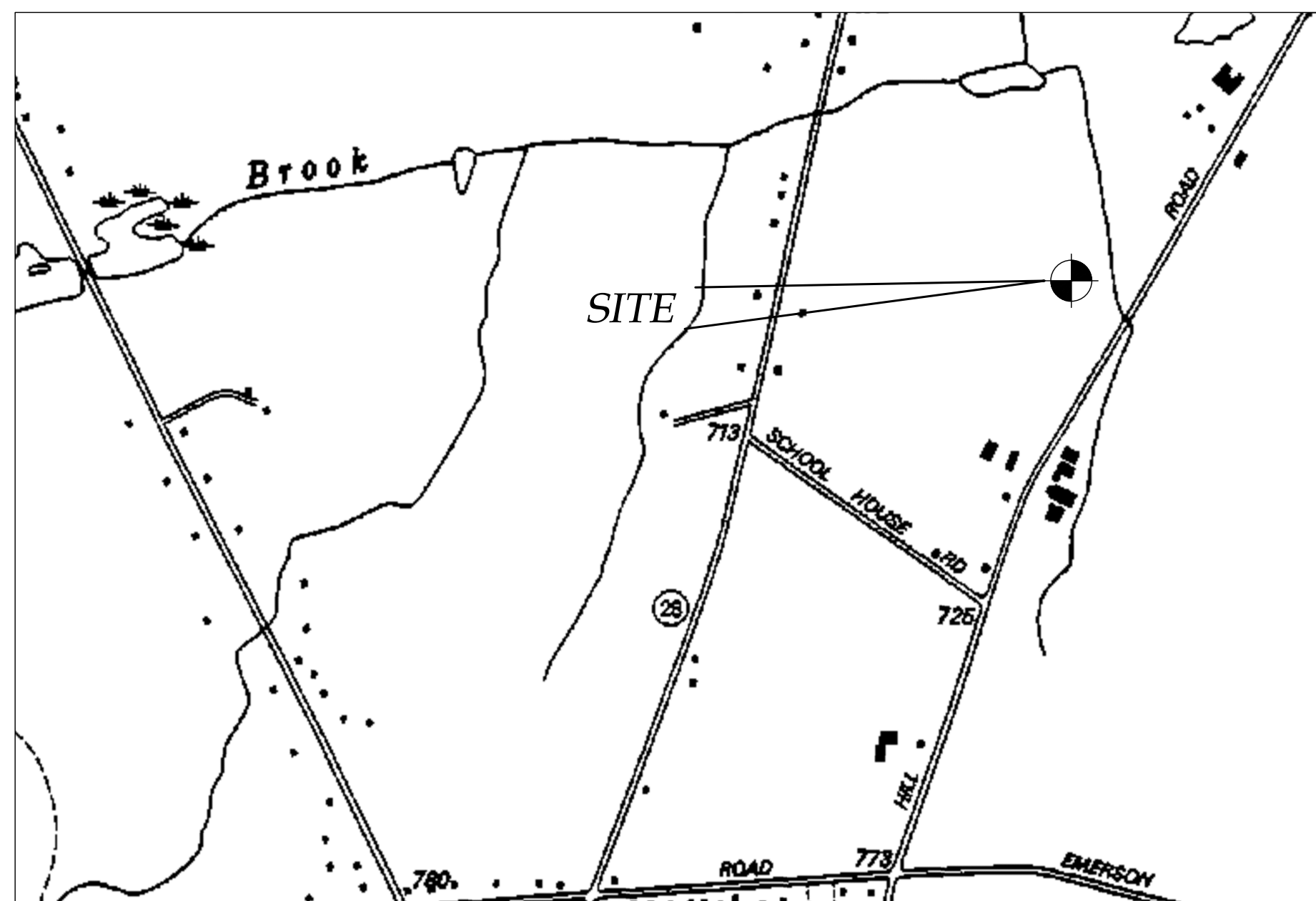
