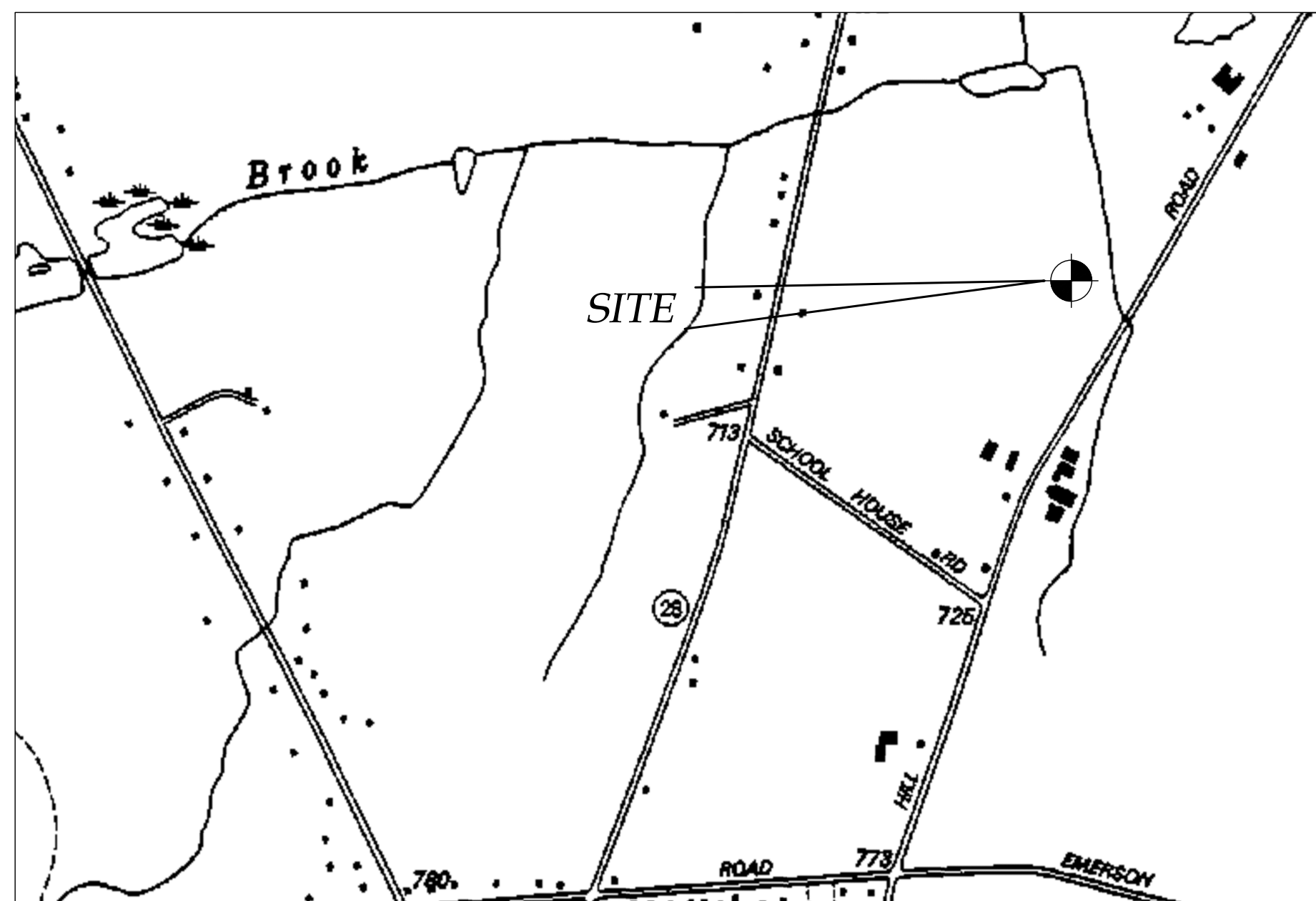
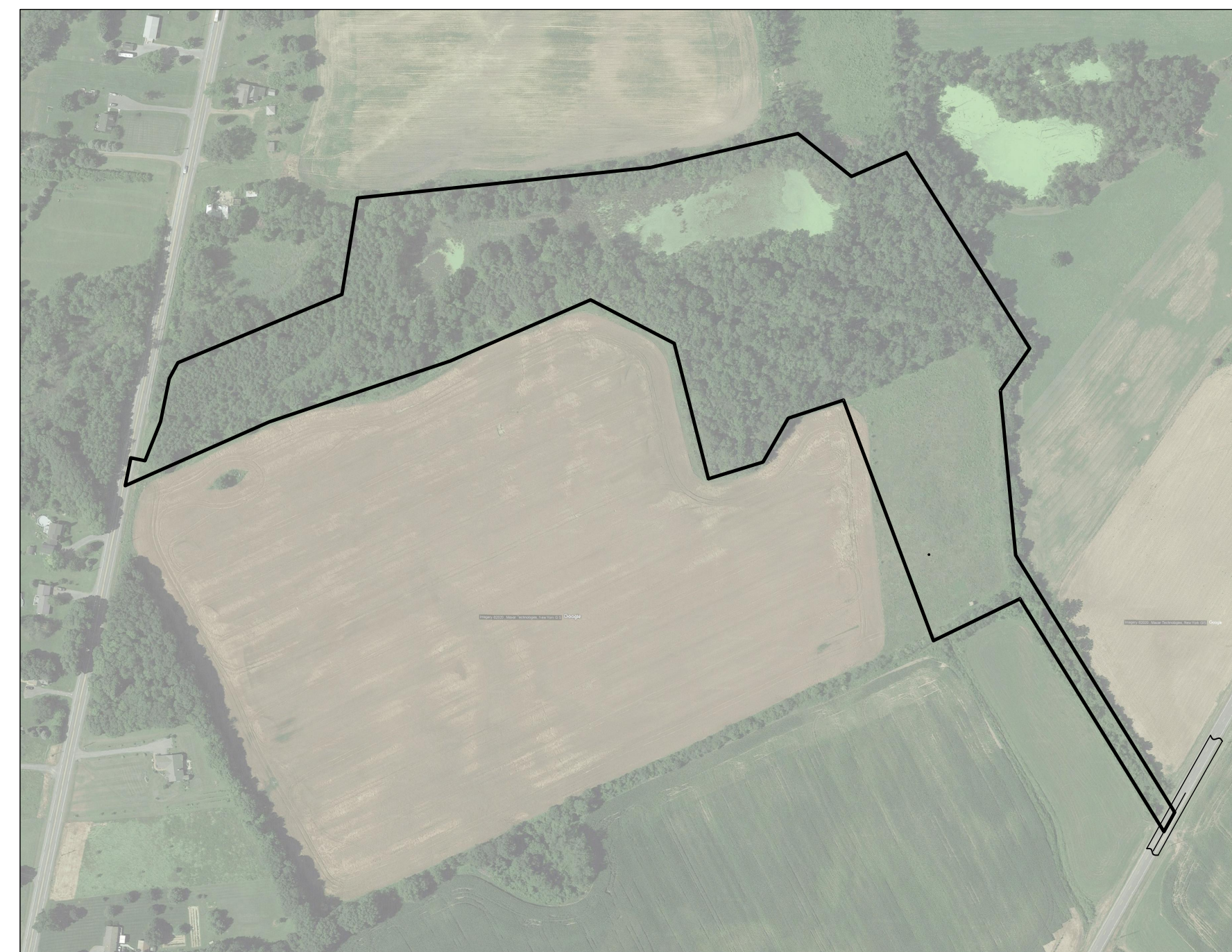


