



39 Cascade Drive / Rochester, NY 14614 / Phone (585) 458-7770

November 16, 2022

Mr. Doug Finch
Town of Canandaigua
5440 Routes 5 & 20 West
Canandaigua NY 14424

Re: Response to MRB Comments
Edgemere Development – 0000 Parkside Drive
Site Plan, Engineer's Report & SWPPP Review
CPN No. 22-062 // MRB Project No.: 0300.12001.000 Phase 298

Dear Doug,

On behalf of our client, Edgemere Development, we are submitting this letter to address each comment received from the MRB Group.

MRB COMMENTS – 11/02/2022

SITE PLAN

1. *All variances as approved by the ZBA are to be detailed on the plans and should note the date of approval, what the variance was for, and any associated conditions of approval.*

They have been added as requested.

2. *The sanitary lateral will need to be reviewed and approved by the Canandaigua Lake County Sewer District. Copies of all correspondence with CLCSD should be provided to the Town Development Office and MRB.*

Acknowledged.

3. *Vehicle turning movement analysis should be provided to demonstrate that the internal roadway/driveway is navigable by the largest fire apparatus required by code.*

Vehicle turning movements are attached with this letter.

4. *Per the Form Based Code, bicycle parking should be provided at a rate of 1 bicycle space for every 15 parking spaces. This should be shown on the plans.*

Bike parking is shown on the L-series drawings.

5. *Per the Form Based Code, outdoor amenity space(s) should be provided with a minimum size of 5% of the gross floor area. Whilst a figure has been provided delineating the outdoor amenity spaces,*

Going the distance for you.

there does not appear to be a description regarding what these amenities are and how they comply with the Form Based Code. Please update accordingly.

There is a hard paved outdoor amenity area of 865 SF which includes tables with integral chairs and umbrellas, and another seeded lawn area of 2083 SF with room for passive or active recreation is located on the east side of the building. It is compliant with the Form Based Code as both areas are located directly on the site, and are available as unenclosed, improved active or passive space for use by the occupants of the development.

6. *The engineer's report and architectural plans indicate that a total of 48 units are proposed and are a mix of 1-bedroom and 2-bedroom units (a total of 56 bedrooms); however, only 42 parking spaces are proposed. The engineer's report also indicates that comparable projects have typical ratios of 75% parking to units. What are some comparable projects with this ratio? Does this also account for guest parking or other temporary parking (i.e., maintenance/service vehicles)?*

The ratios include guests, site management and maintenance vehicles.

7. *Will there be any EV charging stations provided? If so, these should be shown on the plans and a detail provided.*

Yes- 2 spaces (1 charging station) have been added to the plans.

8. *Will any bus stops/shelters be provided? If so, the location should be shown on the plans and a detail provided.*

None are provided – there is a bus stop adjacent to the project.

9. *Are there any intentions to include roof mounted solar? These should be identified on the plans with all connections detailed. Also, the architectural elevations would need to demonstrate that said panels are sufficiently screened.*

There is a roof mounted solar photovoltaic system, which will be designed by the design-build installer in later design phases. The panels will be low to the roof, held away from the roof edge, and screened behind the parapet; they will not be visible from the adjacent right of way.

Connections to building electrical systems will be internal wherever possible, and any external switches/panels will be away from the street side of the building.

10. *The locations of any ground mounted HVAC equipment should be indicated on the plans and should show sufficient screening meeting the requirements of the Form Based Code.*

There is no ground mounted HVAC equipment.

- 11. The plans show a roof drain leader discharging into the bioretention area. Is this it the only roof drain leader or are there other roof drain discharge points? What is the size of this pipe? Outlet protection may need to be provided.*

This is the only roof lateral – the pipe will be sized by the MEP engineer. Outlet protection will be provided with cobbles on surface of bioretention.

- 12. The concrete washout area should be shown on the plans. A construction staging area should also be shown on the plans. No loading or unloading of trucks and materials will be allowed within the right of way unless granted permission by the Town Highway & Water Superintendent. A note to this effect should be added to the plans.*

Washout and staging have been added to the plans along with the requested note.

- 13. ES-1 should also be provided with outlet protection. This pipe should also be adjusted to discharge more in line with the swale if feasible.*

Outlet protection has been added as requested.

- 14. The erosion control plans should be updated to provide YI-6.3 with inlet protection.*

This has been added as requested.

- 15. A stormwater maintenance easement is to be provided over the proposed bioretention area and shall include a 20' wide, stabilized access corridor to a public ROW. A boundary description and map is to be provided to the Town Development Office and MRB for review and approval.*

Acknowledged. A map and description are attached as requested.

- 16. Plantings and landscaping should be provided for the bioretention area meeting the requirements of the NYS Stormwater Management Design Manual (SWMDM). This should include a mix of trees, shrubs, and herbaceous vegetation. Please refer to section 6.4.5 of the SWMDM.*

No trees will be installed in the bioretention area. Shrubs and grasses are shown on the plans.