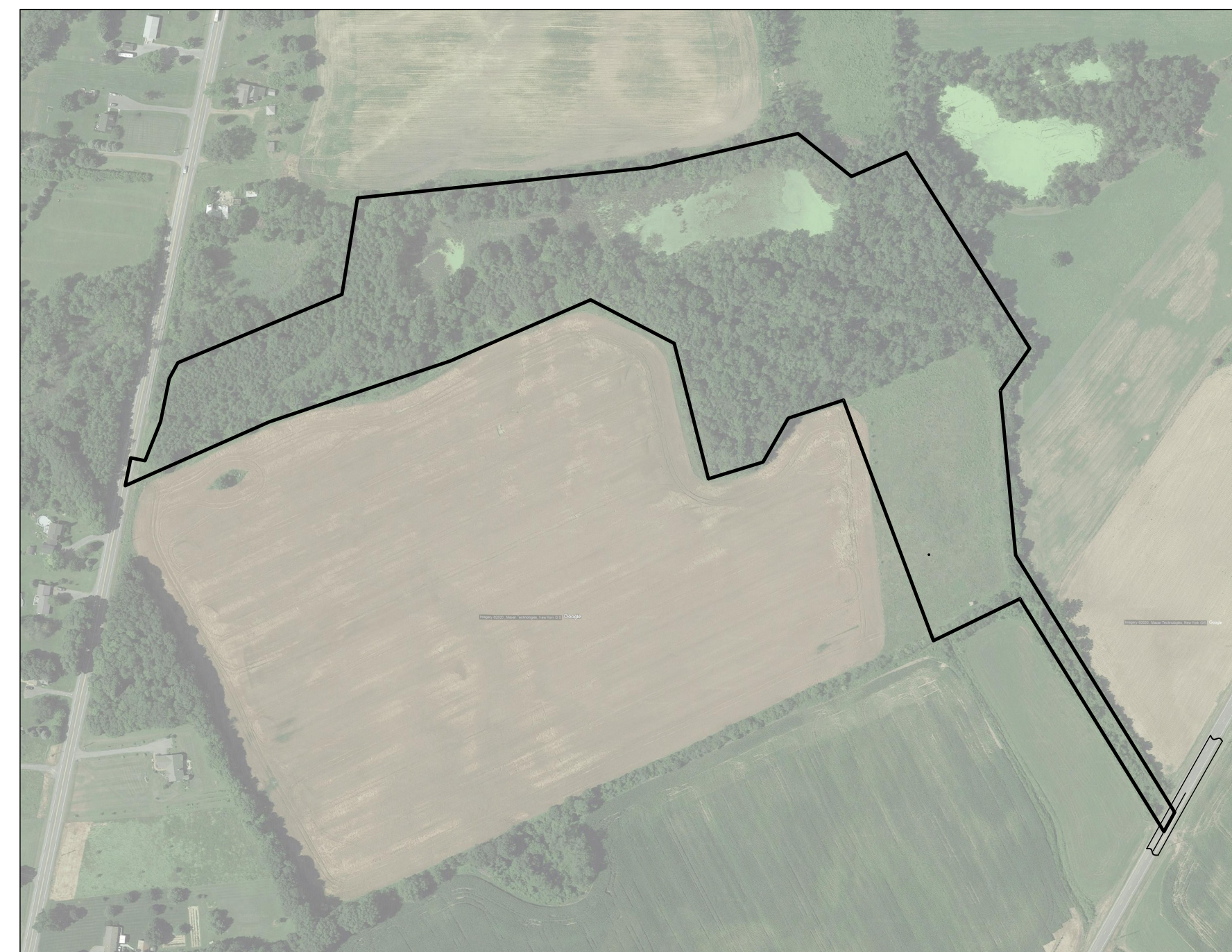