*SITE PLAN PREPARED FOR:*  
***DAVID ALTEMUS***  
***NEW RESIDENCE***  
*1900 SAND HILL ROAD*  
*TOWN OF CANANDAIGUA*  
*COUNTY OF ONTARIO*  
*STATE OF NEW YORK*  
  
*AUGUST 18, 2020*



LOCATION MAP  
NTS

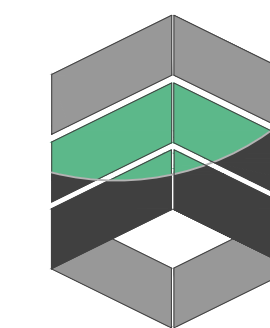


AERIAL MAP -- FOR REFERENCE ONLY  
NTS



NOT FOR CONSTRUCTION

*INDEX-*  
*COVER*  
*PLAT- EXISTING CONDITIONS/DEMOLITION PLAN*  
*C100 - SITE PLAN*  
*C500 - GENERAL DETAILS*  
*C501- GENERAL DETAILS*



**MarksEngineering**

*MARKS ENGINEERING, P.C.*  
*42 BEEMAN STREET*  
*CANANDAIGUA, NY 14424*  
*(585)905-0360*  
*WWW.MARKSENGINEERING.COM*

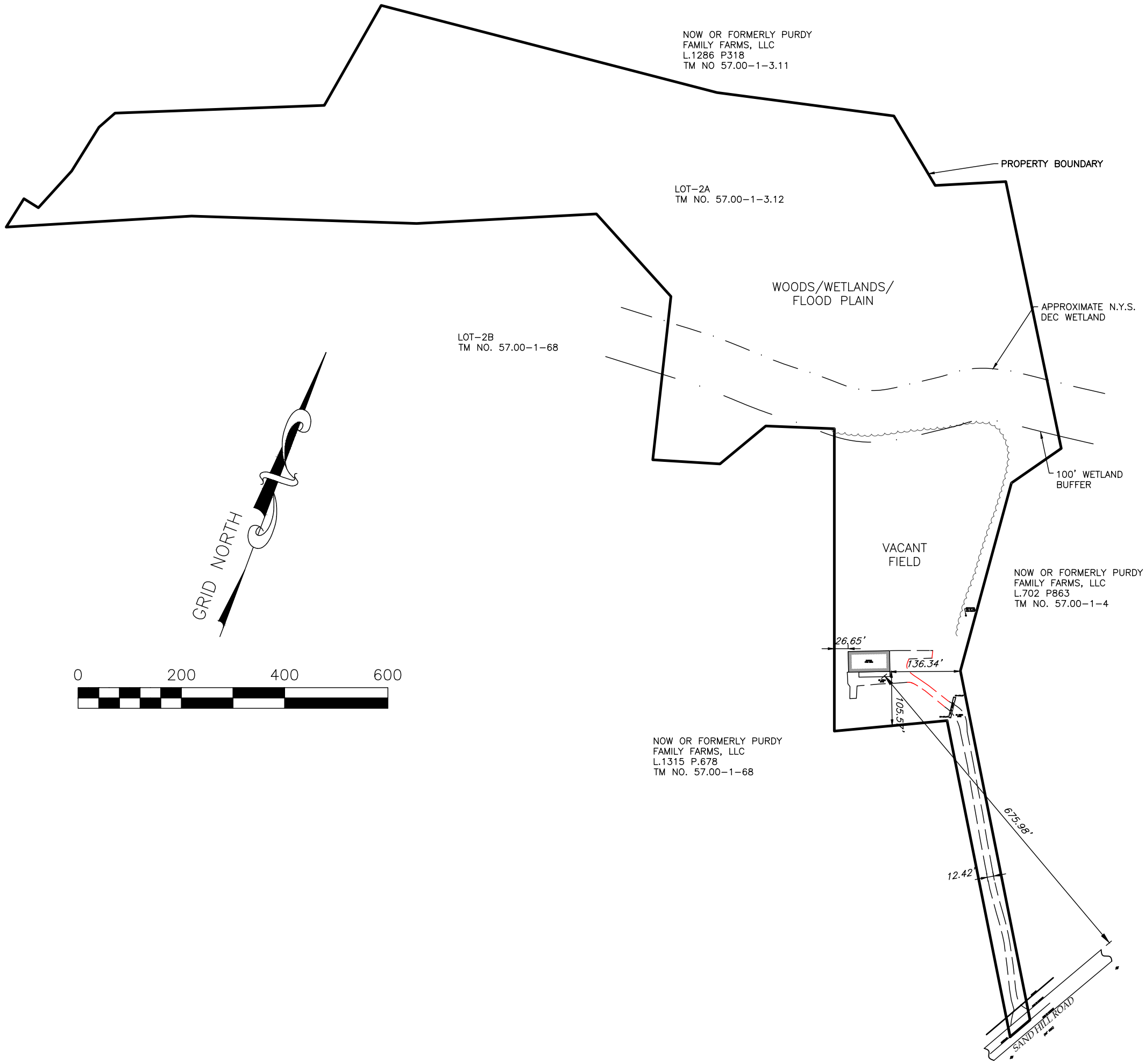
*PROPERTY OWNER:*  
*DAVID H. ALTEMUS*  
*11 CARRIAGE LANE*  
*AVON, NY 14414*

*PREPARED FOR:*  
*DAVID ALTEMUS*

*REVISIONS:*

*DAVID ALTEMUS*  
*1900 SAND HILL ROAD*  
*TOWN OF CANANDAIGUA*  
*COUNTY OF ONTARIO*  
*NEW YORK*  
*JOB #20-136*  
*08/18/2020*





