

LEGEND

Existing Proposed

---	---	Property Line/R.O.W.
●	●	Iron Pin
---	---	Ground Contour
U.P.	U.P.	Utility Pole
---	---	Overhead Electric/Telephone
---	---	Underground Electric/Telephone
---	---	Storm Sewer
■	■	Catch Basin/Yard Inlet
△	△	Hydrant
---	---	Watermain
---	---	Water Service
■	■	Deep Hole Excavation
●	●	Percolation Test Hole

MAP AND SURVEY NOTES

- This plan was prepared using a survey map entitled "Topographic Survey of 4609 Misty Hill Drive" prepared by Freeland-Parrinello Land Surveyors dated February 6, 2019. Vertical datum is approximate North American Vertical Datum 1988 (NAVD88 GEOID 12B).

PROJECT INFORMATION

General Information

Owner/Developer:	John & Janice Schriever 326 West Bloomfield Road Pittsford, NY 14534
Property Address:	4609 Misty Hill Drive
Property T.A.N.:	140.07-1-41.100
Property Size:	1.376 acres

Zoning Information

District:	R-1-30 Residential District
Permitted Use:	Single Family Residence
Zoning Regulations:	
Min. Lot Size:	30,000 s.f.
Min. Lot Width:	125'
Min. Front Setback:	60'
Min. Rear Setback:	40'
Min. Side Setback:	25'
Max. Building Height:	35'
Max. Building Coverage:	20%
Area Variance required	

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

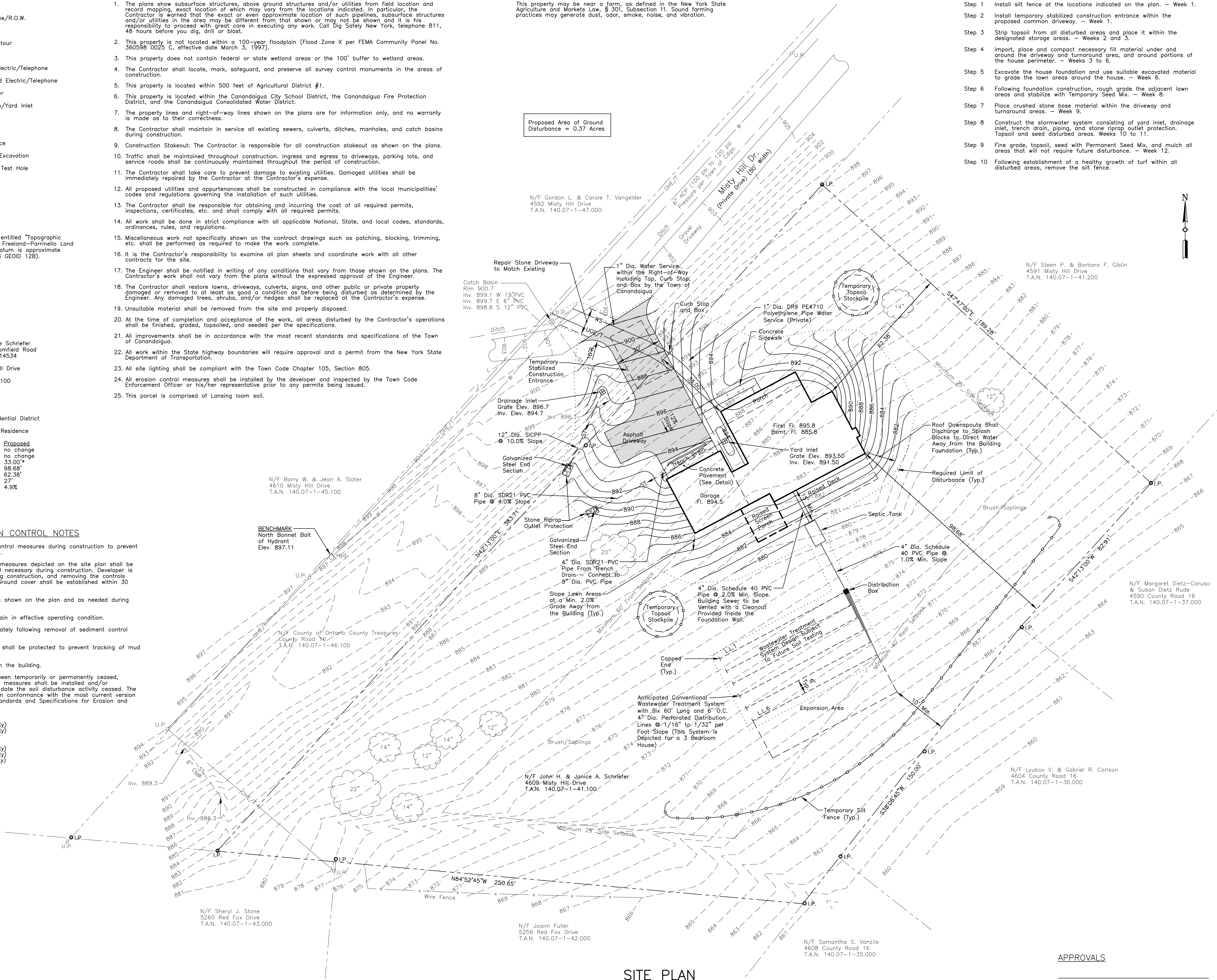
- Developer shall install erosion and siltation control measures during construction to prevent off-site transport and deposition of materials.
- The temporary erosion/sedimentation control measures depicted on the site plan shall be supplemented with additional controls if found necessary during construction. Developer is responsible for establishing the controls during construction, and removing the controls following re-establishment of ground cover. Ground cover shall be established within 30 days of completion of final grading.
- Straw bale sediment traps shall be placed as shown on the plan and as needed during construction.
- All sedimentation control structures shall remain in effective operating condition.
- All disturbed areas shall be stabilized immediately following removal of sediment control structures.
- All points of construction ingress and egress shall be protected to prevent tracking of mud onto public ways.
- Roof downspouts shall direct water away from the building.
- In areas where soil disturbance activity has been temporarily or permanently ceased, temporary and/or permanent soil stabilization measures shall be installed and/or implemented within seven (7) days from the date the soil disturbance activity ceased. The soil stabilization measures selected shall be in conformance with the most current version of the technical standard, New York State Standards and Specifications for Erosion and Sediment Control.
- Temporary Seed Mix (2# per 1,000 s.f.)**
Annual Ryegrass 50% by weight (90% purity)
Tall Fescue 50% by weight (90% purity)
Permanent Seed Mix (5# per 1,000 s.f.)
Kentucky Bluegrass 45% by weight (85% purity)
Red Fescue 40% by weight (95% purity)
Common Ryegrass 15% by weight (95% purity)
Lawn Fertilizer (5# per 1,000 s.f.)
Straw Mulch (75% ground coverage)

