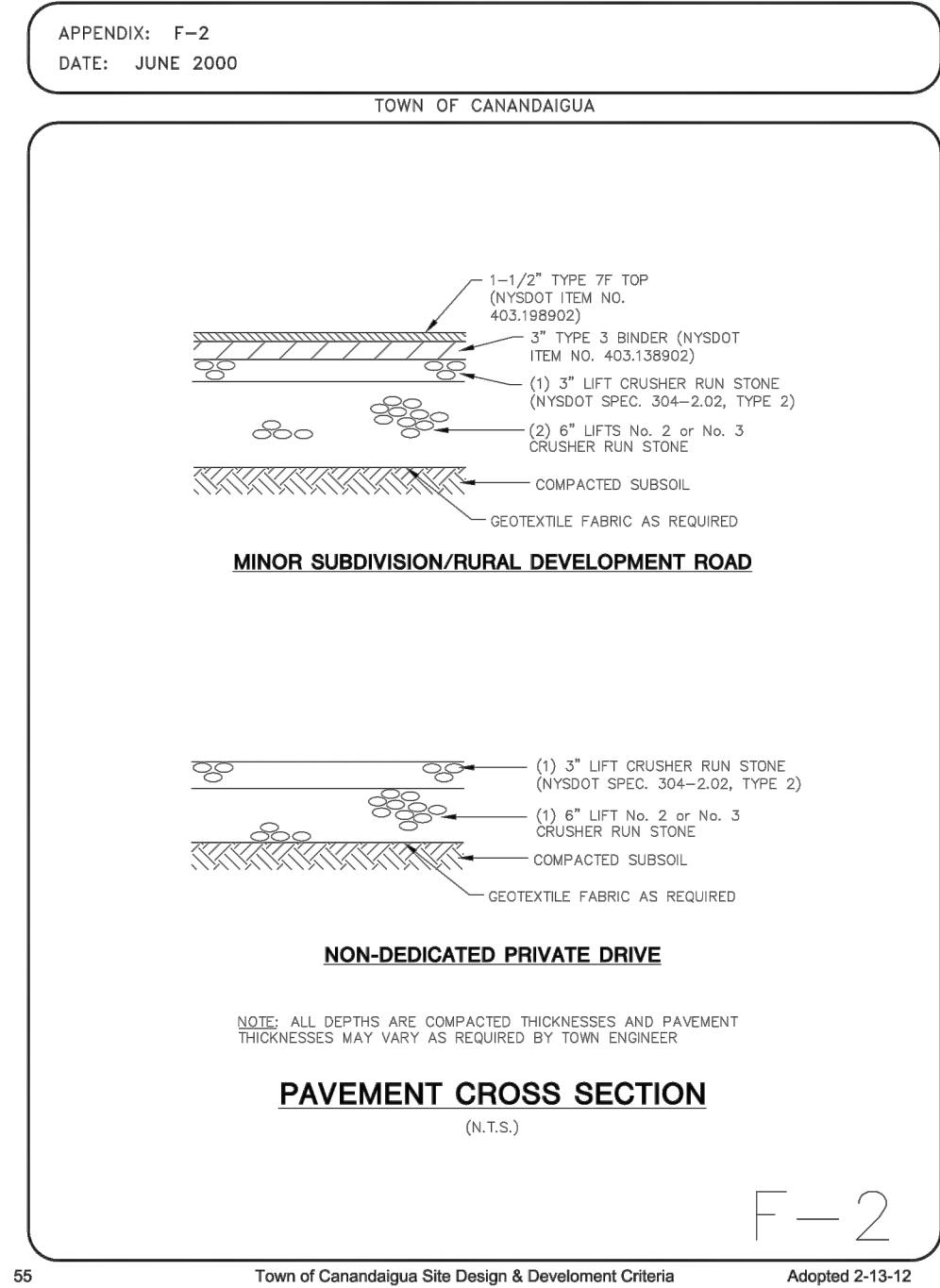
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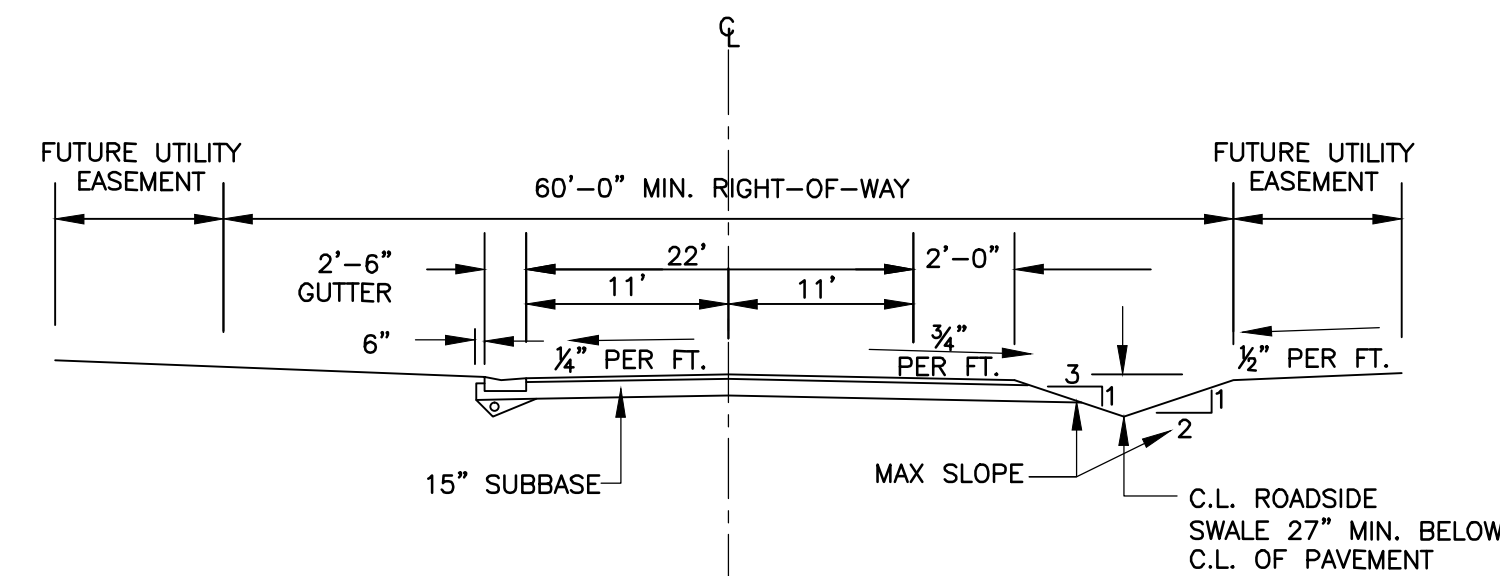
4 CONSTRUCTION FENCE