2 OVERALL PROPERTY  
1"=200'

REFERENCES & NOTES

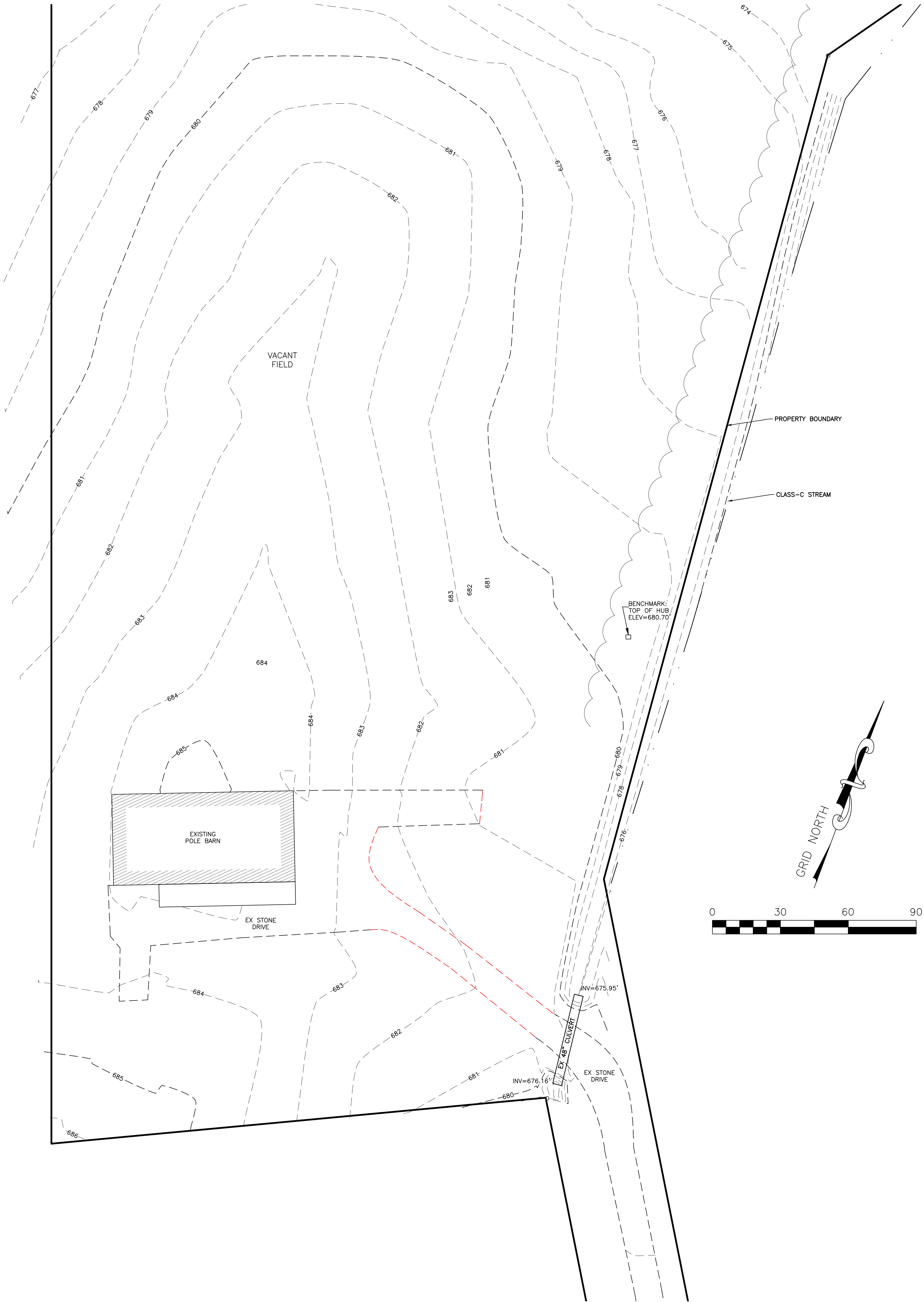
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  2. DEED: L.1364 P.260
  4. VERTICAL DATUM: NAVD 88 GEOID 12B
  5. HORIZONTAL DATUM: NAD83 NEW YORK CENTRAL
  6. ZONING: AR-2 - AGRICULTURAL RURAL RESIDENTIAL
  7. PARCEL IS LOCATED IN ZONE X FLOOD ZONE PER FEMA
- MAP 360598 001SC, DATED MARCH 3, 1997

**LEGEND**

|                          |          |          |               |
|--------------------------|----------|----------|---------------|
| ○ Iron pin or pipe found | EXISTING | PROPOSED | Utility Lines |
| ⊙ Benchmark              | —        | —        | R.O.W. line   |
| ⊙ Utility pole           | —        | —        | Property line |
| ⊙ Hydrant                | —        | —        | Easement line |
| ⊙ Light pole             | —        | —        | Centerline    |
| PERC TEST                | —        | —        | Drainage      |
| DEEP HOLE                | —        | —        | Fence Line    |
|                          | —        | —        | Contour Line  |

