



FIRE HALL RD. AND PARKSIDE DR. TOWN OF CANANDAIGUA ONTARIO CO., NY JANUARY 2022

LEGEND

Existing	Proposed	
=====	-----	Property Line/R.O.W.
-----	-----	Centerline
● I.P.		Iron Pin
-----	-----	Easement
--- -778- ---		Ground Contour
○ U.P.		Utility Pole
--- UGE ---		Underground Electric
--- OHW ---		Overhead Wire
○ Hyd.		Hydrant
≡ WV		Water Valve
--- W ---		Water Main
▣ C.B.		Catch Basin
--- ST ---		Storm Sewer/Culvert
SAN MH		Sanitary Manhole
--- SAN ---		Sanitary Sewer
--- FM ---		Sanitary Force Main
--- G ---		Gas Main
--- P ---		High Pressure Petroleum Pipe

MAP AND SURVEY NOTES

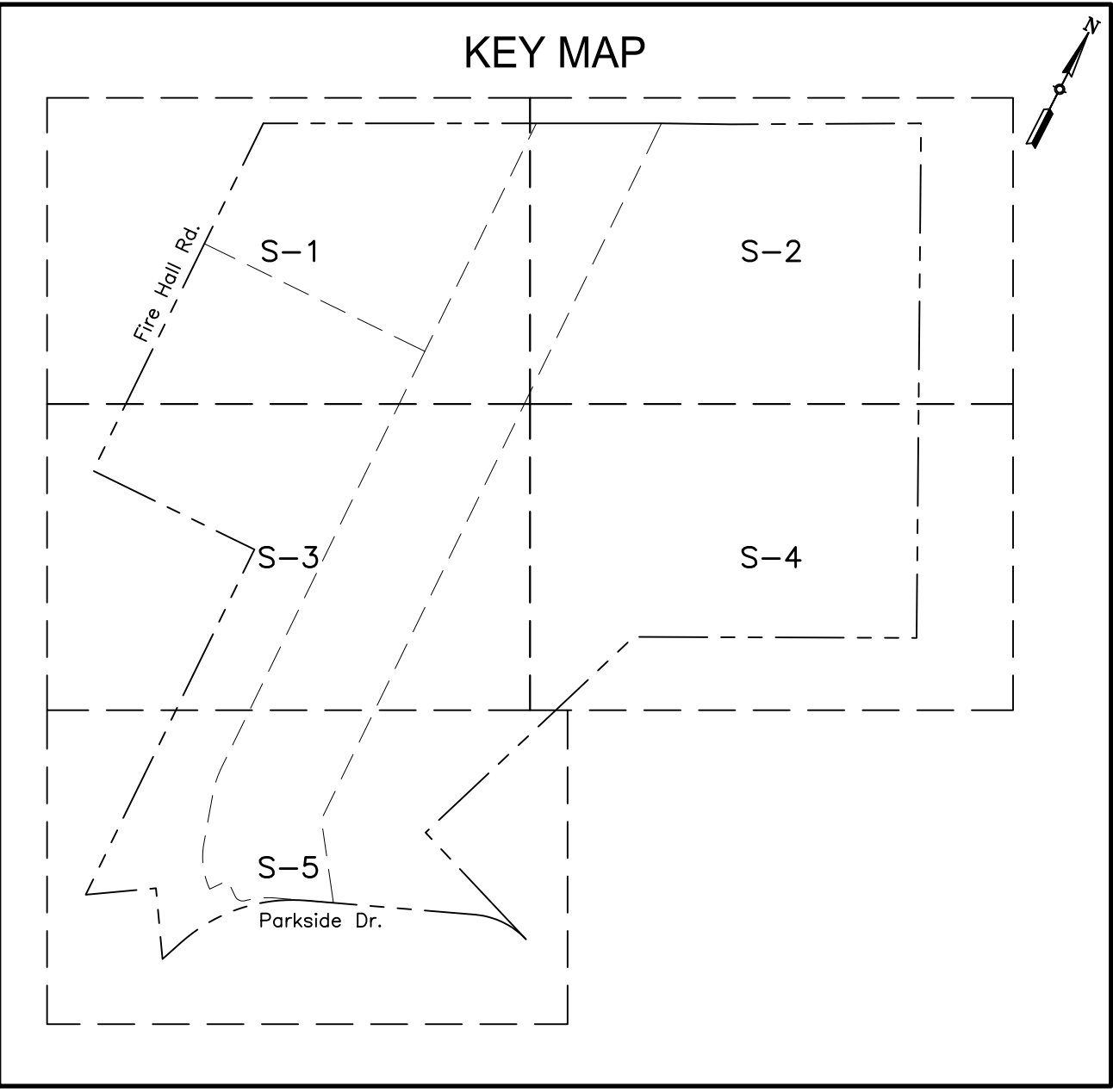