J
Town of Canandaigua Site Design & Development Criteria
Adopted 2-13-12

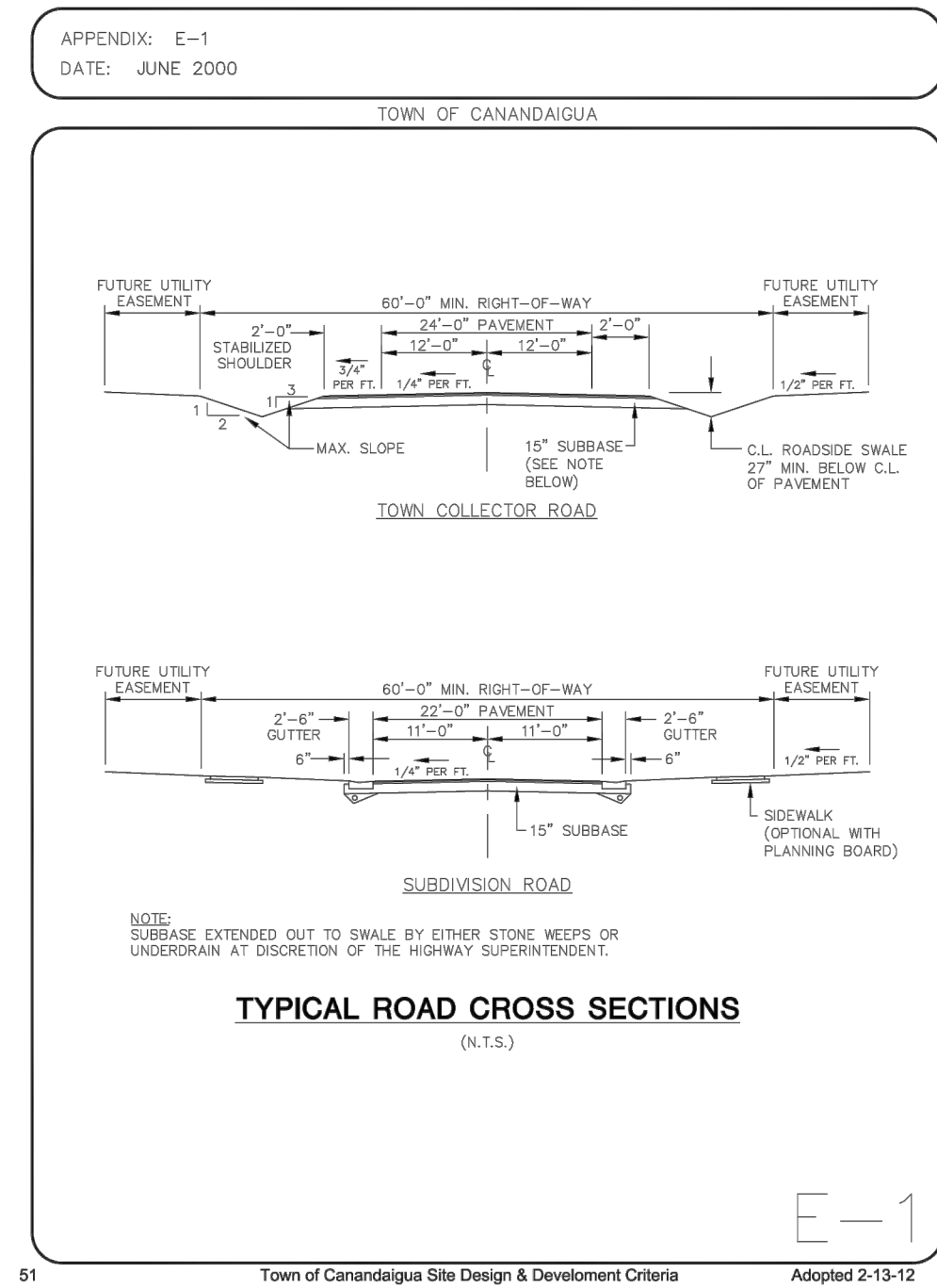


F-2
Town of Canandaigua Site Design & Development Criteria
Adopted 2-13-12

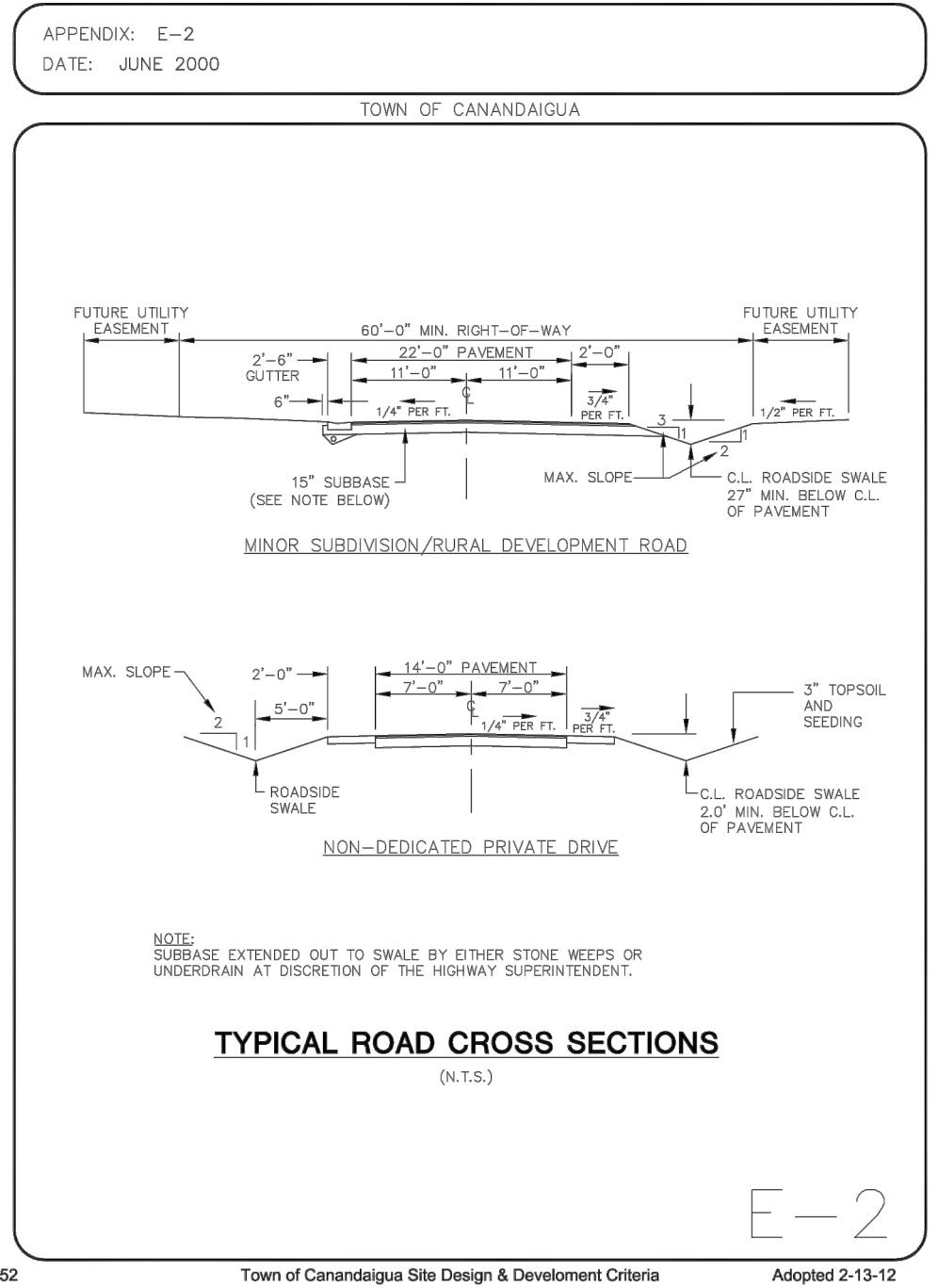


ROADWAY CROSS-SECTION					
ROAD NAME	PAVEMENT WIDTH	LANE WIDTH	LENGTH OF SECTION	LEFT SHOULDER	RIGHT SHOULDER
ST. JAMES PARKWAY	22'-0"	11'-0"	STA 0+00± - STA 17+45±	GRAVEL SHOULDER	GRAVEL SHOULDER
			STA 17+46± - STA 20+40±	CONCRETE GUTTER	CONCRETE GUTTER
			STA 20+41± - STA 26+20±	PAVED SHOULDER	CONCRETE GUTTER
			STA 26+21± - STA 31+00±	CONCRETE GUTTER	CONCRETE GUTTER
ARBOUR HILL DRIVE	22'-0"	11'-0"	ENTIRE LENGTH	CONCRETE GUTTER	CONCRETE GUTTER
WOODVINE RISE RD	22'-0"	11'-0"	ENTIRE LENGTH	CONCRETE GUTTER	GRAVEL SHOULDER
HARVEST VIEW RD	22'-0"	11'-0"	ENTIRE LENGTH	GRAVEL SHOULDER	CONCRETE GUTTER

MODIFIED ROAD WIDTH SECTION
N.T.S.