ABBREVIATIONS:

|  |                       |                     |
|--|-----------------------|---------------------|
| EX-EXISTING  | CO - CLEAN OUT        | PERF - PERFORATED   |
| CPP - CORRUGATED POLYETHYLENE PIPE                   | TR - TYPICAL          | MIN - MINIMUM       |
| O.C. - ON CENTER                                     | R - RADIUS            | MAX - MAXIMUM       |
| SICPP - SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE | BC - BOTTOM OF CURB   | IN - INVERT         |
| UC - UNDERGROUND                                     | TC - TOP OF CURB      | CB - CATCH BASIN    |
| CONC - CONCRETE                                      | TW - TOP OF WALL      | MH - MANHOLE        |
|  | BW - BOTTOM OF WALL   | DI - DRAINAGE INLET |
|  | BS - BOTTOM OF STAIRS |                     |



1 EXISTING CONDITIONS/DEMO PLAN  
1"=30'

NOT FOR CONSTRUCTION

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STATE OF NEW YORK  
SEAL OF THE STATE ENGINEER  
DAVID ALTEMUS  
083102  
REGISTERED PROFESSIONAL ENGINEER

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STAMP

REVISIONS AND APPROVALS

| NO. | DATE | DESCRIPTION OF REVISION OR APPROVAL | BY |
|-----|------|-------------------------------------|----|
|     |      |                                     |    |
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|     |      |                                     |    |
|     |      |                                     |    |

SITE PLANS PREPARED FOR:

**DAVID ALTEMUS**  
**NEW RESIDENCE**  
SHOWING LAND IN:  
1900 SAND HILL ROAD  
TOWN OF CANANDAIGUA

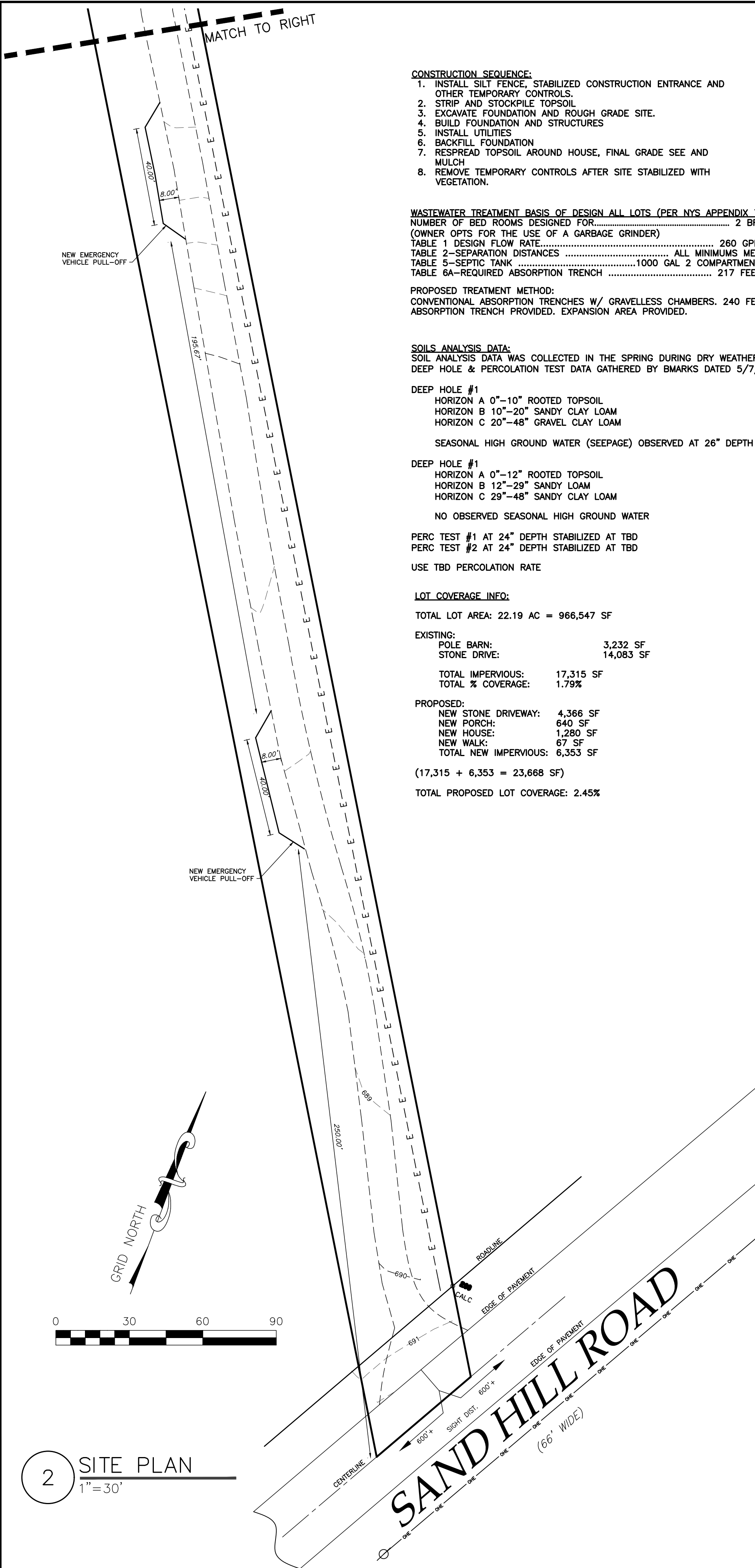
STATE OF NEW YORK  
COUNTY OF ONTARIO

DRAWING TITLE:  
**SUBDIVISION PLAN**

|              |               |
|--------------|---------------|
| DRAWN BY:    | KRB           |
| DESIGNED BY: | BAM           |
| CHECKED BY:  | BAM           |
| SCALE:       | AS NOTED      |
| JOB NO.:     | 20-136        |
| DATE:        | 08/18/2020    |
| TAX MAP#:    | 57.00-1-3.121 |

**EX100**





**CONSTRUCTION SEQUENCE:**  
1. INSTALL SILT FENCE, STABILIZED CONSTRUCTION ENTRANCE AND OTHER TEMPORARY CONTROLS.  
2. STRIP AND STOCKPILE TOPSOIL.  
3. EXCAVATE FOUNDATION AND ROUGH GRADE SITE.  
4. BUILD FOUNDATION AND STRUCTURES  
5. INSTALL UTILITIES  
6. BACKFILL FOUNDATION  
7. RESPREAD TOPSOIL AROUND HOUSE, FINAL GRADE SEE AND MULCH  
8. REMOVE TEMPORARY CONTROLS AFTER SITE STABILIZED WITH VEGETATION.