GENERAL NOTES

- The plans show subsurface structures, above ground structures and/or utilities from field location and record mapping, exact location of which may vary from the locations indicated. In particular, the Contractor is warned that the exact or even approximate location of such pipelines, subsurface structures and/or utilities in the area may be different from that shown or may not be shown and it is his responsibility to proceed with great care in executing any work. Call Dig Safely New York, telephone 811, 48 hours before you dig, drill or blast.
- This property is not located within a 100-year floodplain (Flood Zone X per FEMA Community Panel No. 360598 0025 C, effective date March 3, 1997).
- This property does not contain federal or state wetland areas or the 100' buffer to wetland areas.
- The Contractor shall locate, mark, safeguard, and preserve all survey control monuments in the areas of construction.
- This property is located within 500 feet of Agricultural District #1.
- This property is located within the Canandaigua City School District, the Canandaigua Fire Protection District, and the Canandaigua Consolidated Water District.
- The property lines and right-of-way lines shown on the plans are for information only, and no warranty is made as to their correctness.
- The Contractor shall maintain in service all existing sewers, culverts, ditches, manholes, and catch basins during construction.
- Construction Stakeout: The Contractor is responsible for all construction stakeout as shown on the plans.
- Traffic shall be maintained throughout construction. Ingress and egress to driveways, parking lots, and service roads shall be continuously maintained throughout the period of construction.
- The Contractor shall take care to prevent damage to existing utilities. Damaged utilities shall be immediately repaired by the Contractor at the Contractor's expense.
- All proposed utilities and appurtenances shall be constructed in compliance with the local municipalities' codes and regulations governing the installation of such utilities.
- The Contractor shall be responsible for obtaining and incurring the cost of all required permits, inspections, certificates, etc. and shall comply with all required permits.
- All work shall be done in strict compliance with all applicable National, State, and local codes, standards, ordinances, rules, and regulations.
- Miscellaneous work not specifically shown on the contract drawings such as patching, blocking, trimming, etc. shall be performed as required to make the work complete.
- It is the Contractor's responsibility to examine all plan sheets and coordinate work with all other contracts for the site.
- The Engineer shall be notified in writing of any conditions that vary from those shown on the plans. The Contractor's work shall not vary from the plans without the expressed approval of the Engineer.
- The Contractor shall restore lawns, driveways, culverts, signs, and other public or private property damaged or removed to at least as good a condition as before being disturbed as determined by the Engineer. Any damaged trees, shrubs, and/or hedges shall be replaced at the Contractor's expense.
- Unsuitable material shall be removed from the site and properly disposed.
- At the time of completion and acceptance of the work, all areas disturbed by the Contractor's operations shall be finished, graded, topsoiled, and seeded per the specifications.
- All improvements shall be in accordance with the most recent standards and specifications of the Town of Canandaigua.
- All work within the State highway boundaries will require approval and a permit from the New York State Department of Transportation.
- All site lighting shall be compliant with the Town Code Chapter 105, Section 805.
- All erosion control measures shall be installed by the developer and inspected by the Town Code Enforcement Officer or his/her representative prior to any permits being issued.
- This parcel is comprised of Lansing loam soil.

CANANDAIGUA RIGHT TO FARM NOTE

This property may be near a farm, as defined in the New York State Agriculture and Markets Law, § 301, Subsection 11. Sound farming practices may generate dust, odor, smoke, noise, and vibration.



SITE PLAN

SCALE: 1" = 20'

SCALE (FEET)



CONSTRUCTION SEQUENCE

- Step 1 Install silt fence at the locations indicated on the plan. - Week 1.
- Step 2 Install temporary stabilized construction entrance within the proposed common driveway. - Week 1.
- Step 3 Strip topsoil from all disturbed areas and place it within the designated storage areas. - Weeks 2 and 3.
- Step 4 Import, place and compact necessary fill material under and around the driveway and turnaround area, and around portions of the house perimeter. - Weeks 3 to 6.
- Step 5 Excavate the house foundation and use suitable excavated material to grade the lawn areas around the house. - Week 6.
- Step 6 Following foundation construction, rough grade the adjacent lawn areas and stabilize with Temporary Seed Mix. - Week 8.
- Step 7 Place crushed stone base material within the driveway and turnaround areas. - Week 9.
- Step 8 Construct the stormwater system consisting of yard inlet, drainage inlet, trench drain, piping, and stone riprap outlet protection. Topsoil and seed disturbed areas. Weeks 10 to 11.
- Step 9 Fine grade, topsoil, seed with Permanent Seed Mix, and mulch all areas that will not require future disturbance. - Week 12.
- Step 10 Following establishment of a healthy ground of turf within all disturbed areas, remove the silt fence.

APPROVALS

Planning Board Chairperson	Date
Canandaigua Water Superintendent	Date

REVISIONS

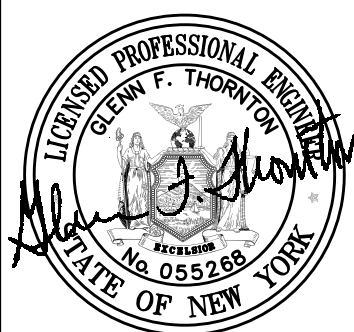
NO.	DESCRIPTION	DATE	BY
1	PRC COMMENTS	04/15/19	GFT

It is a violation of New York State Education Law Article 145 Section 7209 for any person, unless he or she is acting under the direction of a licensed professional engineer or land surveyor, to alter an item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his or her seal and the notation "altered by" followed by his or her signature and the date of such alteration, and a specific description of the alteration.