E-1
Town of Canandaigua Site Design & Development Criteria
Adopted 2-13-12



E-2
Town of Canandaigua Site Design & Development Criteria
Adopted 2-13-12

FINAL PLANS - SECTION 9B
for
LAKEWOOD MEADOWS
SUBDIVISION

STATE OF NEW YORK
ONTARIO COUNTY
TOWN OF CANANDAIGUA
ST. JAMES PARKWAY

JOB NO: 0551-16
SCALE: AS SHOWN
DRAWN: RJT
DESIGNED: RPB
DATE: 7/15/16

REVISIONS		
DATE	BY	REVISION
7/22/16	RJT	CONSERV. MARKER
10/18/16	RJT	ISSUED FOR FINAL REVIEW

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ROBERT P. BRINGLEY

DRAWING TITLE:
CONSTRUCTION
DETAILS

19 of 21
SHEET No: **C9.0**
0551-16
JOB No: DRAWING No:

DRAWING No:

TOWN OF CANANDAIGUA SPECIFICATIONS FOR WATERMAIN MATERIALS

3.5 WATER MAINS

- A. DUCTILE IRON (DIP) PIPE SHALL CONFORM TO AWWA C-151/A21.51 AND THE MINIMUM ALLOWABLE THICKNESS SHALL BE CLASS 52. PIPE SHALL BE CEMENT LINED IN ACCORDANCE WITH AWWA C-104/A21.4 AND SHALL HAVE RUBBER GASKET PUSH-ON JOINT IN ACCORDANCE WITH AWWA C-111/A21.11. IF SOIL CONDITIONS WARRANT, POLYETHYLENE WRAP SHALL BE REQUIRED.
- B. POLYVINYL CHLORIDE (PVC) PIPE SHALL MEET SPECIFICATIONS OF AWWA C-900 MADE FROM PVC COMPOUND 12454-B (ASTM D1784) WITH GASKET JOINTS MEETING ASTM D3139
- C. MOLECULARLY ORIENTED POLYVINYL CHLORIDE (PVCO) PIPE PVC SHALL MEET SPECIFICATIONS OF AWWA C-909 MADE FROM PVC COMPOUND 12454-B (ASTM D1784) WITH GASKET JOINTS MEETING ASTM D3139
- D. HIGH-DENSITY POLYETHYLENE (HDPE) PIPE SHALL MEET SPECIFICATIONS OF AWWA C-906 MADE FROM COMPOUND 345464-C (ASTM D3350) WITH FITTINGS TO BE USED WILL BE IN ACCORDANCE WITH THE MATERIAL'S SPECIFICATION.
- E. FITTINGS.
- (1) DUCTILE IRON SHALL MEET AWWA C-153/A21.53 SPECIFICATIONS, MINIMUM CLASS 350, WITH MECHANICAL OR PUSH-ON JOINT, EXCEPT FOR HYDRANT BRANCHES WHICH SHALL BE MECHANICAL JOINT.
- (2) FITTINGS SHALL BE CEMENT LINED IN ACCORDANCE WITH AWWA C-104/A21.4.
- (3) BOLTS AND NUTS SHALL BE HIGH-STRENGTH, LOW ALLOY STEEL.
- (4) ALL JOINTS SHALL CONFORM TO THE REQUIREMENTS OF AWWA C-111/A21.11.
- (5) ALL APPENDAGES SHALL BE TYLER FITTINGS ONLY NO SUBSTITUTION.
- F. APPURTENANCES.
- (1) DETECTOR TAPE SHALL BE BLUE IN COLOR, SIX INCHES (6") WIDE DETECTABLE MARKER TAPE AS MANUFACTURED BY TERRA TAPE OR EQUAL, SHALL BE INSTALLED ALONG MAIN LINE WATER MAIN (12" ABOVE TOP OF PIPE).
- (2) TRACER WIRE SHALL BE SOLID COPPER WIRE (#8 GAUGE MINIMUM) INSULATED WITH HIGH DENSITY POLYETHYLENE PER ASTM D-1248 ATTACHED TO THE PIPE AT 5 FOOT INTERVALS WITH PLASTIC TIES WITH A MINIMUM OF 150# TENSILE STRENGTH. WIRE SHALL BE ATTACHED TO ALL CAST FITTINGS, HYDRANTS AND VALVE BOXES TO MAKE A CONTINUOUS TRACEABLE SYSTEM.

3.6 HYDRANTS

- A. HYDRANTS SHALL BE MANUFACTURED IN ACCORDANCE WITH AWWA C-502.
- B. HYDRANTS SHALL BE MUELLER SUPER CENTURION MODEL 250 5-1/2 BURY THREE NOZZLE MODEL A, OR TOWN APPROVED EQUAL, MANUFACTURED FOR 5 FOOT BURY WITH BREAKAWAY FLANGE CONSTRUCTION AND 6 INCH MECHANICAL JOINT INLET.
- C. THEY SHALL OPEN LEFT AND BE PAINTED RED BODIES.
- D. HYDRANTS SHALL BE THREE-WAY WITH TWO 2-1/2 INCH HOSE NOZZLES AND ONE 4-1/2 INCH PUMPER CONNECTION, ALL WITH NATIONAL STANDARD THREADS. MAIN VALVE OPENINGS SHALL BE 5-1/4 INCH WITH THE TOTAL UNIT CONSISTING OF THE TEE, GUARD VALVE, HYDRANT AND ADAPTORS. (SEE APPENDIX V).