SITE PLAN PREPARED FOR:
DAVID ALTEMUS
NEW RESIDENCE
1900 SAND HILL ROAD
TOWN OF CANANDAIGUA
COUNTY OF ONTARIO
STATE OF NEW YORK

AUGUST 12, 2020



LOCATION MAP
NTS

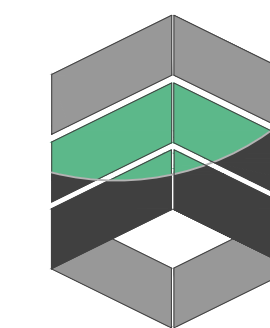


AERIAL MAP -- FOR REFERENCE ONLY
NTS



NOT FOR CONSTRUCTION

INDEX-
COVER
PLAT- EXISTING CONDITIONS/DEMOLITION PLAN
C100 - SITE PLAN
C500 - GENERAL DETAILS
C501- GENERAL DETAILS



MarksEngineering

MARKS ENGINEERING, P.C.
42 BEEMAN STREET
CANANDAIGUA, NY 14424
(585)905-0360
WWW.MARKSENGINEERING.COM

PROPERTY OWNER:
DAVID H. ALTEMUS
11 CARRIAGE LANE
AVON, NY 14414

PREPARED FOR:
DAVID ALTEMUS

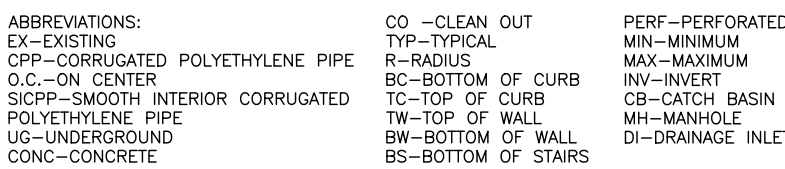
REVISIONS:

DAVID ALTEMUS
1900 SAND HILL ROAD
TOWN OF CANANDAIGUA
COUNTY OF ONTARIO
NEW YORK
JOB #20-136
08/12/2020



1"=200'