THORNTON ENGINEERING LLP

30 Assembly Drive, Suite 106
Mendon, New York 14506

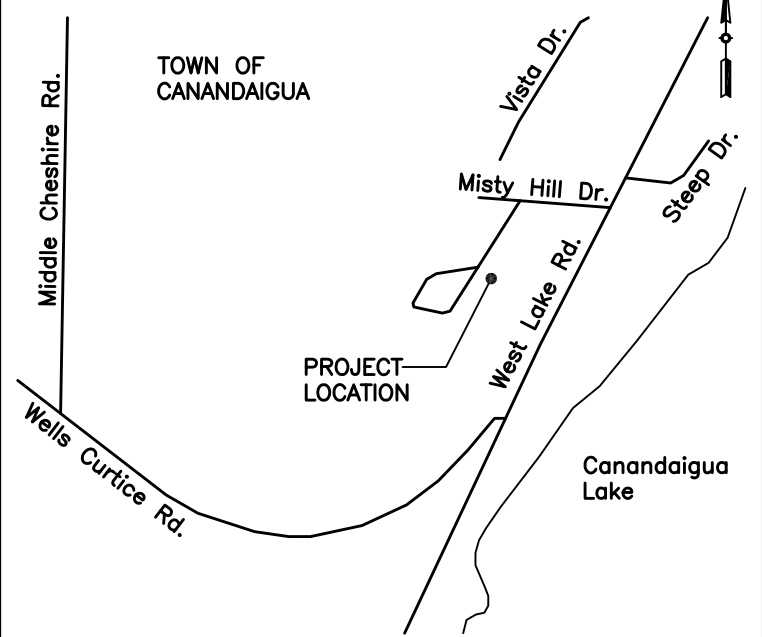
Consultant Engineers



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LOCATION MAP:



PROJECT NAME:

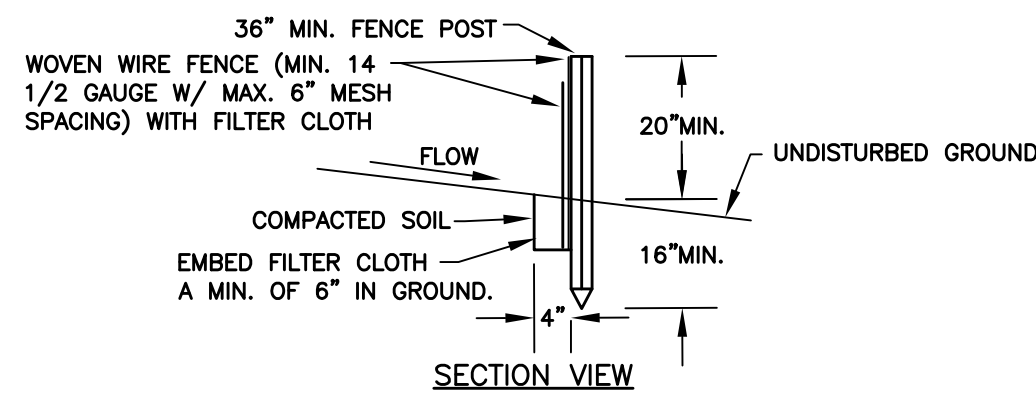
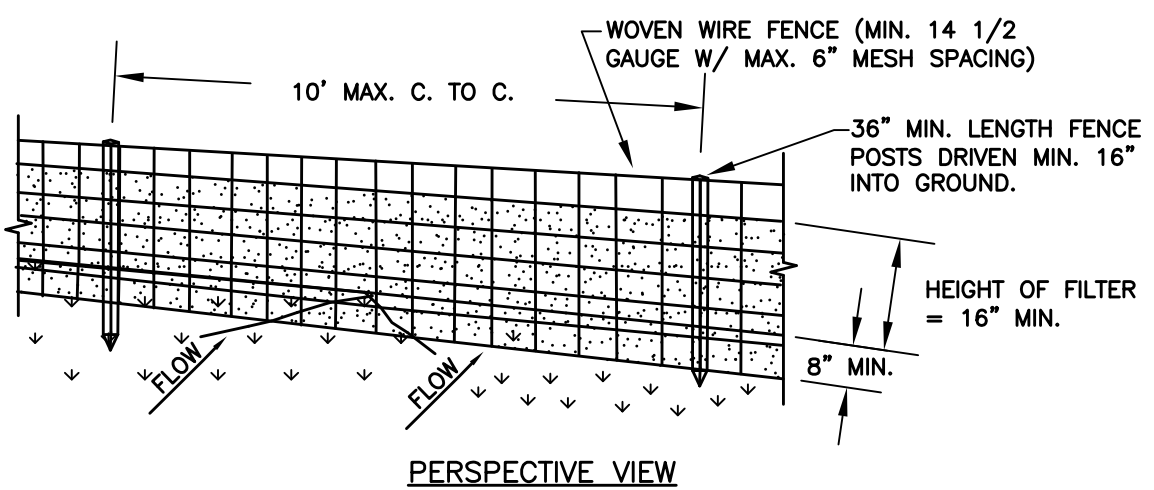
Schriever Residence

4609 Misty Hill Drive
Town of Canandaigua
Ontario County, NY

DRAWING TITLE:

Site Plan

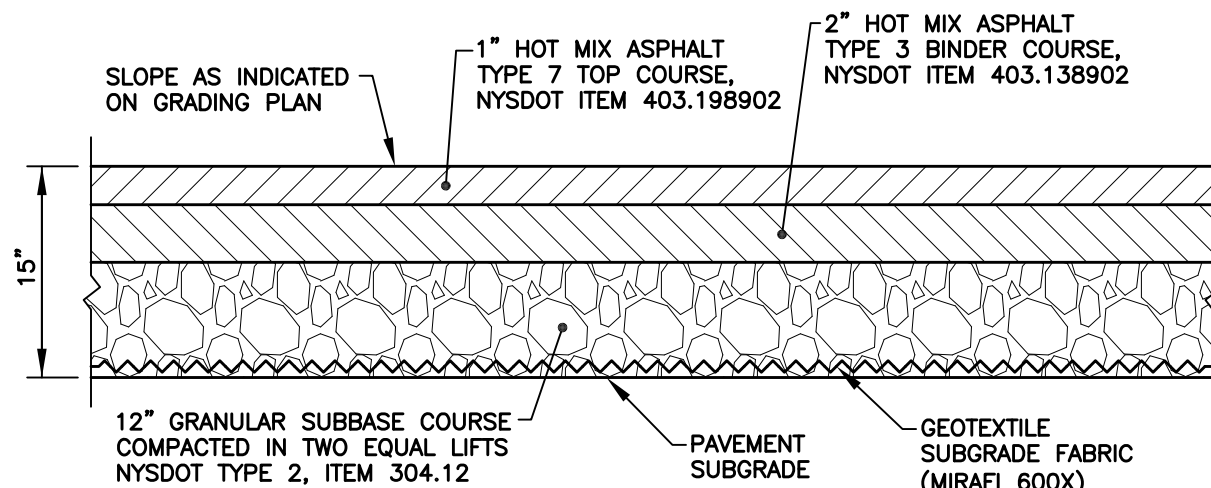
FILE NAME: SITEPLAN.DWG	DESIGNED BY: GFT
DRAWN BY: HKT	CHECKED BY: GFT
APPROVED BY: GFT	DATE: MARCH 2019
SCALE: 1" = 20'	PROJECT NO.: 19-717
SHEET NO.: 1 OF 3	DRAWING NO.: S-1



CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6" AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

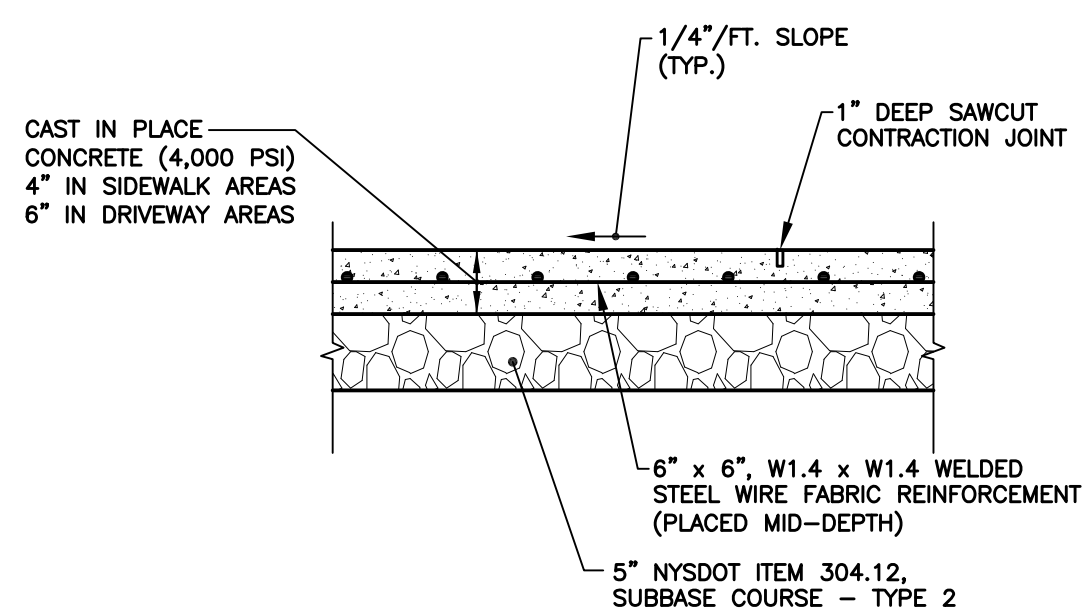
SILT FENCE NOT TO SCALE



NOTES

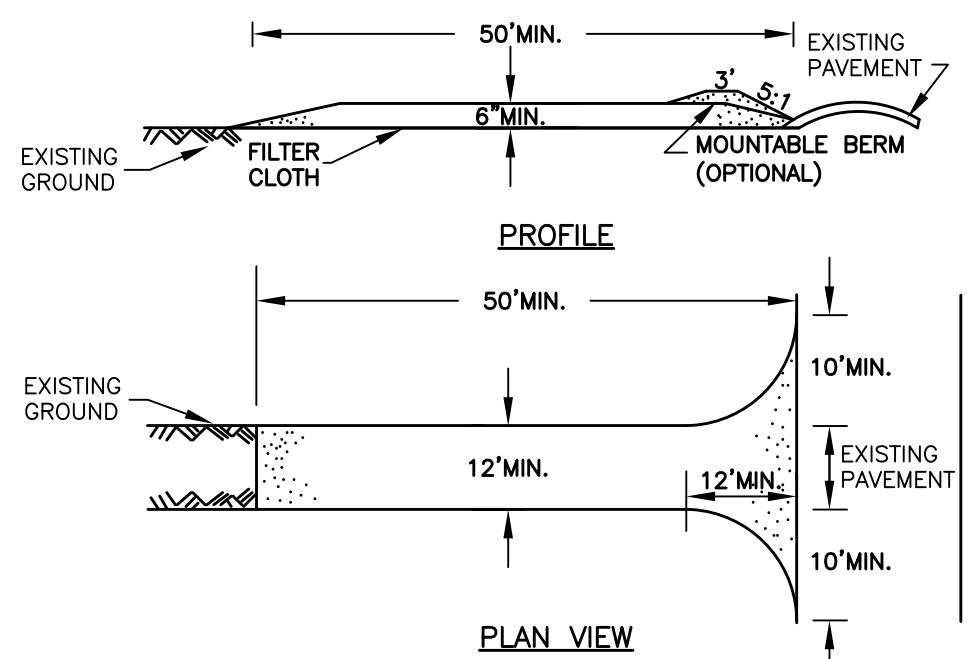
- PAVEMENT SUBGRADE AREAS SHALL BE COMPACTED TO A DEPTH OF SIX INCHES AND TO A DENSITY OF NOT LESS THAN 95% OF THE MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557.
- EXISTING TOPSOIL (6" MINIMUM THICKNESS) SHALL BE REMOVED FROM ALL PROPOSED PAVEMENT AREAS. AREAS BELOW THE PAVEMENT SUBGRADE SHALL BE FILLED WITH COMPACTED GRANULAR SUBBASE COURSE.

ASPHALT PAVEMENT NOT TO SCALE



NOTE: JOINTS (TOOLED OR 1 INCH SAWCUT) SHALL BE PROVIDED TO PROVIDE SQUARE SLABS (6' TO 6' WIDE).