3.7 FLUSHING HYDRANT – BLOWOFF

- A. SHALL BE 2 INCH SELF-DRAINING, NON-FREEZING WITH 5 FOOT BURY, WITH ALL BRONZE PARTS DESIGNED TO CONNECT TO A 2 INCH MAIN LINE OUTLET AS MANUFACTURED BY GIL INDUSTRIES, INC., MODEL SLIM LINE 2, OR APPROVED EQUAL.
9. GATE VALVE AND BOX
- A. GATE VALVES SHALL CONFORM TO AWWA C-509 OR LATEST REVISION AND SHALL HAVE NON-RISING STEMS; "O" RING PACKING, AND OPEN LEFT. THEY SHALL BE OF THE 350 PSI TEST CLASS WITH A MINIMUM WORKING PRESSURE OF 250 PSI. VALVES SHALL BE MANUFACTURED BY MUELLER CO., MODEL 2360, OR TOWN APPROVED EQUAL, WITH MJ ENDS, A 2" SQUARE OPERATING NUT.
- B. VALVE BOXES SHALL BE BIBBY-STE-CROIX MODEL NUMBER VB3000 SERIES, OR APPROVED EQUAL, TWO-PIECE SCREW-TYPE, CAST-IRON CONSTRUCTION, VALVE BOX, WITH A 5-1/4 INCH INSIDE DIAMETER AND COVERS MARKED "WATER".
- C. IF THE VALVES ARE BURIED DEEP THEY MUST HAVE A VALVE BOX EXTENSION.

3.9 TAPPING SLEEVE AND VALVE

- A. ALL VALVES SHALL HAVE MECHANICAL JOINT ENDS AND BE FURNISHED WITH SUFFICIENT QUANTITIES OF ACCESSORIES, FOR CAST/DUCTILE IRON PIPE AND PVC PIPE TS&V SHALL BE MUELLER H-615 SLEEVE WITH A T-2360-16 TAPPING VALVE, OR TOWN APPROVED EQUAL. FOR AC PIPE TS&V SHALL BE MUELLER H-619 WITH T-2360-16 TAPPING VALVE OR TOWN APPROVED EQUAL.

3.10 ANCHORING FITTINGS

- A. ANCHORING PIPE IN ACCORDANCE WITH ANSI-A21.4, OR LATEST REVISION, SHALL BE EMPLOYED TO ANCHOR ALL HYDRANTS TO GATE VALVES. THE ANCHORING PIPE SHALL BE COAL TAR COATED, CEMENT LINED AND PROVIDED WITH A ROTATING GLAND. THERE SHOULD BE A MINIMUM 18 INCHES BETWEEN HYDRANT AND GATE VALVE. THESE ANCHORING PIPES SHALL BE MANUFACTURED BY THE TYLER COMPANY, MODEL 5-198, OR APPROVED EQUAL.

3.11 BUTTERFLY VALVES

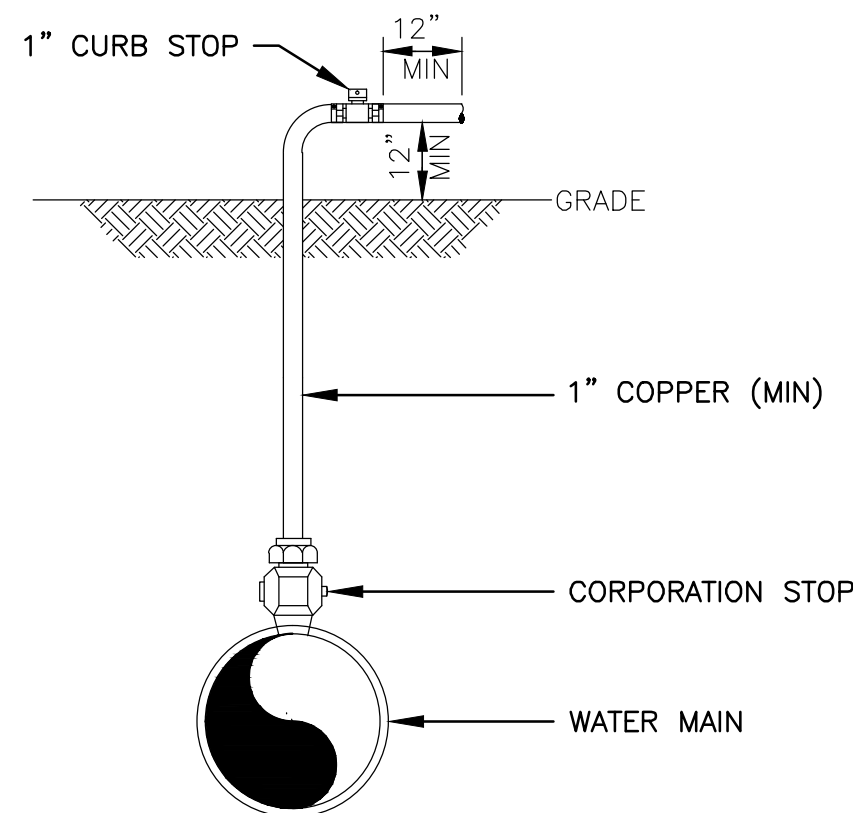
- A. ALL VALVES GREATER THAN 12" IN DIAMETER SHALL BE BUTTERFLY TYPE. ALL BUTTERFLY VALVES SHALL CONFORM TO AWWA C-504, OR LATEST REVISION.