1. MAP NO.: 34808
2. DEED: L1364 P.260
3. VERTICAL DATUM: NAVD 88 GEOID 12B
4. HORIZONTAL DATUM: NAD83 NEW YORK CENTRAL
5. ZONING: AR-2 - AGRICULTURAL RURAL RESIDENTIAL
6. PARCEL IS LOCATED IN ZONE X FLOOD ZONE PER FEMA
7. MAP 360598 0015C, DATED MARCH 3, 1997


$$1'' = 30'$$

4 2 BEEMAN ST
CANANDAIGUA, NY 14424
www.markseengineering.com
Phone 585-905-0360
Fax: 585-485-6205
bmarks@markseengineering.com



STAMP

[illegible]

SITE PLANS PREPARED FOR:

DAVID ALTEMUS
NEW RESIDENCE

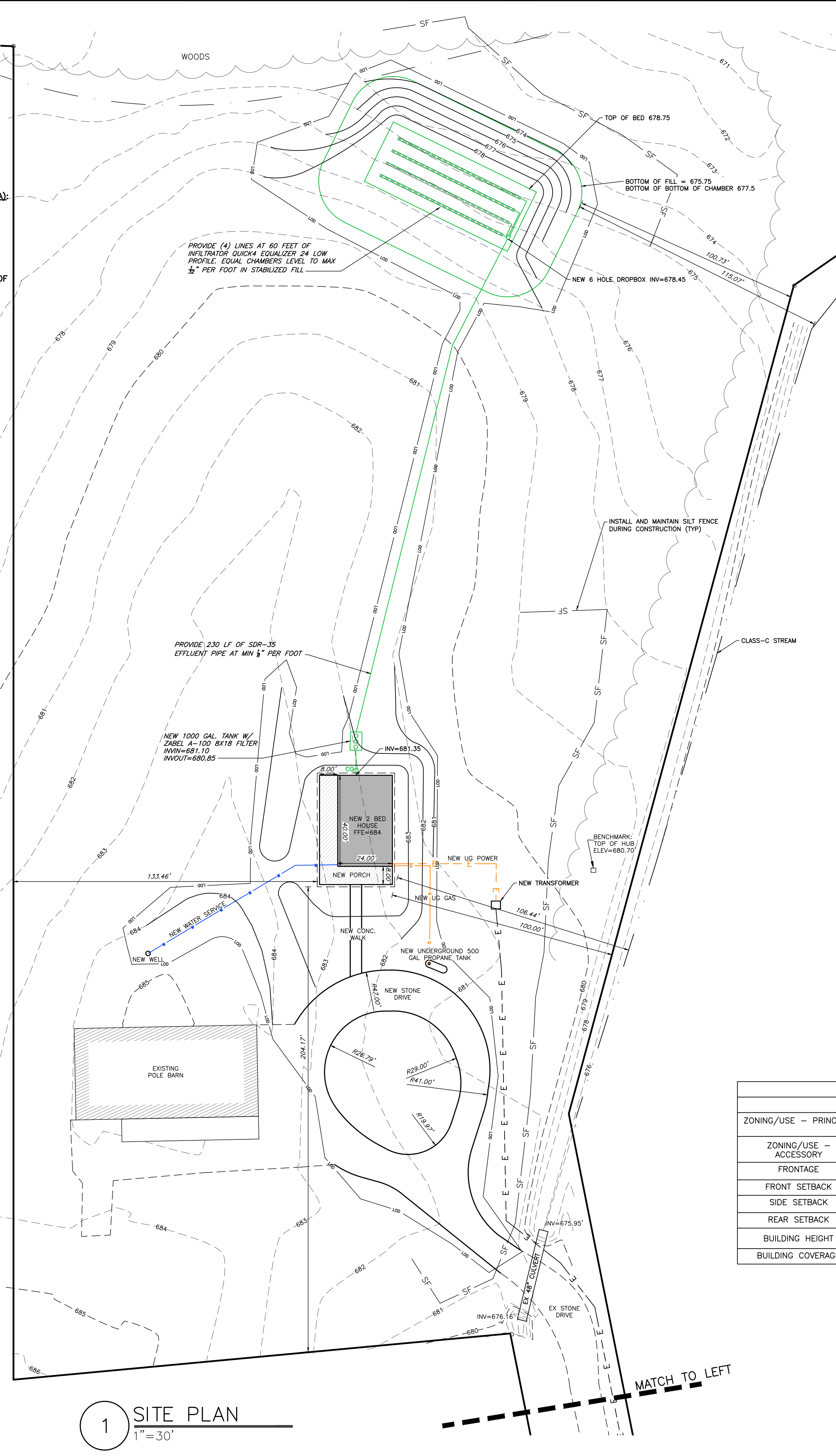
*SHOWING LAND IN:
1900 SAND HILL ROAD*

COUNTY OF ONTARIO

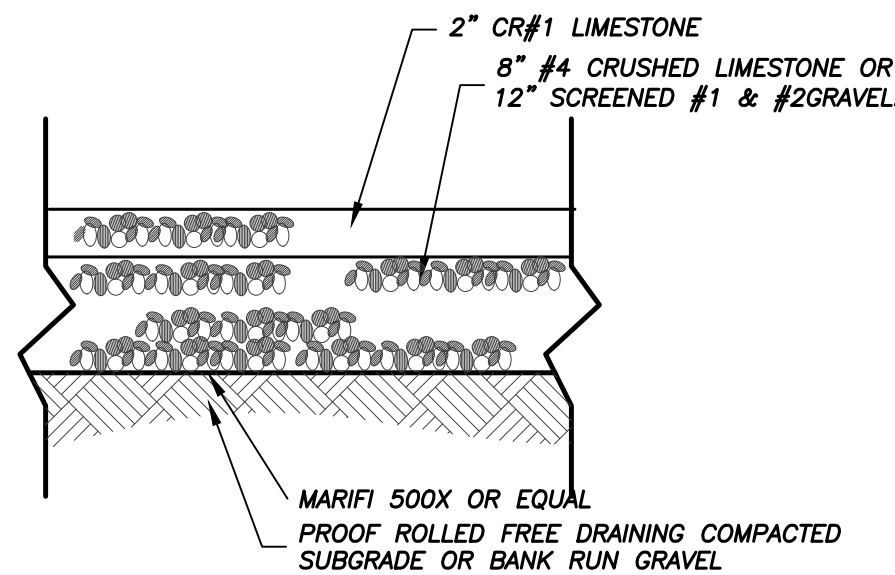
STATE OF NEW YORK

DRAWING TITLE: <i>SUBDIVISION PLAN</i>	
<i>DRAWN BY:</i>	<i>KRB</i>
<i>DESIGNED BY:</i>	<i>BAM</i>
<i>CHECKED BY:</i>	<i>BAM</i>
<i>SCALE:</i>	<i>AS NOTED</i>
<i>JOB NO.:</i>	<i>20-136</i>
<i>DATE:</i>	<i>08/12/2020</i>
<i>TAX MAP#:</i>	<i>57.00-1-3.121</i>