**WASTEWATER TREATMENT BASIS OF DESIGN ALL LOTS (PER NYS APPENDIX 75-A):**  
NUMBER OF BED ROOMS DESIGNED FOR..... 2 BR  
(OWNER OPTS FOR THE USE OF A GARBAGE GRINDER)  
TABLE 1 DESIGN FLOW RATE..... 260 GPD  
TABLE 2-SEPARATION DISTANCES..... ALL MINIMUMS MET  
TABLE 5-SEPTIC TANK.....1000 GAL 2 COMPARTMENT  
TABLE 6A-REQUIRED ABSORPTION TRENCH ..... 217 FEET

**PROPOSED TREATMENT METHOD:**  
CONVENTIONAL ABSORPTION TRENCHES W/ GRAVELLESS CHAMBERS. 240 FEET OF ABSORPTION TRENCH PROVIDED. EXPANSION AREA PROVIDED.

**SOILS ANALYSIS DATA:**  
SOIL ANALYSIS DATA WAS COLLECTED IN THE SPRING DURING DRY WEATHER.  
DEEP HOLE & PERCOLATION TEST DATA GATHERED BY BMARKS DATED 5/7/20

**DEEP HOLE #1**  
HORIZON A 0"-10" ROOTED TOPSOIL  
HORIZON B 10"-20" SANDY CLAY LOAM  
HORIZON C 20"-48" GRAVEL CLAY LOAM  
  
SEASONAL HIGH GROUND WATER (SEEPAGE) OBSERVED AT 26" DEPTH

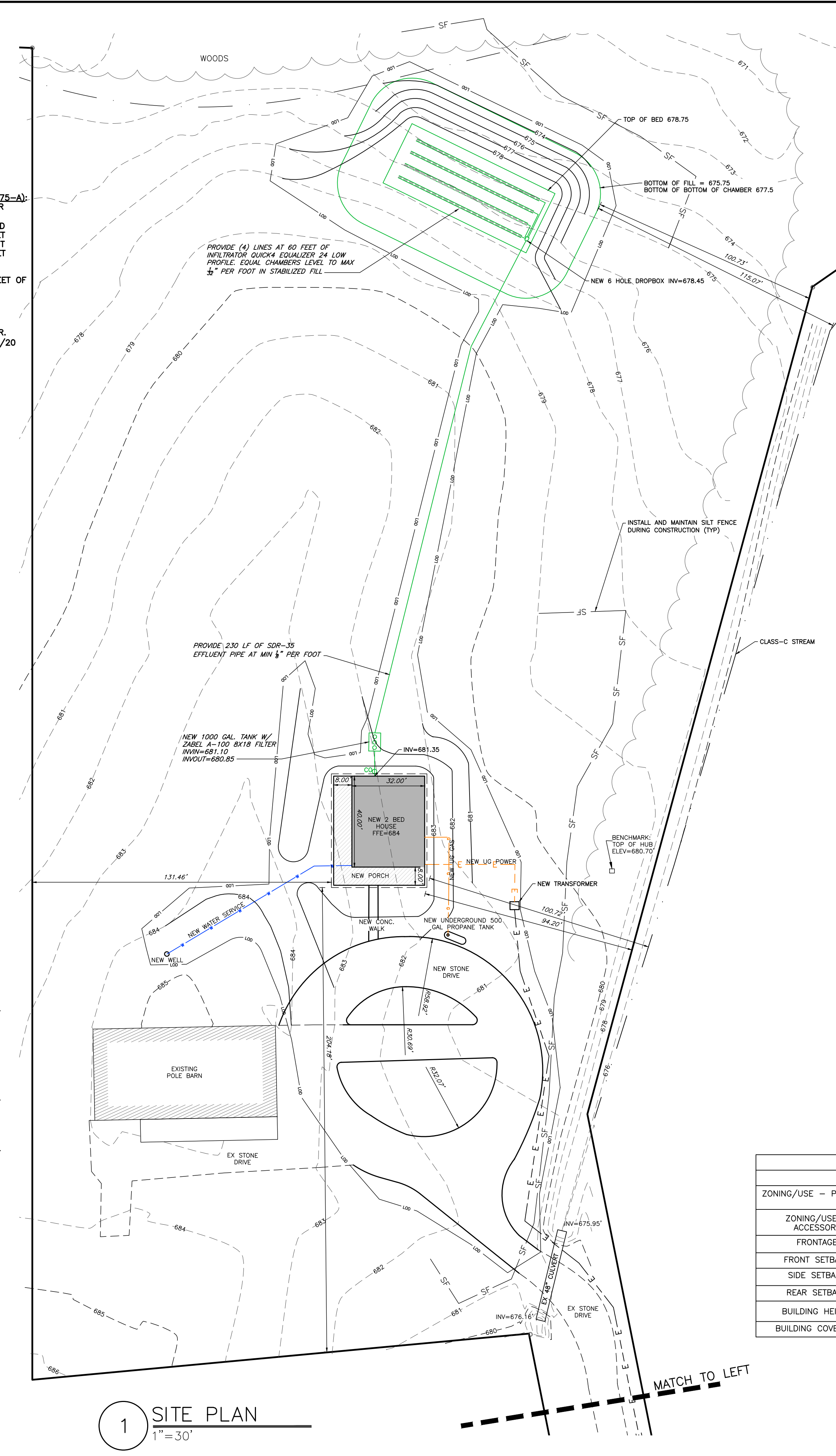
**DEEP HOLE #1**  
HORIZON A 0"-12" ROOTED TOPSOIL  
HORIZON B 12"-29" SANDY LOAM  
HORIZON C 29"-48" SANDY CLAY LOAM  
  