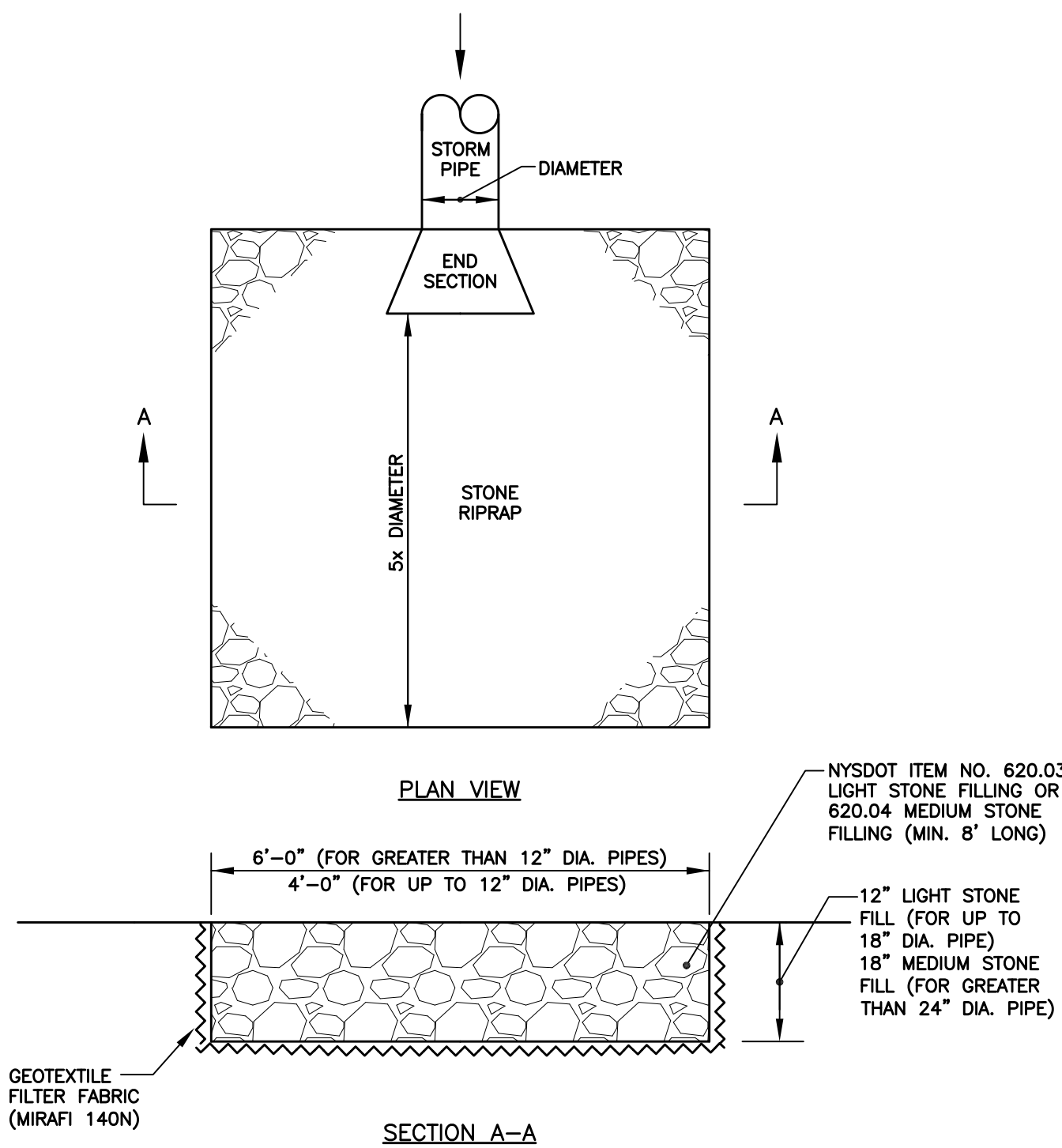
CONCRETE SIDEWALK/DRIVEWAY NOT TO SCALE



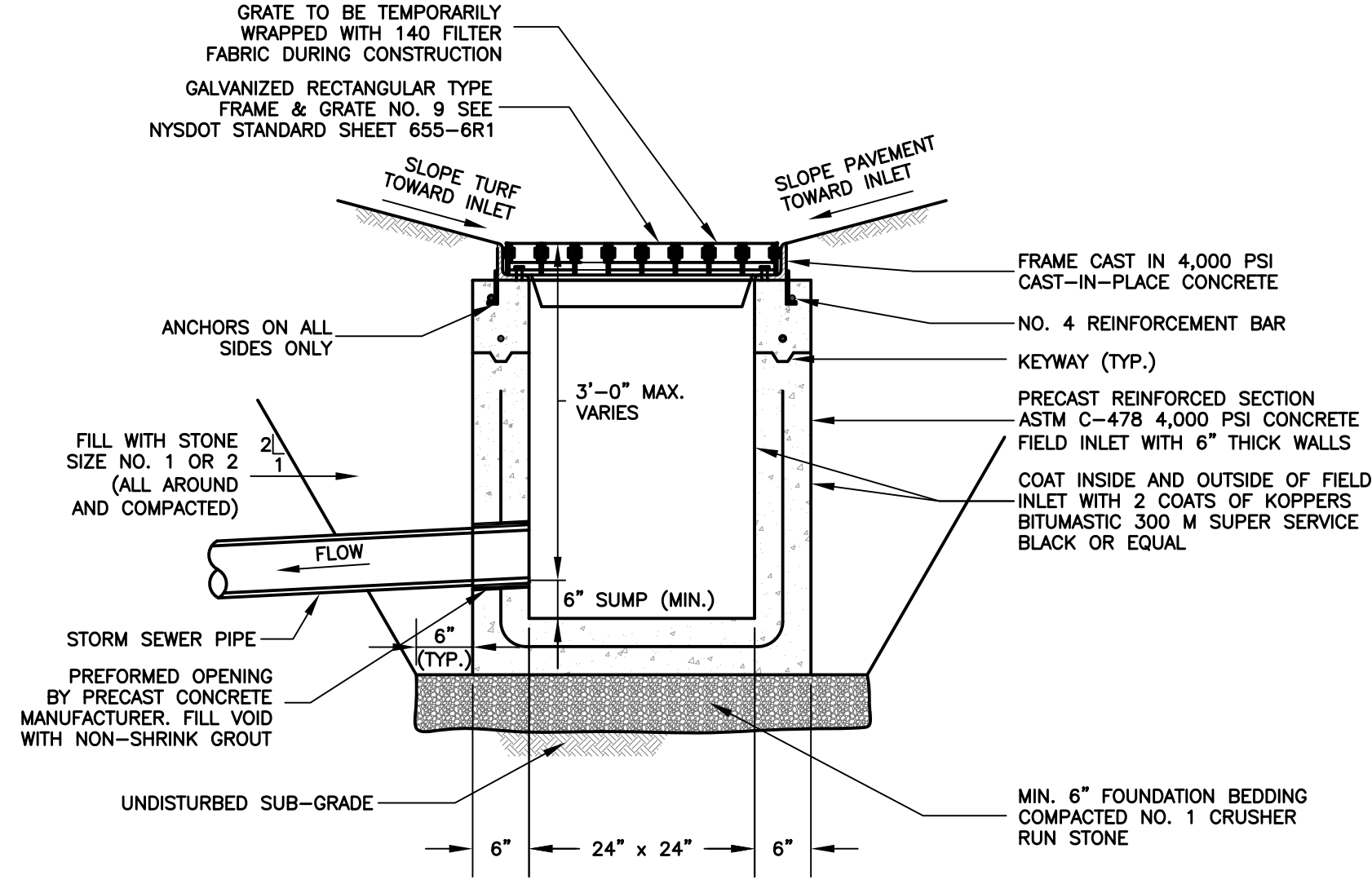
CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50' (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30' MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN 6".
- WIDTH - 12' MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 24' IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE NOT TO SCALE