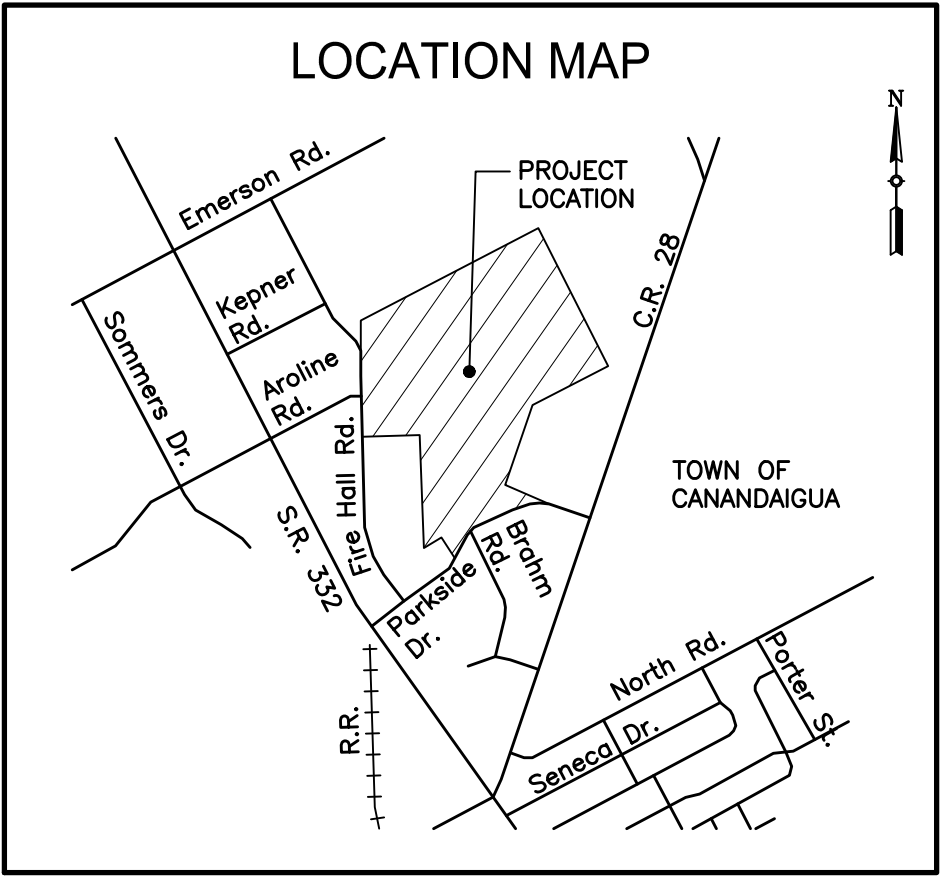
- These plans were prepared using a topographic survey map prepared by Freeland-Parrinello Land Surveyors entitled "Plan of Land of Thomas N. & Sandra C. Hansen, Lucille Syracuse Revocable Real Estate Trust, and One Canandaigua, LLC dated November 15, 2021. Elevation datum NAVD88 GEOID 18NGS. Horizontal datum NAD83 New York Central.

CANANDAIGUA RIGHT TO FARM NOTE

This property may be near a farm, as defined in the New York State Agriculture and Markets Law, § 301, Subsection 11. Sound farming practices may generate dust, odor, smoke, noise, and vibration.