- 17. Has soil infiltration testing and soil exploration occurred? If not, soil exploration will be required to be performed prior to installation of the bioretention area to ensure that proper groundwater separation is provided. If proper separation cannot be provided, an impermeable liner will be required to be provided.*

A geotechnical report has been completed, while some damp soil was observed no measurable groundwater elevation established therefore no liner is proposed.

18. *Please verify that the indicated bioretention surface area is accurate as cursory measurements suggest that it may be off.*

The bioretention area has been updated per further comments below.

19. *All stabilization timing notes should be updated as necessary to indicate that in areas where soil disturbance activities have temporarily or permanently ceased, stabilization measures shall be initiated by the end of the next business day and completed within fourteen days (seven days if over 5-acres of disturbance, or three days if between November 15th and April 1st).*

Winter stabilization notes have been added as requested.

20. *A site-specific construction sequence should be provided on the plans.*

Construction sequence is included on the notes sheet.

21. *In erosion control note #13, the onsite soils are noted as being HSG A whereas it is our understanding that the onsite soils are HSG D or HSG C/D. Also, please include the referenced soil restoration table on the plans.*

On-site soils are HSG D, the note has been updated and table added.

22. *The lighting plan should include a note indicating that all proposed exterior lighting shall comply with section §220-77 of the Town of Canandaigua Town Code, and the Town of Canandaigua Form Based Code. A table should be provided demonstrating compliance with the Town lighting uniformity standards. Will any building mounted lighting be provided? If so, this should be noted in the schedule and shown on the plans with photometric contours.*

A table has been added as requested. Product data has been provided.

23. *The concrete washout area detail should note that the liner shall be replaced when torn or when the washout is emptied. The detail should also note that the washout must be emptied at or before reaching 75% capacity.*

A note has been added as requested.

24. *The truck wash and concrete washout detail refers to a water tank/permanent truck wash and indicates that it shall have a temporary water service from the new water main. Should the truck wash be labeled as temporary? Also, if a temporary water service is proposed, this will need to be shown on the plans. Lastly, the location of the concrete washout should be indicated in this detail, or "concrete washout" should be removed from the title.*

This detail has been removed as it is unnecessary.

25. A detail should be provided for the proposed dumpster enclosure.

A detail has been provided on the sheet named L-101 Landscape Details.

26. On the landscaping plan, the quantity for item "CC" appears to be incorrect. Please review and revise if necessary.

Yes, this has been updated on L-100.

27. Please note that the project will need to comply with the landscaping requirements in section 3 of the Form Based Code, including screening density, width, and quantity requirements for parking lots. We would recommend providing a table demonstrating the required quantities and the provided quantities.

The landscape design does comply as shown on L-100.

ENGINEER'S REPORT COMMENTS

28. Section 2.0 references the sanitary sewer being within an easement to the Town of Canandaigua. This should likely be "Canandaigua Lake County Sewer District." Please review and revise if necessary.

This is an existing easement that will remain unchanged.

29. How was the required water domestic and fire demand determined? Calculations/supporting information regarding demand should be included. Also, the modeling shows the building service as being 6" whereas the plans show 4".

The service size will be 4". Domestic demand is calculated based on anticipated daily usage commensurate with the calculated sanitary flows. Fire demand is calculated based on sprinkler flow rates with a hydrant demand included as it is a dead-end system.

30. Storm sewer and culvert sizing calculations should be provided for review.

This has been added to the Engineer's Report as requested.

31. Manufacturer cut sheets should be provided for any building mounted lighting.

Product data has been provided.

SWPPP COMMENTS

32. As the project is located within an archeologically sensitive area, coordination with NYS SHPO will be required. A "no-impact" letter from SHPO will be required to be provided and included in the SWPPP prior to receiving SWPPP approval.

The no impact letter is included in the SWPPP – Appendix I.

33. *The project will be required to enter into a Stormwater Maintenance Agreement (SWMA) with the Town of Canandaigua. The Town's SWMA should be filled out and submitted to the Town Attorney for review and approval.*

Acknowledged. This will be provided prior to obtaining final signatures.

34. *The following comments pertain to the WQv/RRv calculations and worksheets:*

- a. *The bioretention area filter time should be 2 days. Also, the filter area provided is significantly less than the required filter area. If the bioretention area cannot be expanded to provide the full required filter area, then the WQv provided by the practice would be limited to "actual volume provided" minus the RRv provided.*

Acknowledged.

- b. *A plan should be provided identifying all trees being used for the Tree Planting/Tree Pits credit, and sufficient information should be provided to demonstrate that the trees included are eligible for the credit.*

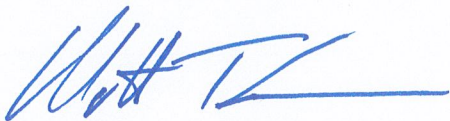
The final SWPPP will include this plan and figure.

- c. *The proposed filter strip areas are to be delineated on the plans and should include sufficient information to demonstrate compliance with the filter strip requirements.*

The filter strip sheet has been removed from the SWPPP.

Please do not hesitate to contact our office with any questions.

Respectfully submitted,



Matt Tomlinson, Partner
MARATHON ENGINEERING

cc:

Lance Brabant, CPESC, MRB Group