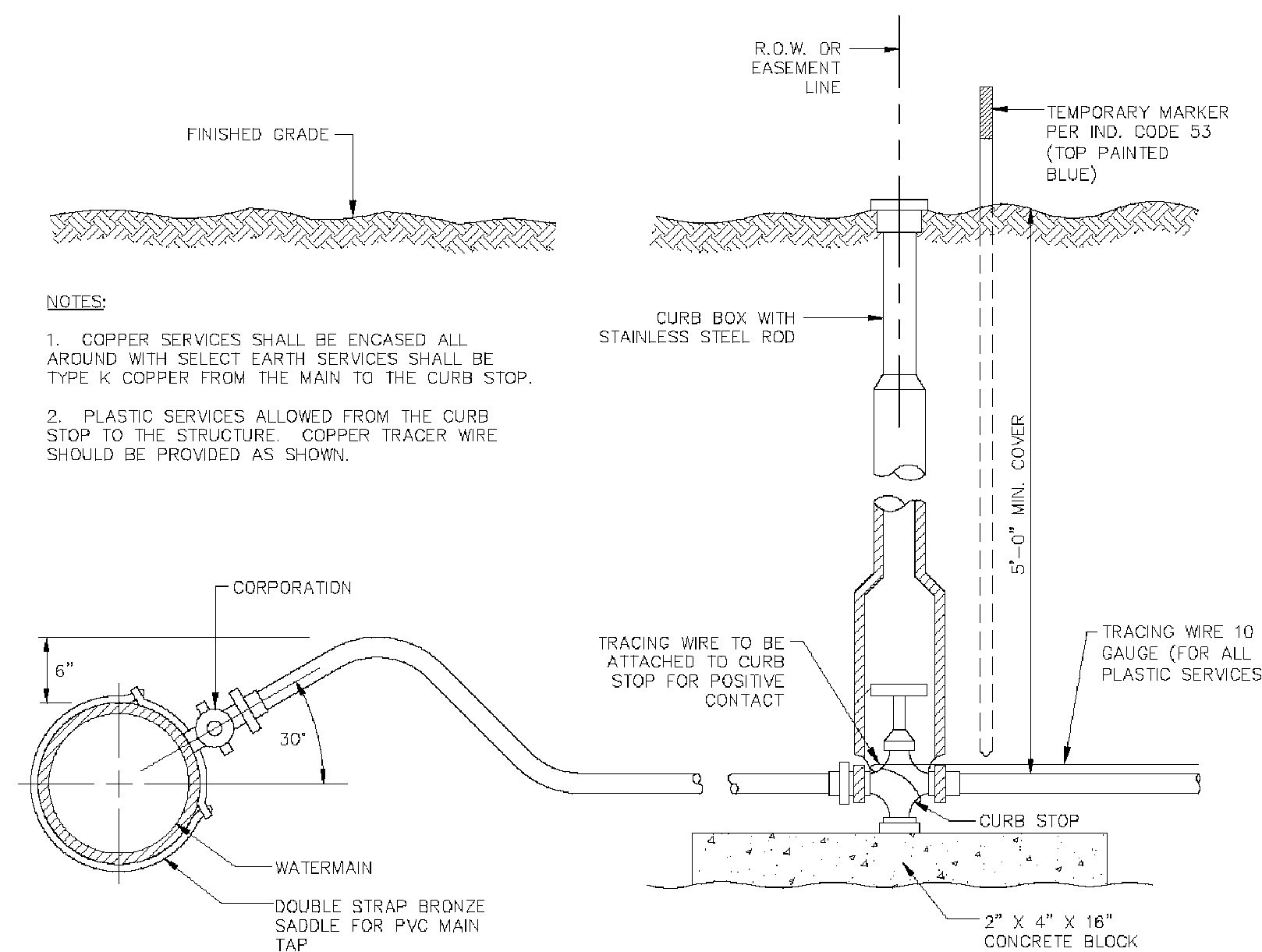
STONE RIPRAP OUTLET PROTECTION NOT TO SCALE



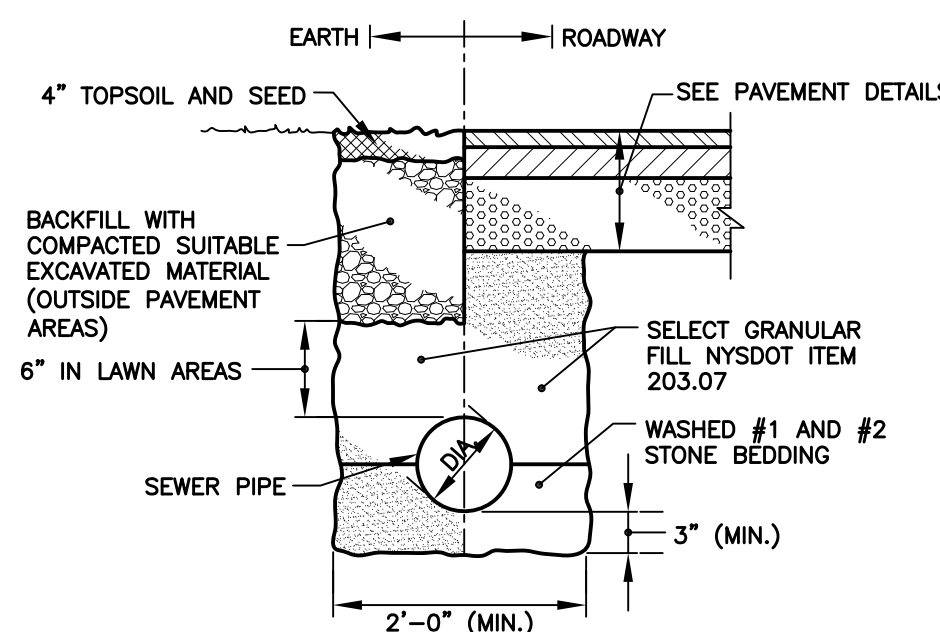
NOTES

- UPON COMPLETION & ACCEPTANCE OF FIELD INLET, THE GRATE SHALL BE BOLTED DOWN FOR PUBLIC SAFETY.