GENERAL NOTES

- The plans show subsurface structures, above ground structures and/or utilities from field location and record mapping, exact location of which may vary from the locations indicated. In particular, the Contractor is warned that the exact or even approximate location of such pipelines, subsurface structures and/or utilities in the area may be different from that shown or may not be shown and it is his responsibility to proceed with great care in executing any work. Call Dig Safely New York, telephone number 811, 48 hours before you dig, drill or blast.
- This property is not located within a 100-year flood plain (Zone X per FEMA Flood Insurance Rate Map Community-Panel No. 360598 0005 C, effective date March 3, 1997).
- This property does not contain federal or state wetland areas or the buffer to wetland areas.
- The Contractor shall locate, mark, safeguard, and preserve all survey control monuments in the areas of construction.
- This property is located within the Canandaigua Central School District.
- The property lines and right-of-way lines shown on the plans are for information only, and no warranty is made as to their correctness.
- The Contractor shall maintain in service all existing sewers, culverts, ditches, manholes, and catch basins during construction.
- Construction Stakeout: The Contractor is responsible for all construction stakeout as shown on the plans.
- Traffic shall be maintained throughout construction. Ingress and egress to driveways, parking lots, and service roads shall be continuously maintained throughout the period of construction.
- The Contractor shall take care to prevent damage to existing utilities. Damaged utilities shall be immediately repaired by the Contractor at the Contractor's expense.
- All proposed utilities and appurtenances shall be constructed in compliance with the local municipalities' codes and regulations governing the installation of such utilities.
- The Contractor shall be responsible for obtaining and incurring the cost of all required permits, inspections, certificates, etc. and shall comply with all required permits.
- All work shall be done in strict compliance with all applicable National, State, and local codes, standards, ordinances, rules, and regulations.
- Miscellaneous work not specifically shown on the contract drawings such as patching, blocking, trimming, etc. shall be performed as required to make the work complete.
- It is the Contractor's responsibility to examine all plan sheets and coordinate work with all other contracts for the site.
- The Engineer shall be notified in writing of any conditions that vary from those shown on the plans. The Contractor's work shall not vary from the plans without the expressed approval of the Engineer.
- The Contractor shall restore lawns, driveways, culverts, signs, and other public or private property damaged or removed to at least as good a condition as before being disturbed as determined by the Engineer. Any damaged trees, shrubs, and/or hedges shall be replaced at the Contractor's expense.
- Unsuitable material shall be removed from the site and properly disposed.
- At the time of completion and acceptance of the work, all areas disturbed by the Contractor's operations shall be finished, graded, topsoiled, and seeded per the specifications.
- All improvements shall be in accordance with the most recent standards and specifications of the Town of Canandaigua.
- All site lighting shall be in accordance with the most recent standards and specifications of the Town of Canandaigua.
- Buildings shall comply with the New York State Uniform Fire Prevention and Building Code.
- The Contractor shall designate a member of his or her firm to be responsible to monitor erosion control, erosion control structures, tree protection, and preservation throughout construction.



INDEX OF DRAWINGS

SHEET NUMBER	DRAWING NUMBER	TITLE
1		COVER SHEET
2	G-1	GENERAL PLAN
3 to 7	S-1 to S-5	SITE/UTILITY PLAN
8	TS-1	TYPICAL ROAD SECTIONS

APPROVALS

Planning Board Chairperson	Date
Town Engineer	Date
Canandaigua-Farmington Water Superintendent	Date



THORNTON
ENGINEERING LLP
30 Assembly Drive, Suite 106
Mendon, New York 14506
Tel. 585-624-4810
Consultant Engineers

REVISIONS			
NO.	DESCRIPTION	DATE	BY

It is a violation of New York State Education Law Article 145 Section 7209 for any person, unless he or she is acting under the direction of a licensed professional engineer or land surveyor, to alter an item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his or her seal and the notation "altered by" followed by his or her signature and the date of such alteration, and a specific description of the alteration.