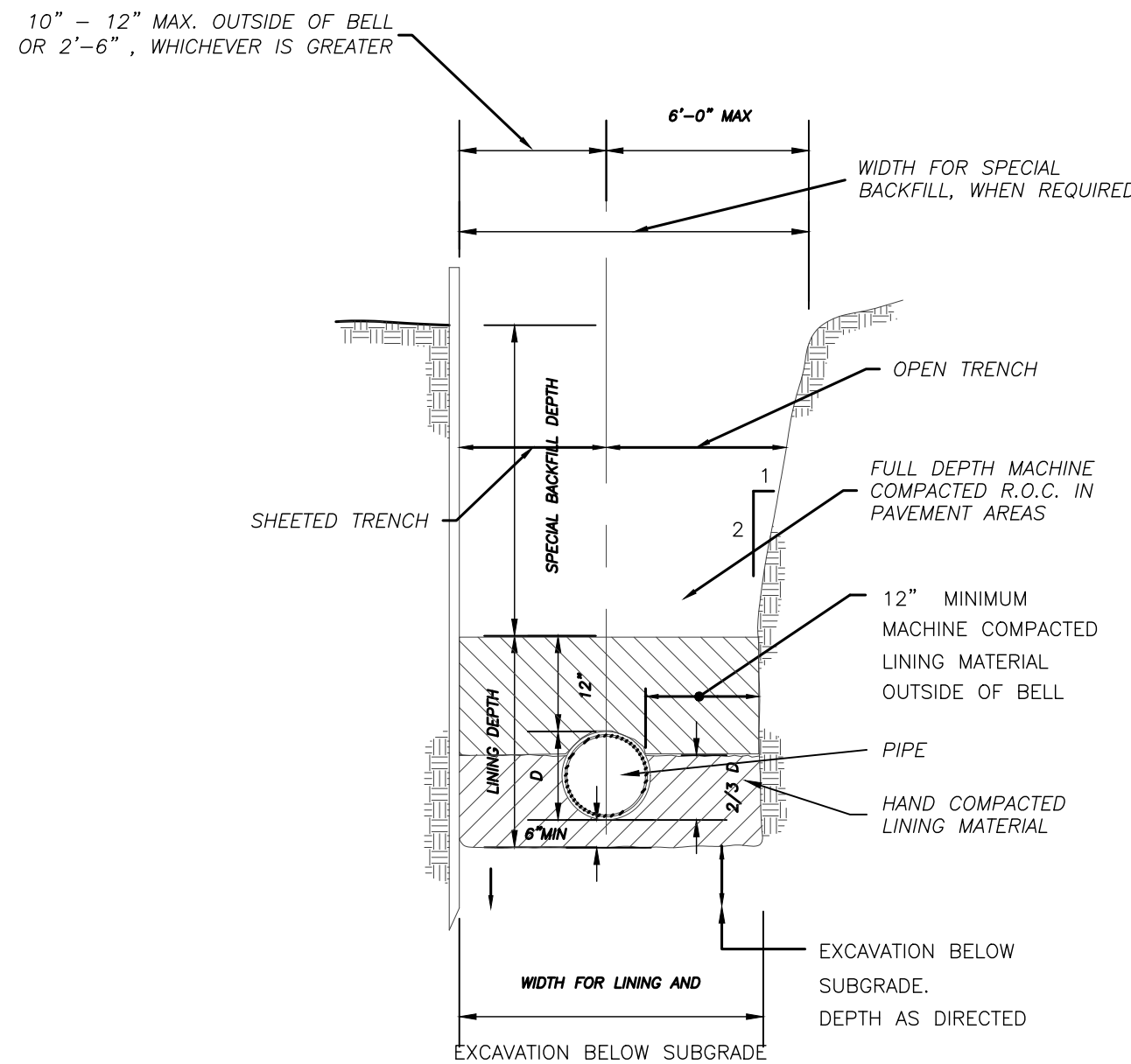
EX100



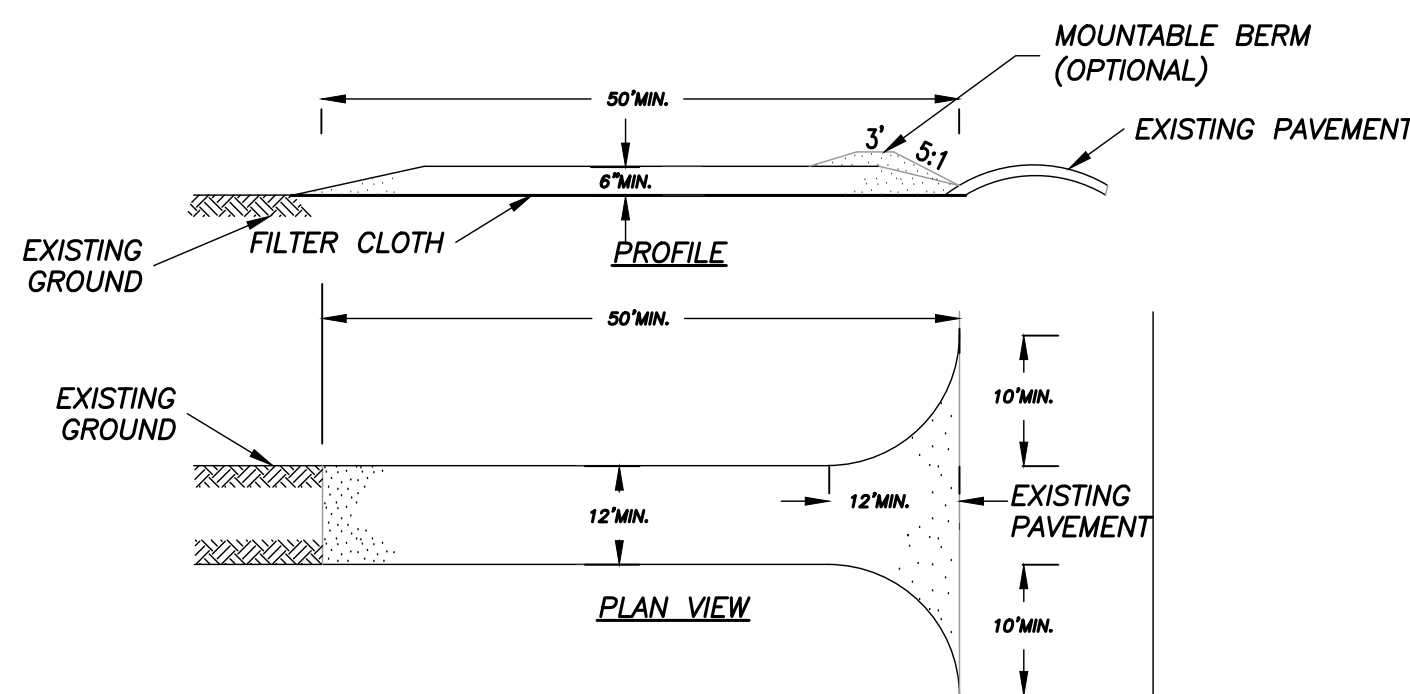
TOWN ENGINEER _____ DATE _____



1 TYPICAL GRAVEL DRIVE SECTION
NTS