3.12 RESTRAINERS

- A. SHALL BE MANUFACTURED OF HIGH STRENGTH DUCTILE IRON PIPE AND INCORPORATE A FULL 360 DEGREE SUPPORT AROUND THE PIPE. THEY SHALL BE AS MANUFACTURED BY UNI-FLANGE SERIES 1300, 1350, 1390, OR APPROVED EQUAL, DEPENDING ON THE SPECIFIC USE.

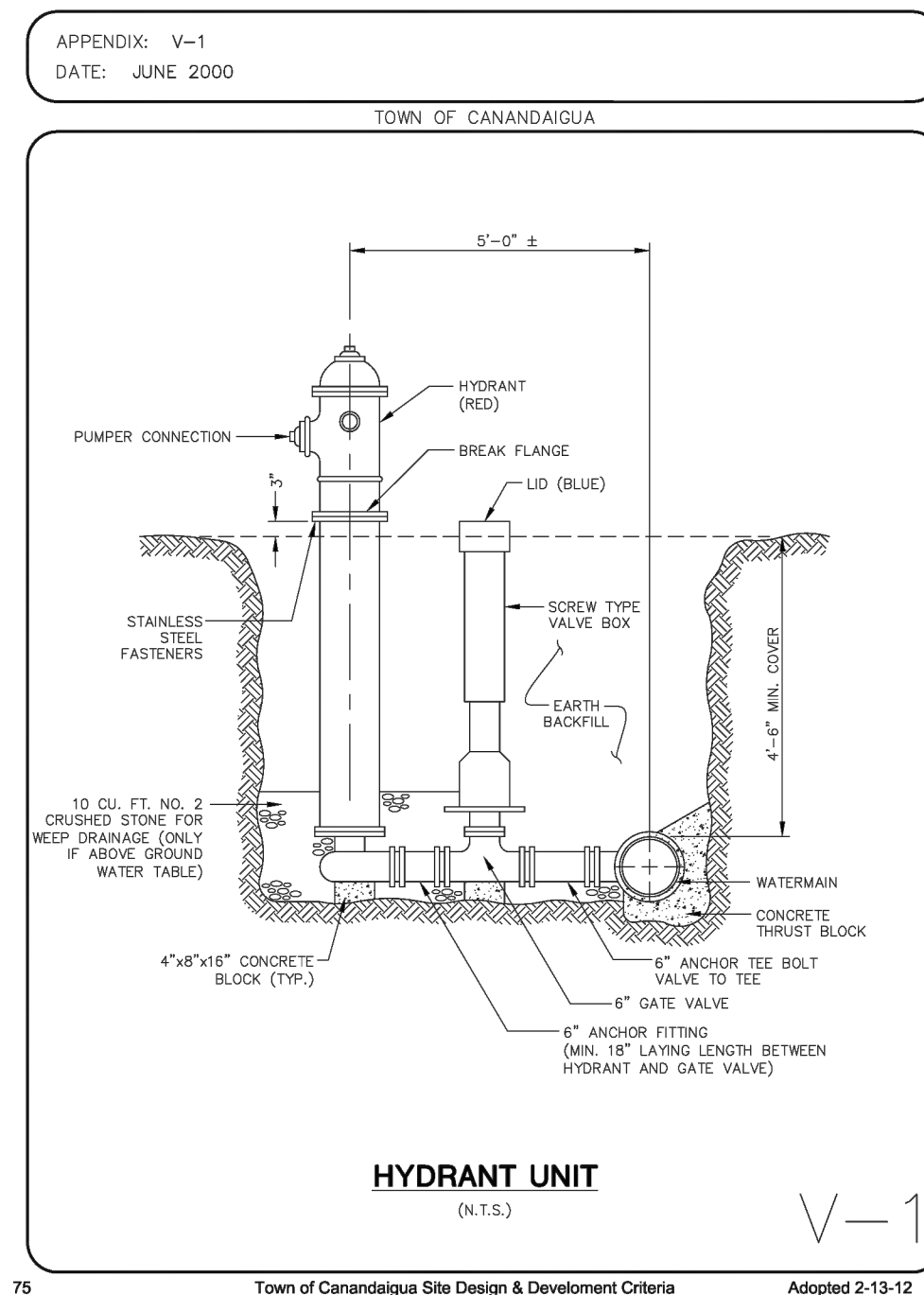
3.13 WATER SERVICE MATERIAL

- A. CORPORATION STOP SHALL BE CAST BRASS WITH "O" RING SEALS, MUELLER H-15008 (3/4", 2").
- B. CURB STOPS SHALL HAVE CAST BRASS BODIES WITH "O" RING SEALS, COMPRESSION TYPE, MUELLER H-15029 (3/4", 2").
- C. CURB BOXES SHALL BE TWO (2) PIECE BOXES WITH A SLIDE TYPE EXTENSION, A CAST IRON ARCH PATTERN LOWER SECTION, A ONE (1) PIECE CAST IRON LID AND A STAINLESS STEEL STATIONARY SHUT-OFF ROD, MUELLER H-10314 (3/4", H-10310 2").