NO OBSERVED SEASONAL HIGH GROUND WATER

**PERC TEST #1 AT 24" DEPTH STABILIZED AT TBD**  
**PERC TEST #2 AT 24" DEPTH STABILIZED AT TBD**  
  
USE TBD PERCOLATION RATE

**LOT COVERAGE INFO:**  
TOTAL LOT AREA: 22.19 AC = 966,547 SF

**EXISTING:**  
POLE BARN: 3,232 SF  
STONE DRIVE: 14,083 SF  
  
TOTAL IMPERVIOUS: 17,315 SF  
TOTAL % COVERAGE: 1.79%

**PROPOSED:**  
NEW STONE DRIVEWAY: 4,366 SF  
NEW PORCH: 640 SF  
NEW HOUSE: 1,280 SF  
NEW WALK: 67 SF  
TOTAL NEW IMPERVIOUS: 6,353 SF  
  
(17,315 + 6,353 = 23,668 SF)  
  
TOTAL PROPOSED LOT COVERAGE: 2.45%



**LEGEND**

EXISTING: Iron pin or pipe found, Benchmark, Utility pole, Hydrant, Light pole, PERC TEST, DEEP HOLE

PROPOSED: R.O.W. line, Property line, Easement line, Centerline, Drainage, Fence Line, Contour Line

ABBREVIATIONS:  
EX-EXISTING  
CIP-CORRUGATED POLYETHYLENE PIPE  
O.C.-ON CENTER  
SICP-SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE  
UG-UNDERGROUND  
CONC-CONCRETE

CO -CLEAN OUT  
TYP-TYPICAL  
R-RADIUS  
BC-BOTTOM OF CURB  
TC-TOP OF CURB  
TW-TOP OF WALL  
BW-BOTTOM OF WALL  
BS-BOTTOM OF STAIRS

PERF-PERFORATED  
MIN-MINIMUM  
MAX-MAXIMUM  
INV-INVERT  
CB-CATCH BASIN  
MH-MANHOLE  
DI-DRAINAGE INLET

**SITE NOTES:**

- THE CONSTRUCTION SITE IS NOT WITHIN 100' OF A WETLAND AS DELINEATED BY NYS DEC. THERE ARE NOT NYS DEC DELINEATED OR APPARENT WETLANDS ON THE PROPERTY AS SHOWN.
- THE CONSTRUCTION SITE IS NOT WITHIN A 100 YEAR FLOODPLAIN AS DELINEATED BY FEMA.
- WATER SUPPLY: PUBLIC WATER
- NYS SPDES PERMIT IS NOT REQUIRED FOR THESE CONSTRUCTION ACTIVITIES, DISTURBANCE SHALL BE LESS THAN ONE ACRE. IF THE CONTRACTOR OR OWNER AT ANY TIME PLAN DISTURB GREATER THAN AN ACRE THE ENGINEER SHALL BE NOTIFIED.
- ALL NEW OUTDOOR LIGHTING ON SHALL HAVE APPROPRIATE SHIELDS AND CUT-OFF TO LIMIT ILLUMINATION OF OTHER PROPERTIES. ALL LIGHTS SHALL BE DARK SKY COMPLIANT.

**SEPTIC TANK NOTES:**

- A NEW 1000 GAL 2 COMPARTMENT CONCRETE AS MANUFACTURED BY KISTNER OR EQUAL SHALL BE INSTALLED ON MIN 12" OF COMPACTED CLEAN SAND OR PEA GRAVEL OR 6" WASHED AGGREGATE  $\frac{3}{4}$  TO 1-1/2" IN DIAMETER. TANK SHALL BE INSTALLED PER MANUFACTURES RECOMMENDATIONS.
- PROVIDE ZABEL A100X12 OR EQUAL EFFLUENT FILTER AT OUTLET OF TANK.
- PROVIDE RISER ON TANK IF TANK IS BURIED AT A DEPTH MORE THAN 18".
- MAINTENANCE:** SEPTIC TANK SHALL BE INSPECTED ANNUALLY TO DETERMINE SCUM AND SOLIDS ACCUMULATION. MOST TANKS SHOULD BE PUMPED OUT EVERY 3-4 YEARS. SEPTIC TANKS MUST BE PUMPED OUT WHENEVER THE BOTTOM OF THE SCUM LAYER IS WITHIN 3" OF THE BOTTOM OF THE OUTLET BAFFLE OR THE TOP OF THE SLUDGE IS WITHIN 10" OF THE BOTTOM OF THE OUTLET BAFFLE.

**GRADING NOTES:**

- CUT AND FILL SLOPES SHALL NOT EXCEED 3 ON 1.
- CONSTRUCTION SHALL CONFORM TO THE TOWN OF CANANDAIGUA AND NYS CODES AND STANDARDS
- SITE SHALL BE GRADED SUCH THAT THERE IS POSITIVE DRAINAGE AT A MINIMUM OF 2% AWAY FROM ANY BUILDINGS, STRUCTURES, DRIVEWAYS, AND SEPTIC SYSTEM.
- TOPSOIL SHALL BE STRIPED OF AREAS PLANNED FOR CONSTRUCTION AND REAPPLIED AFTER GRADING IS FINISHED. ANY UNUSED TOPSOIL SHALL BE HAULED OFF SITE.

**UTILITY NOTES:**

- CONTRACTOR SHALL VERIFY LOCATION OF EXISTING SERVICE AND COORDINATE ALL WORK W/ UTILITY PROVIDERS. RELOCATE WATER AND SANITARY PIPING AS REQUIRED.
- ELEC SERVICE AND COMMUNICATION SHALL MEET CURRENT NATIONAL ELECTRIC CODE.
- SAFETY BACKFILL ALL UTILITIES WITH CLEAN EXCAVATED SOIL. ENCASE IN 12" OF SAND IN SOIL CONTAINING STONES OR BEDROCK