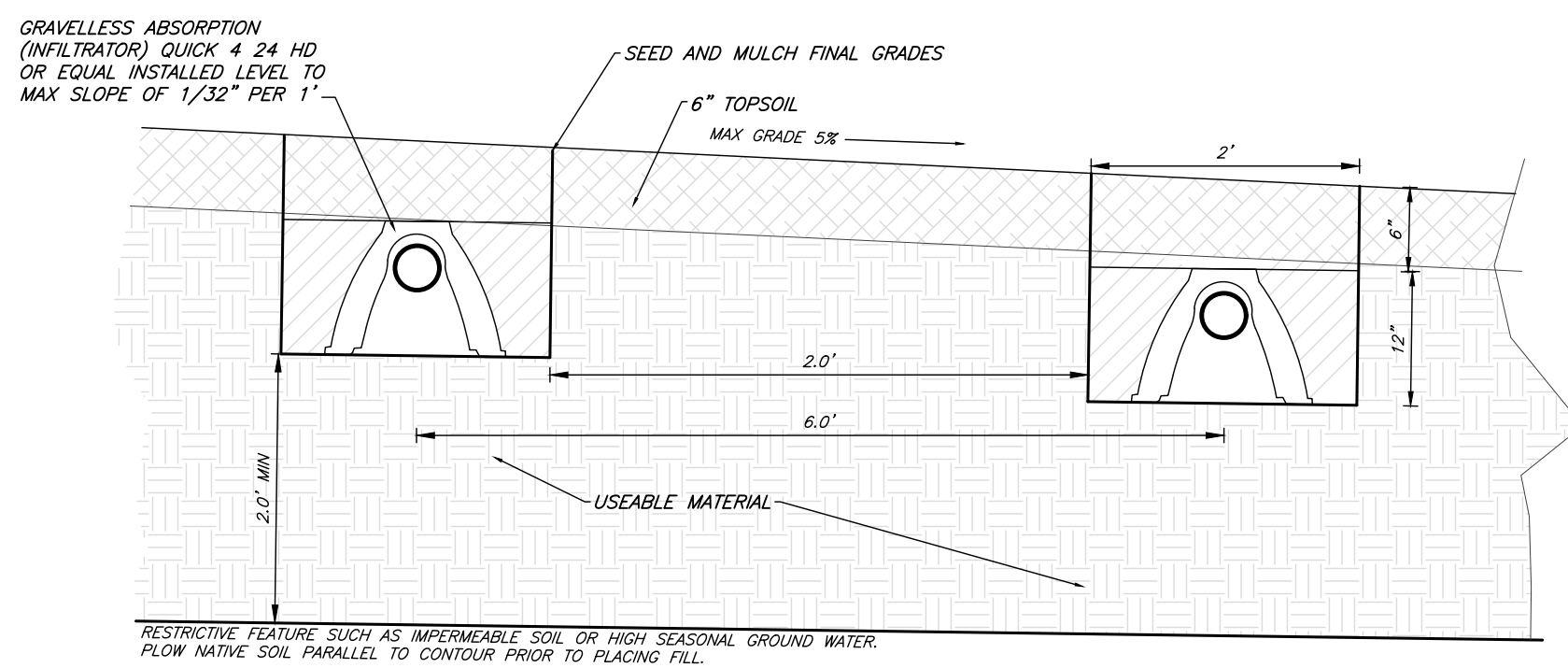
3 TYPICAL UTILITY TRENCH
NTS



CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE GARAGE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