- D. WATER SERVICE PIPE SHALL BE TYPE "K" COPPER, MINIMUM 200 PSI WORKING PRESSURE, ALL ACCORDING TO ASTM B-88. PLASTIC TYPE CTS200 IS ALSO ALLOWED WITH TRACER WIRE.
- E. PLASTIC PIPE SHALL BE COPPER TUBE SIZE (CTS) POLYETHYLENE ASTM D-2737, PE4710 HDPE PER AWWA C-901 ON A MINIMUM BASIS OF 200 PSI (ONLY USED FROM CURB BOX TO UNIT AND A #10 GAUGE COPPER TRACER WIRE SHALL BE INCLUDED FROM THE CURB BOX TO THE STRUCTURE)



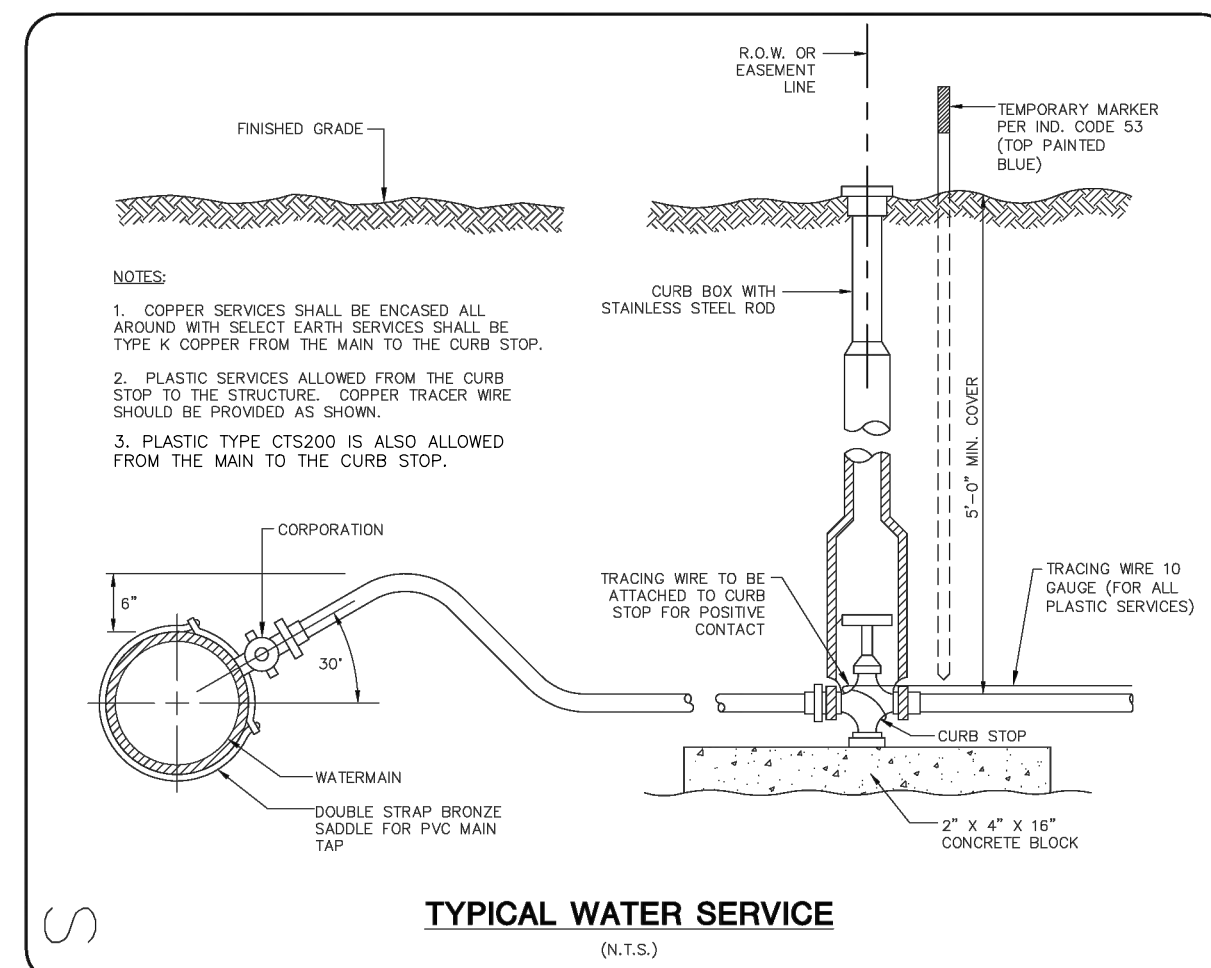
NOTE: IMMEDIATELY PRIOR TO THE AUTHORITY PLACING WATER MAIN/WATER SERVICE INTO SERVICE THE CONTRACTOR IS REQUIRED TO REMOVE ALL CORPORATIONS ASSOCIATED WITH TEMPORARY FACILITIES SUCH AS SAMPLING/DISINFECTION TAPS AND REPLACE WITH A THREADED BRASS PLUG. THE INSTALLATION OF THE PLUG MUST BE WITNESSED BY A WATER AUTHORITY REPRESENTATIVE.