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DEVELOPER:



90 Airpark Drive
Suite 400
Rochester, NY 14624

PROJECT NAME:

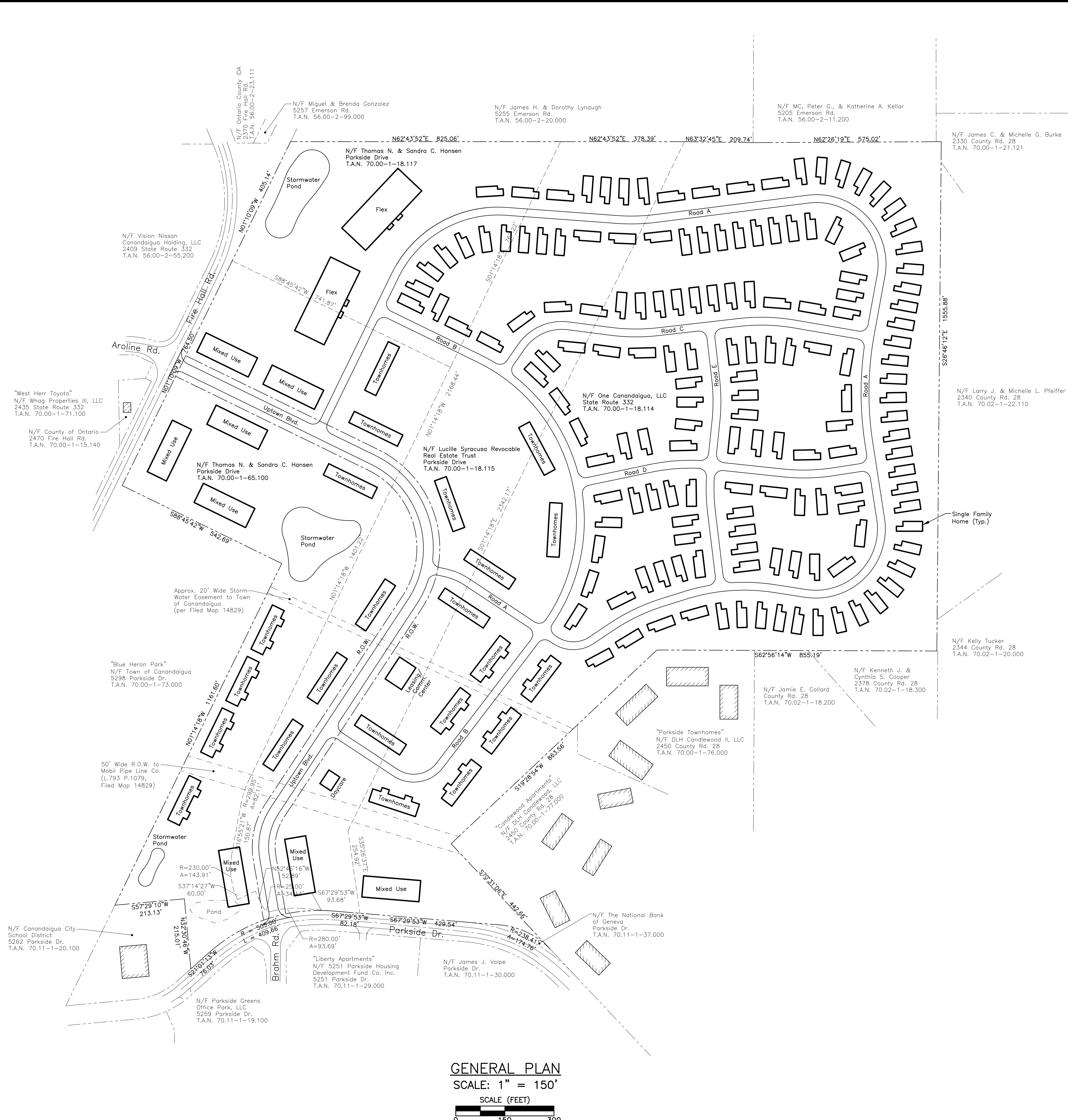


Fire Hall Rd. and Parkside Dr.
Town of Canandaigua
Ontario County, NY

DRAWING TITLE:

General Plan

FILE NAME: GENERALPLAN.DWG	DESIGNED BY: GFT
DRAWN BY: HKT	CHECKED BY: GFT
APPROVED BY: GFT	DATE: JANUARY 2022
SCALE: 1" = 150'	PROJECT NO.: 21-827
SHEET NO.: 2 OF 8	DRAWING NO.: G-1



GENERAL PLAN
SCALE: 1" = 150'
SCALE (FEET)
0 150 300

[illegible]

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90 Airpark Drive
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Rochester, NY 14624

PROJECT NAME:



Fire Hall Rd. and Parkside Dr.
Town of Canandaigua
Ontario County, NY

DRAWING TITLE:

Site Plan

FILE NAME: SITEPLAN.DWG	DESIGNED BY: GFT
DRAWN BY: HKT	CHECKED BY: GFT
APPROVED BY: GFT	DATE: JANUARY 2022
SCALE: 1" = 50'	PROJECT NO.: 21-827
SHEET NO.: <u>3</u> OF <u>8</u>	DRAWING NO.: S-1



REVISIONS

NO.	DESCRIPTION	DATE	BY

NOT APPROVED FOR CONSTRUCTION

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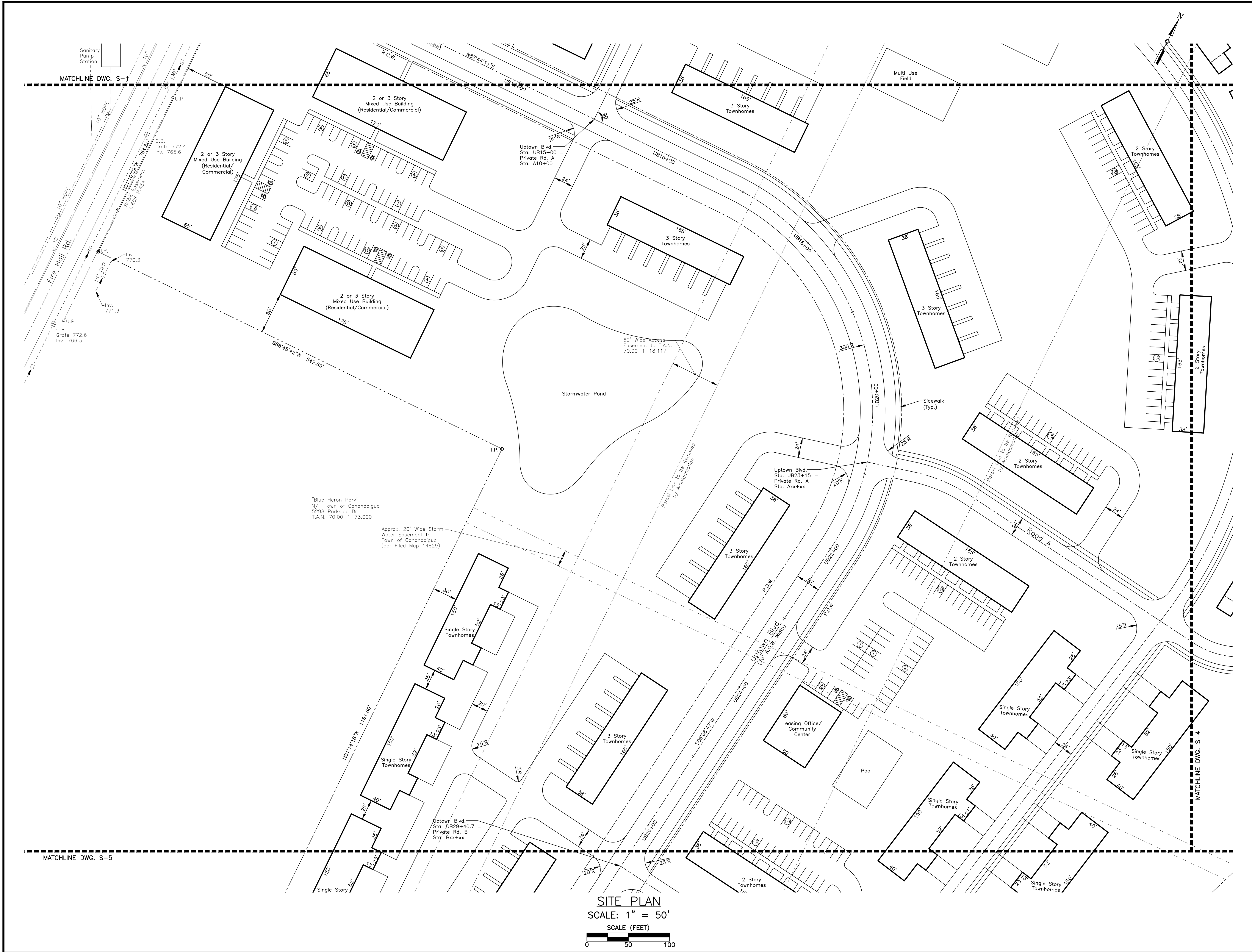
PROJECT NAME:

Fire Hall Rd. and Parkside Dr.
Town of Canandaigua
Ontario County, NY

DRAWING TITLE:

Site Plan

FILE NAME: SITEPLAN.DWG	DESIGNED BY: GFT
DRAWN BY: HKT	CHECKED BY: GFT
APPROVED BY: GFT	DATE: JANUARY 2022
SCALE: 1" = 50'	PROJECT NO.: 21-827
SHEET NO.: 4 OF 8	DRAWING NO.: S-2



REVISIONS			
NO.	DESCRIPTION	DATE	BY

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DEVELOPER:



90 Airpark Drive
Suite 400
Rochester, NY 14624

PROJECT NAME:



Fire Hall Rd. and Parkside Dr.
Town of Canandaigua
Ontario County, NY

DRAWING TITLE:

Site Plan

FILE NAME: SITEPLAN.DWG	DESIGNED BY: GFT
DRAWN BY: HKT	CHECKED BY: GFT
APPROVED BY: GFT	DATE: JANUARY 2022
SCALE: 1" = 50'	PROJECT NO.: 21-827
SHEET NO.: 5 OF 8	DRAWING NO.: S-3



REVISIONS			
NO.	DESCRIPTION	DATE	BY

NOT APPROVED FOR CONSTRUCTION

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N/F Larry J. & Michelle L. Pfeiffer
2340 County Rd. 28
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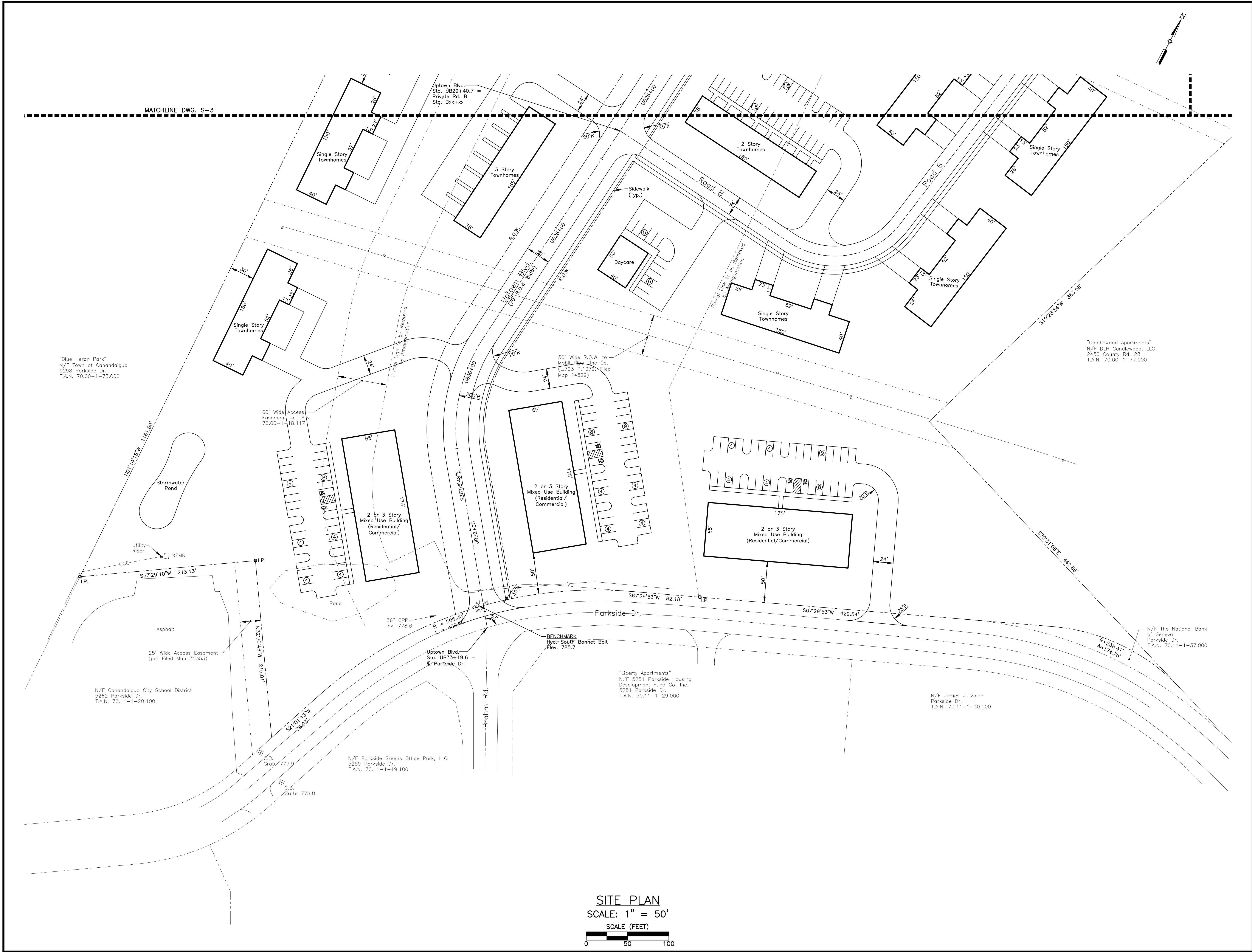
PROJECT NAME:

Fire Hall Rd. and Parkside Dr.
Town of Canandaigua
Ontario County, NY

DRAWING TITLE:

Site Plan

FILE NAME: SITEPLAN.DWG	DESIGNED BY: GFT
DRAWN BY: HKT	CHECKED BY: GFT
APPROVED BY: GFT	DATE: JANUARY 2022
SCALE: 1" = 50'	PROJECT NO.: 21-827
SHEET NO.: 6 OF 8	DRAWING NO.: S-4



REVISIONS			
NO.	DESCRIPTION	DATE	BY

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PROJECT NAME:

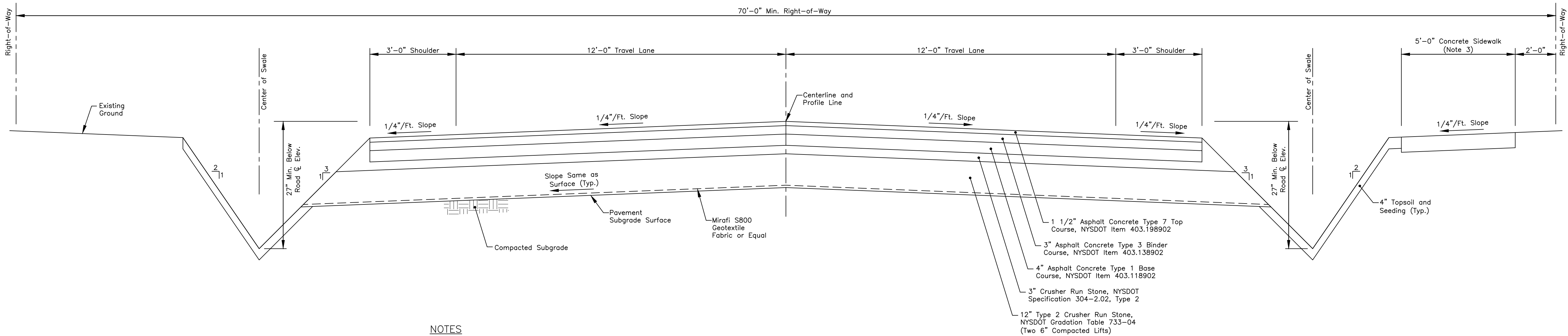


Fire Hall Rd. and Parkside Dr.
Town of Canandaigua
Ontario County, NY

DRAWING TITLE:

Site Plan

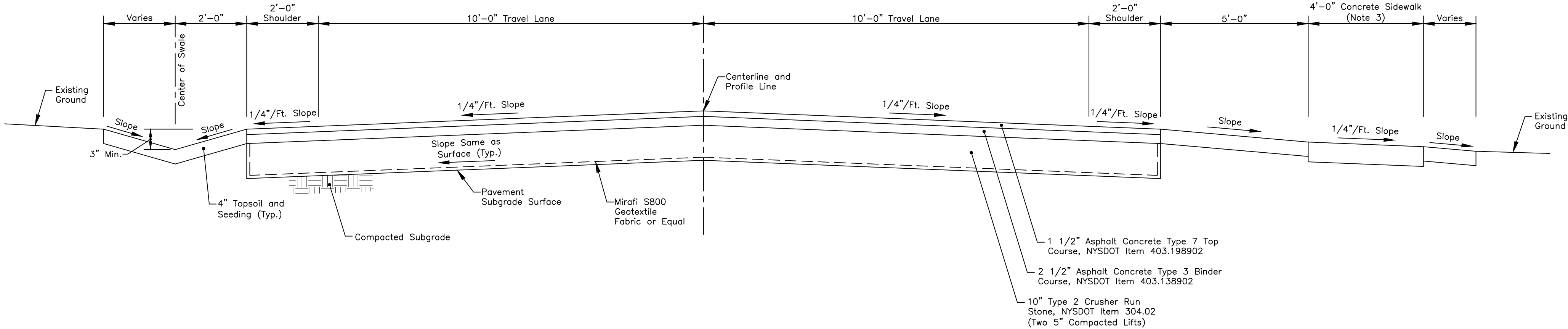
FILE NAME: SITEPLAN.DWG	DESIGNED BY: GFT
DRAWN BY: HKT	CHECKED BY: GFT
APPROVED BY: GFT	DATE: JANUARY 2022
SCALE: 1" = 50'	PROJECT NO.: 21-827
SHEET NO.: 7 OF 8	DRAWING NO.: S-5



NOTES

- Pavement subgrade areas shall be compacted to a depth of six inches and to a density of not less than 95% of the maximum density as determined by ASTM D-1557.
- Existing topsoil (6" minimum thickness) shall be removed from all proposed pavement areas. Areas below the pavement subgrade shall be filled with compacted granular subbase course.
- Refer to Drawings S-1 to S-5 for concrete sidewalk locations.

UPTOWN BOULEVARD TYPICAL SECTION
NOT TO SCALE



NOTES

- Pavement subgrade areas shall be compacted to a depth of six inches and to a density of not less than 95% of the maximum density as determined by ASTM D-1557.
- Existing topsoil (6" minimum thickness) shall be removed from all proposed pavement areas. Areas below the pavement subgrade shall be filled with compacted granular subbase course.
- Refer to Drawings S-1 to S-5 for concrete sidewalk locations.

PRIVATE ROAD TYPICAL SECTION
NOT TO SCALE

REVISIONS			
NO.	DESCRIPTION	DATE	BY

NOT APPROVED FOR CONSTRUCTION

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DEVELOPER:

COOK
PROPERTIES NY

90 Airpark Drive
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Rochester, NY 14624

PROJECT NAME:

UPTOWN LANDING

Fire Hall Rd. and Parkside Dr.
Town of Canandaigua
Ontario County, NY

DRAWING TITLE:	
Typical Road Sections	
FILE NAME: TYPSECTIONS.DWG	DESIGNED BY: GFT
DRAWN BY: HKT	CHECKED BY: GFT
APPROVED BY: GFT	DATE: JANUARY 2022
SCALE: NOT TO SCALE	PROJECT NO.: 21-827
SHEET NO.: 8 OF 8	DRAWING NO.: TS-1