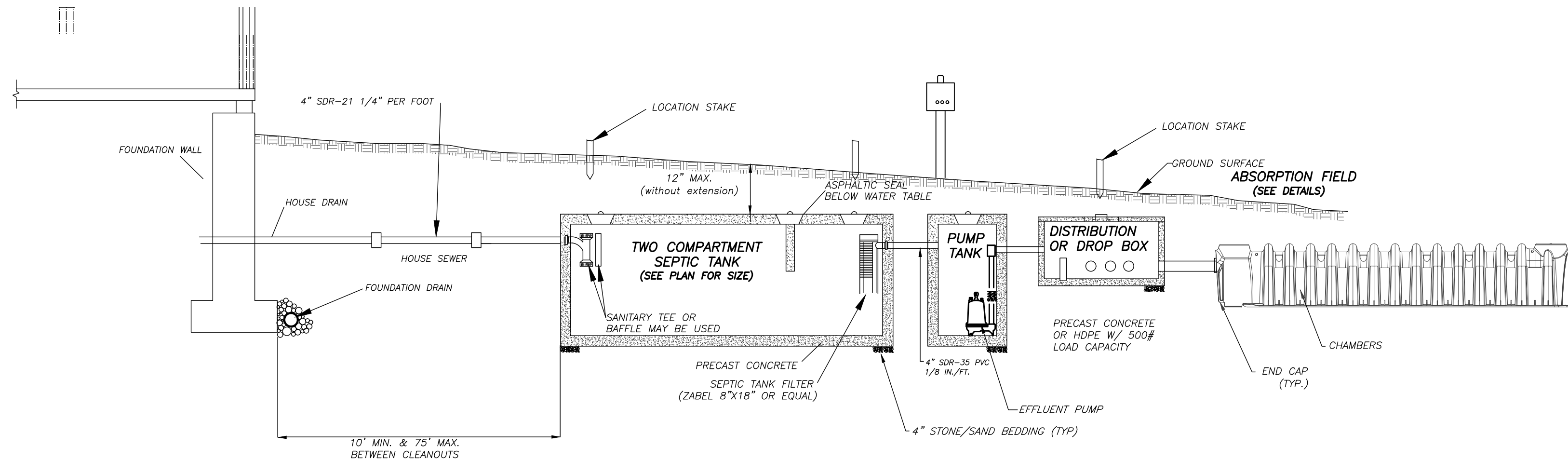
6 STABILIZED CONSTRUCTION ENTRANCE
NTS



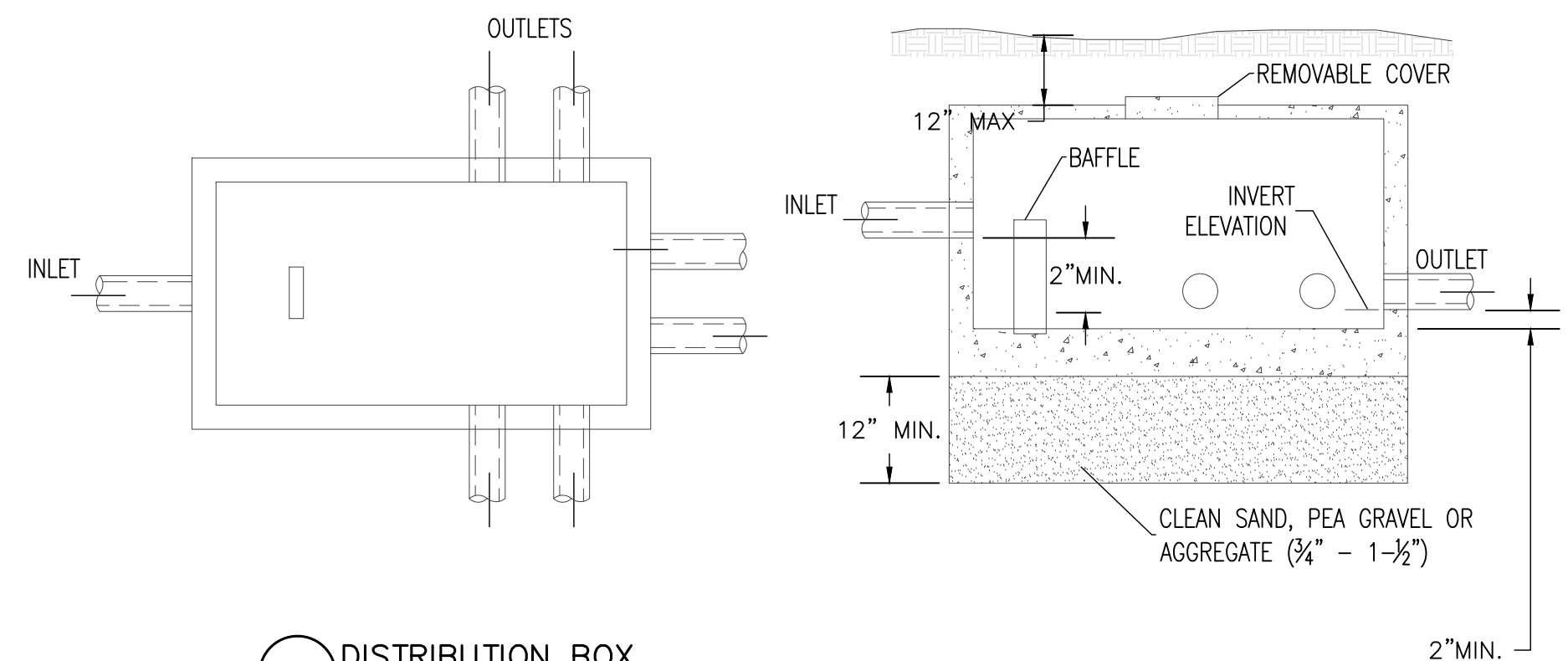
4 TYPICAL ABSORPTION TRENCH DETAIL
NTS

EROSION AND SEDIMENT CONTROL NOTES:

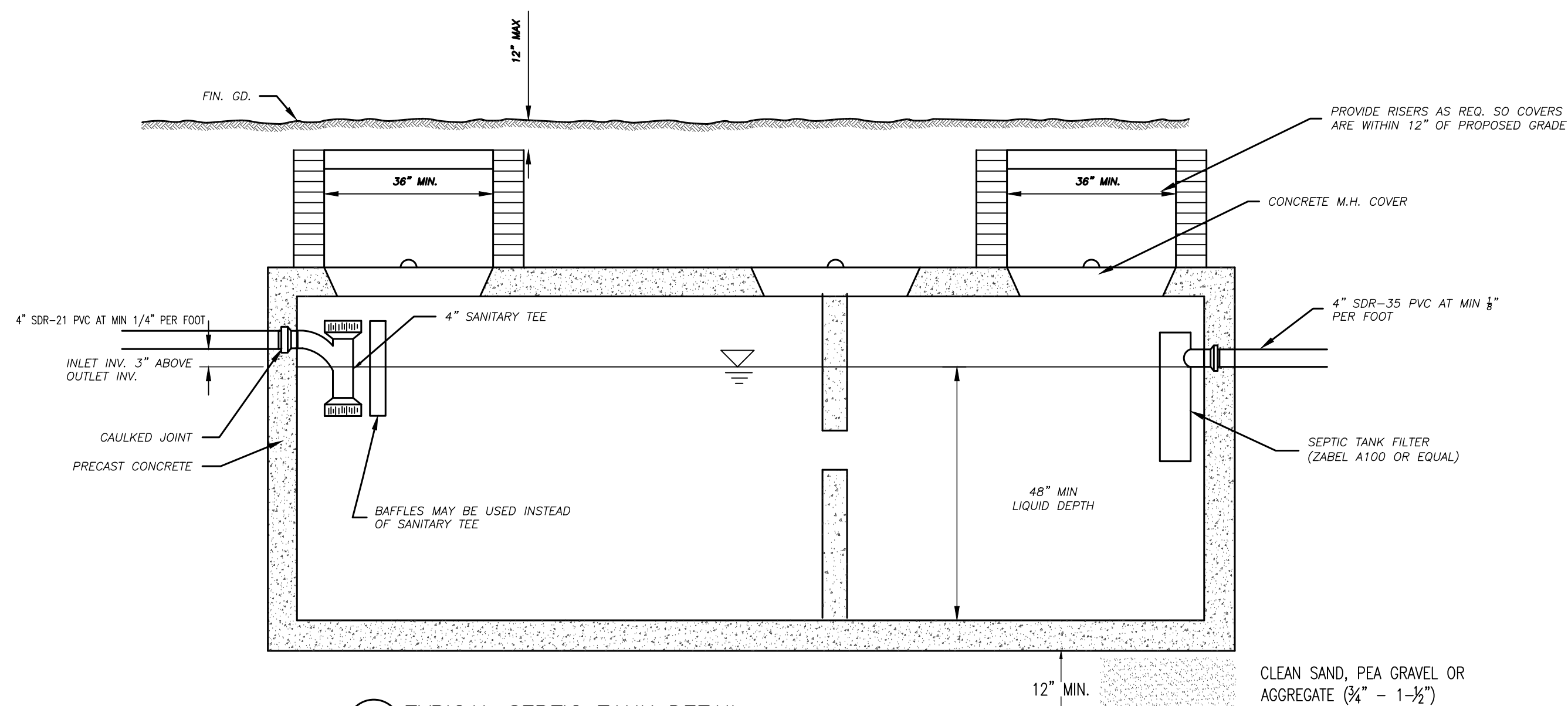
- THE CONTRACTOR IS RESPONSIBLE FOR THE CONTROL OF EROSION AND SEDIMENTATION DURING CONSTRUCTION. SILT FENCE SHALL BE INSTALLED AND MAINTAINED AS NEEDED.
- SOIL DISTURBANCES SHALL BE STABILIZED IMMEDIATELY. DISTURBED SOIL THAT WILL REMAIN LONGER THAN 14 DAYS SHALL BE TEMPORARILY STABILIZED WITHIN 7 DAYS. SOIL SHALL BE STABILIZED WITH NORTHERN GRASS SEED MIXTURE OR APPROPRIATE SEED MIXTURE FOR CONDITIONS. GRASS SEED SHALL BE INSTALLED PER MANUFACTURES SPECIFICATIONS. MULCH STRAW APPLIED AT A RATE OF 2 BALES / 1000 SQFT OR SEED MIXTURE TO PROTECT SITE UNTIL SEED GERMINATES. HYDRO-SEED MAY BE INSTALLED AS AN ALTERNATE.
- CONTRACTOR SHALL INSPECT THE SITE DAILY FOR SIGNS OF EROSION. IF ANY EROSION OR SEDIMENTATION OCCUR CONTRACTOR SHALL IMMEDIATELY PROVIDE PROPER CONTROLS TO STABILIZE THE SITE. ENGINEER WILL RECOMMEND CONTROLS IF REQUIRED.
- SLOPE GREATER THAN 4 ON 1 SHALL BE STABILIZED WITH JUTE FABRIC INSTALLED AS PER MANUFACTURES SPECIFICATIONS AS REQUIRED.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENTATION CONTROLS.
- INSTALL AND MAINTAIN TEMPORARY DIVERSION SWALES AS NEEDED TO CONTROL RUNOFF DURING CONSTRUCTION.
- THE SITE SHALL BE COMPLETELY STABILIZED FOLLOWING CONSTRUCTION ACTIVITIES AND ALL TEMPORARY EROSION CONTROL DEVICES SHALL BE REMOVED AND DISPOSED OF PROPERLY.



2 TYPICAL BLDG/SEPTIC SECTION
NTS



5 DISTRIBUTION BOX
NTS



7 TYPICAL SEPTIC TANK DETAIL
NTS

MarksEngineering

47 BEEBMAN ST
CANANDAIGUA, NY 14424
Phone: 585-905-0360
Fax: 585-485-6205
www.marksengineering.com bmarks@marksengineering.com

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STATE OF NEW YORK

REVISIONS AND APPROVALS

NO.	DATE	DESCRIPTION OF REVISION OR APPROVAL	BY

COUNTY OF ONTARIO

SITE PLANS PREPARED FOR:

DAVID ALTEMUS
NEW RESIDENCE
SHOWING LAND IN:
1900 SAND HILL ROAD
TOWN OF CANANDAIGUA

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DETAILS

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C500