DISINFECTION/SAMPLING TAP
NOT TO SCALE



VALVE

NOT TO SCALE



APPENDIX: U-2

DATE: JUNE 2000

TOWN OF CANANDAIGUA

NOTES:

- ALL DIMENSIONS ARE IN FEET.
- BEARING AREAS ARE BASED ON ALLOWABLE SOIL BEARING PRESSURE OF 3000 PSF.
- HEIGHT OF THRUST BLOCK SHOULD BE EQUAL TO OR LESS THAN 1/2 THE DEPTH FROM THE GROUND SURFACE TO THE BASE OF THE BLOCK.
- ALL THRUST BLOCKS SHALL CURE A MINIMUM OF SEVEN (7) DAYS BEFORE ANY PRESSURE TESTS ARE CONDUCTED.

PIPE SIZE (INCHES)	WORKING PRESSURE (PSIG)	TEE OR PLUG		90° BEND		45° BEND		22-1/2° BEND		U	J
		L	D	L	D	L	D	L	D		
4	150	1.50	0.87	1.50	0.67	1.50	0.67	1.50	0.67		
	250	1.67	0.75	2.00	0.50	1.50	0.67	1.50	0.67		
	250	2.00	1.25	2.00	1.50	1.75	1.50	1.50	0.67		
6	150	2.00	1.25	2.00	1.50	1.75	1.50	1.50	0.67		
	250	2.25	1.75	3.00	2.00	2.00	1.50	1.67	1.00		
	250	3.00	2.00	3.67	2.50	2.50	2.00	1.75	1.50		
8	150	2.50	2.00	3.00	2.50	2.25	1.75	1.75	1.25		
	250	3.67	2.50	4.00	3.00	3.00	2.33	2.00	1.75		
	250	4.00	3.00	5.00	3.50	3.75	2.67	2.50	2.00		
10	150	3.75	2.67	5.00	3.00	3.00	2.50	2.25	1.75		
	250	5.00	3.25	6.00	3.50	4.00	3.25	3.00	2.50		
	250	4.00	3.00	5.00	3.25	3.67	2.50	2.50	2.00		
12	150	4.00	3.33	7.00	4.00	5.00	3.25	3.50	2.50		
	250	5.00	3.00	6.00	3.50	4.00	2.75	3.00	2.00		
	250	6.50	4.00	8.00	4.50	6.00	3.25	4.00	2.50		
14	150	6.00	3.33	7.00	4.25	5.00	3.25	3.67	2.50		
	250	8.00	4.50	9.00	5.50	6.50	4.00	5.00	3.00		
16	150	4.00	3.00	5.00	3.25	3.67	2.50	2.50	2.00		
	250	6.00	3.33	7.00	4.00	5.00	3.25	3.50	2.50		
	250	5.00	3.00	6.00	3.50	4.00	2.75	3.00	2.00		
18	150	6.50	4.00	8.00	4.50	6.00	3.25	4.00	2.50		
	250	8.00	4.50	9.00	5.50	6.50	4.00	5.00	3.00		
	250	8.00	4.50	9.00	5.50	6.50	4.00	5.00	3.00		

THRUST BLOCK DETAIL

(N-1.3)

2

APPENDIX: U-1
DATE: JUNE 2000

TOWN OF CANANDAIGUA

The figure contains four technical drawings of a thrust block detail:

- SECTION (Top Left):** A cross-sectional view of a thrust block. It shows a circular pipe with a flange on the left, embedded in a concrete block. The block is surrounded by a hatched area representing soil or foundation. A vertical dimension line on the right indicates a height of 6 feet.
- PLAN (Top Right):** A top-down view of the thrust block. It shows the circular pipe and flange, with a hatched area representing the surrounding soil or foundation. A vertical dimension line on the right indicates a height of 6 feet.
- SECTION (Bottom Left):** A cross-sectional view of a thrust block, similar to the top-left one, but with a different internal shape. It shows a circular pipe with a flange on the left, embedded in a concrete block. The block is surrounded by a hatched area representing soil or foundation. A vertical dimension line on the right indicates a height of 6 feet.
- PLAN (Bottom Right):** A top-down view of the thrust block, similar to the top-right one, but with a different internal shape. It shows the circular pipe and flange, with a hatched area representing the surrounding soil or foundation. A vertical dimension line on the right indicates a height of 6 feet.

SECTION

PLAN

TEE

SECTION

PLAN

TYPICAL THRUST BLOCK
-90° BEND
(N.T.S.)

BEND

THRUST BLOCK DETAIL
(N.T.S.)

U-1

Town of Canandaigua Site Design & Development Criteria

Adopted 2-13-12



FINAL PLANS - SECTION 9B
for
LAKEWOOD MEADOWS
SUBDIVISION

STATE OF NEW YORK

ONTARIO COUNTY

TOWN OF CANANDAIGUA

JOB NO: 0551-16
SCALE: AS SHOWN
DRAWN: RJT
DESIGNED: RPB
DATE: 7/15/16

REVISIONS

DATE	BY	REVISION
10/18/16	RJT	ISSUED FOR FINAL REVIEW

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ROBERT P. BRINGLEY

DRAWING TITLE:
CONSTRUCTION
DETAILS

21 of 21
SHEET No

0551-16
JOB No:

C9.2

DRAWING No.