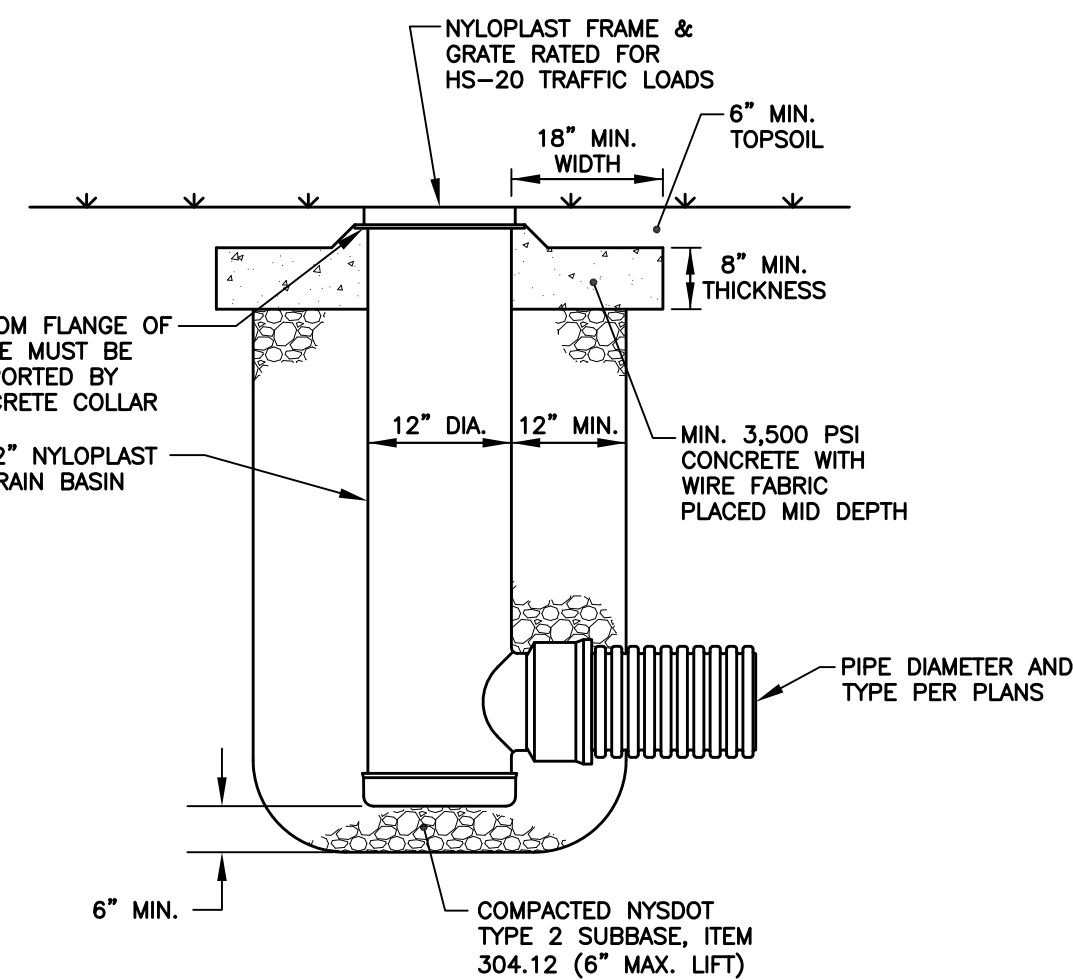
DRAINAGE INLET NOT TO SCALE



TYPICAL WATER SERVICE (N.T.S.)



STORM SEWER INSTALLATION NOT TO SCALE



YARD INLET NOT TO SCALE

REVISIONS			
NO.	DESCRIPTION	DATE	BY
1	PRC COMMENTS	04/15/19	GFT

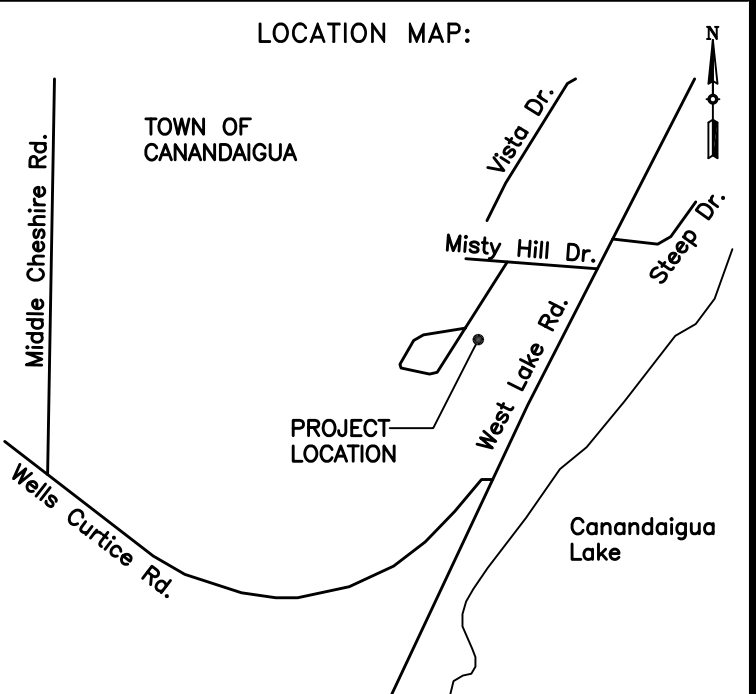
NOT APPROVED FOR CONSTRUCTION

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THORNTON
ENGINEERING LLP
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PROJECT NAME:

Schriefer Residence

4609 Misty Hill Drive
Town of Canandaigua
Ontario County, NY

DRAWING TITLE:

**Miscellaneous
Details**

FILE NAME: DETAILS.DWG	DESIGNED BY: GFT
DRAWN BY: HKT	CHECKED BY: GFT
APPROVED BY: GFT	DATE: MARCH 2019
SCALE: NOT TO SCALE	PROJECT NO.: 19-717
SHEET NO.: 2 OF 3	DRAWING NO.: D-1

Existing	Proposed
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MAP AND SURVEY NOTES

1. This plan was prepared using a survey map entitled "Topographic Survey of 4609 Misty Hill Drive" prepared by Freeland-Parrinello Land Surveyors dated February 6, 2019. Vertical datum is approximate North American Vertical Datum 1988 (NAV88 GEOID 12B).