**WASTEWATER TREATMENT SYSTEM NOTES:**

- THESE PLANS ARE PREPARED IN COMPLIANCE WITH THE PUBLIC HEALTH LAW, APPENDIX 75-A, OF PART 75, OF THE ADMINISTRATIVE RULES AND REGULATIONS CONTAINED IN CHAPTER 10, OF TITLE 10 (HEALTH) OF THE OFFICIAL COMPILATION OF CODES, RULES, AND REGULATIONS OF THE STATE OF NEW YORK.
- ABSORPTION TRENCHES SHALL BE INSTALLED PARALLEL TO CONTOURS. CONTOURS SHOWN ARE GRAPHIC REPRESENTATIONS OF SITE. CONTRACTOR IS TO VERIFY GRADE AND LAYOUT OF ABSORPTION TRENCH PRIOR TO CONSTRUCTION.
- AT NO TIME SHALL ANY MACHINERY OR VEHICLE DRIVE OVER TRENCHES. TRACKED EQUIPMENT CAN BE DRIVEN PERPENDICULAR TO TRENCHES AS REQUIRED TO BACKFILL BUT NOT IN EXCESS.
- THE CONTRACTOR IS TO NOTIFY ENGINEER AFTER COMPLETION OF WORK, WHILE SYSTEM IS OPEN AND SCHEDULE FINAL INSPECTION. AFTER FINAL INSPECTION BY THE ENGINEER, THE SYSTEM MAY BE CLOSED.
- THE SYSTEM SITE IS TO BE SEEDED, MULCHED, AND RETURNED TO THE VEGETATIVE STATE AS SOON AS POSSIBLE.
- THE SYSTEM IS TO BE KEPT MOWED AT ALL TIMES, FREE OF TRAFFIC OR HEAVY WHEELED VEHICLES, AND FREE OF SHRUB OR TREE CANOPY FOR THE DURATION OF ITS USE.
- DO NOT ATTEMPT TO INSTALL SYSTEM ON FROZEN GROUND, WET CONDITIONS OR LEAVE SYSTEM UNCOVERED FOR EXTENDED PERIODS OF TIME.
- NO HOT TUBS, SAUNAS, ROOF DRAINS, WATER CONDITIONING BACKWASH SYSTEMS, SUMP CROCKS ETC. SHALL BE INCORPORATED INTO THIS SYSTEM UNLESS OTHERWISE SPECIFIED.
- EXPANSION AREA SHALL REMAIN CLEAR OF ALL LANDSCAPING, SHRUBS, TREES, AND STRUCTURES. THE EXPANSION AREA SHALL BE MAINTAINED AS LAWN. FUTURE ACCESS TO THIS AREAS SHALL NOT BE LIMITED.
- SOIL PIPE AND HOUSE SHALL BE VENTED THROUGH THE ROOF OF THE NEW DWELLING W/ AT LEAST ONE 3" VENT MAXIMUM OF 4' HORIZONTALLY AWAY FROM INSIDE OF FOUNDATION WALL. A 4" CLEAN-OUT SHALL BE PROVIDED AT A POINT JUST INSIDE THE FOUNDATION WALL.
- A SYSTEM SHALL NOT BE BUILT IN UNSTABILIZED FILL MATERIAL. THE FILL MATERIAL SHALL BE ALLOWED TO SETTLE NATURALLY FOR A PERIOD OF AT LEAST SIX MONTHS TO INCLUDE ONE FREEZE-THAW CYCLE OR MAY BE STABILIZED BY MECHANICAL COMPACTION IN SHALLOW LIFTS IF A FILL MATERIAL CONSISTING OF ONLY A GRANULAR SAND OR SANDY LOAM IS USED.

**PHOSPHOROUS NOTES:**

- NO PHOSPHOROUS SHALL BE USED AT PLANTING TIME UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY A HORTICULTURAL TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHOROUS DEFICIENCY THAT IS HARMFUL, OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.
- IF SOIL TESTS INDICATE A PHOSPHOROUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHOROUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYS DEC.

**GENERAL NOTES:**

- THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES AND PROPERTY MARKERS. IT IS THE NYS LAW TO CALL NYS DIG SAFE FOR UFPO (811) PRIOR TO ANY EXCAVATION.
- THE ROADWAY SHALL BE KEPT FREE OF DEBRIS DURING CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR SAFETY CONTROL DEVICES. SUCH DEVICES (BARRICADES, FENCING, ETC.) SHALL BE IMPLEMENTED TO MINIMIZE RISK OF INJURY TO PEDESTRIANS AND WORKERS. CONSTRUCTION ACTIVITY SHALL BE CONDUCTED WITHIN COMPLIANCE WITH OSHA GUIDELINES.
- PLANS ARE GRAPHIC REPRESENTATIONS OF WORK TO BE PERFORMED. THESE PLANS ARE TO INTENDED TO CONVEY ENGINEERING INFORMATION ONLY.
- CONTRACTOR TO VERIFY ALL LOCATIONS, GRADES AND INVERTS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF WORK.
- ALL SPECIFIED MATERIALS ARE TO BE INSTALLED AS PER MANUFACTURES RECOMMENDATIONS OR INDUSTRY STANDARD.
- ANY SYSTEM MODIFICATIONS OR DEVIATIONS FROM THE APPROVED PLANS, NYS BUILDING CODES, AND/OR LOCAL REGULATIONS REQUIRED BY SITE CONSTRAINTS, UNFORESEEN CONDITIONS OR GOVERNING AUTHORITIES WILL BE DONE AT THE RISK OF THE CLIENT.

**AGRICULTURAL NOTE:**

THIS PROPERTY IS LOCATED WITHIN AN ESTABLISHED AGRICULTURAL DISTRICT CONTAINING A FARM OPERATION. RESIDENTS SHOULD BE AWARE THAT SUCH FARM OPERATIONS MAY GENERATE DUST, ODOR, SMOKE, NOISE VIBRATION AND OTHER ACTIVITIES WHICH MAY BE COMPATIBLE WITH RESIDENTIAL USE OF THIS PROPERTY.

| SITE DATA              |                            |                    |
|------------------------|----------------------------|--------------------|
|                        | REQUIRED                   | PROPOSED           |
| ZONING/USE - PRINCIPAL | AR-2 AG. RURAL RESIDENTIAL | SINGLE RESIDENTIAL |
| ZONING/USE - ACCESSORY | NA                         | NA                 |
| FRONTAGE               | 200'                       | 200'               |
| FRONT SETBACK          | 60.00'                     | 204.17'            |
| SIDE SETBACK           | 25.00'                     | 94.20'             |
| REAR SETBACK           | 40.00'                     | 300+'              |
| BUILDING HEIGHT        | 35'                        | 20'                |
| BUILDING COVERAGE      | 20.00%                     | 2.45%              |