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District:	R-1-30 Residential District		
Permitted Use:	Single Family Residence		
Zoning Regulations:	<u>Required</u>	<u>Proposed</u>	
Min. Lot Size:	30,000 s.f.	no change	
Min. Lot Width:	120'	no change	
Min. Front Setback:	60'	33.00'	
Min. Rear Setback:	45'	98.68'	
Min. Side Setback:	25'	62.38'	
Max. Building Height:	35'	27'	
Max. Building Coverage:	20%	4.9%	
* Area Variance required			

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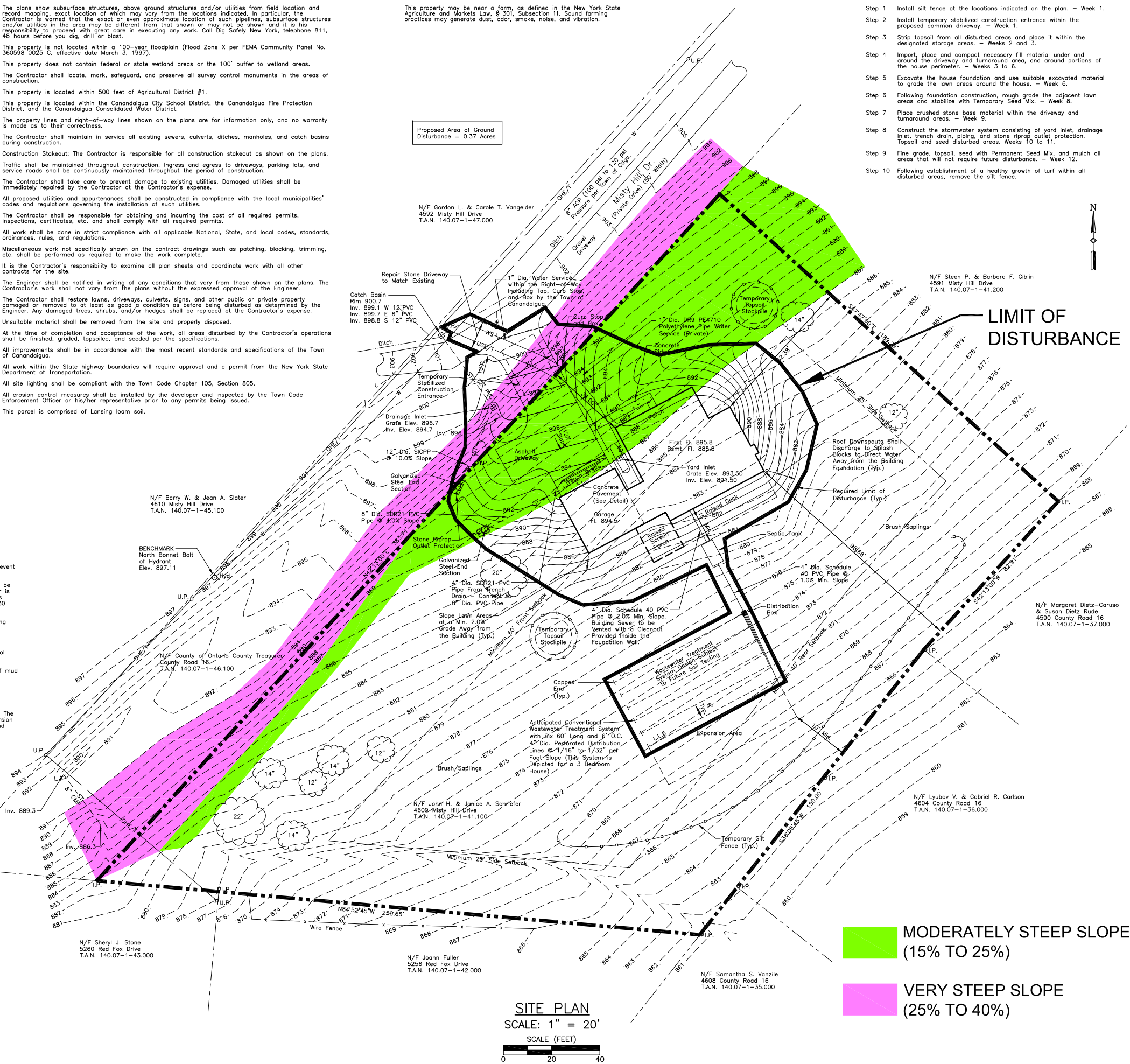
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Straw Mulch (75% ground coverage)

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22. All work within the State highway boundaries will require approval and a permit from the New York State Department of Transportation.
23. All site lighting shall be compliant with the Town Code Chapter 105, Section 805.
24. All erosion control measures shall be installed by the developer and inspected by the Town Code Enforcement Officer or his/her representative prior to any permits being issued.
25. This parcel is comprised of Lansing local soil.

This property may be near a farm, as defined in the New York State Agriculture and Markets Law, § 301, Subsection 11. Sound farming practices may generate dust, odor, smoke, noise, and vibration.



- Step 1 Install sill fence at the locations indicated on the plan. – Week 1.
- Step 2 Install temporary stabilized construction entrance within the proposed common driveway. – Week 1.
- Step 3 Strip topsoil from all disturbed areas and place it within the designated storage areas. – Weeks 2 and 3.
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[illegible]

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A map of the project location in the Town of Canandaigua. The map shows the intersection of Wells Curcise Rd. and Misty Hill Dr. The project location is marked with a dot on Misty Hill Dr. Other roads shown include Middle Cheshire Rd., Viola Dr., and Sheep Dr. Canandaigua Lake is also labeled.

PROJECT NAME:

Schriefer Residence

4609 Misty Hill Drive
Town of Canandaigua
Ontario County, NY

DRAWING TITLE

STEEP SLOPE ANALYSIS

FILE NAME: SLOPES.DWG	DESIGNED BY: GFT
DRAWN BY: HKT	CHECKED BY: GFT
APPROVED BY: GFT	DATE: MARCH 2019
SCALE: 1" = 20'	PROJECT NO.: 19-717
SHEET NO.:	DRAWING NO.:

_____ OF _____

FIGURE 1