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NOT FOR CONSTRUCTION

STAMP

STAMP

STATE OF NEW YORK

COUNTY OF ONTARIO

SITE PLANS PREPARED FOR:

DAVID ALTEMUS  
NEW RESIDENCE  
SHOWING LAND IN:  
1900 SAND HILL ROAD  
TOWN OF CANANDAIGUA

DRAWING TITLE:

SITE PLAN

DRAWN BY:

KRB

DESIGNED BY:

BAM

CHECKED BY:

BAM

SCALE:

AS NOTED

JOB NO.:

20-136

DATE:

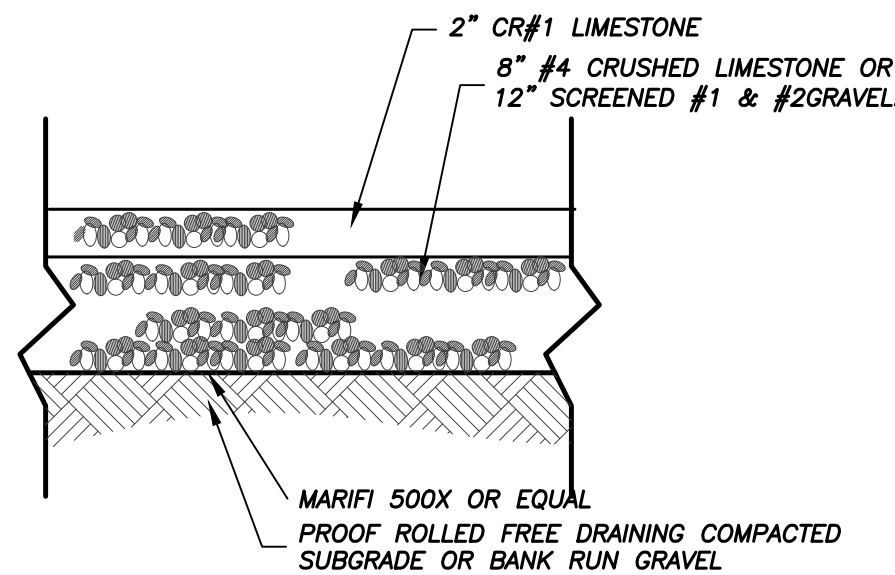
08/18/2020

TAX MAP#:

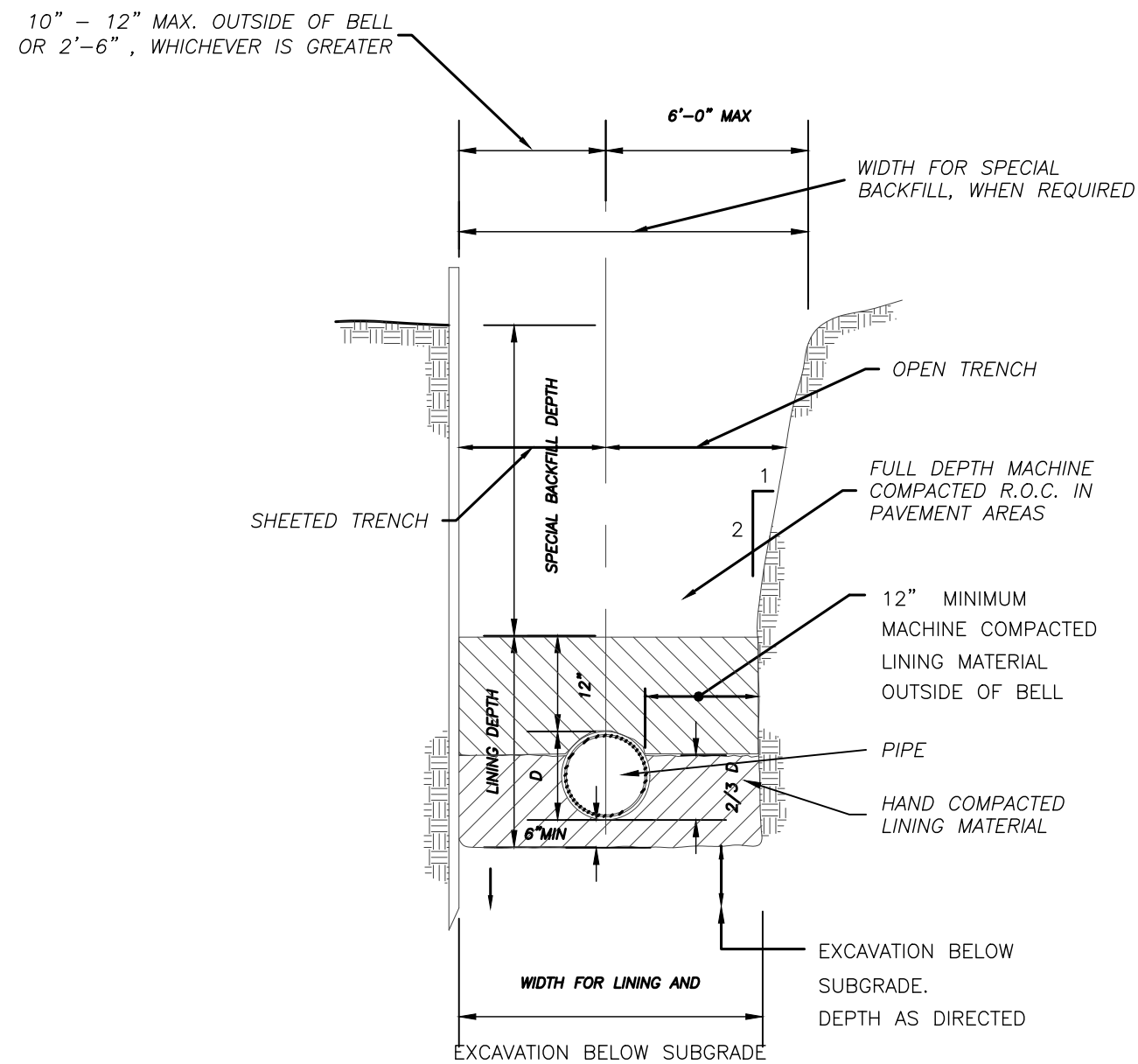
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C100

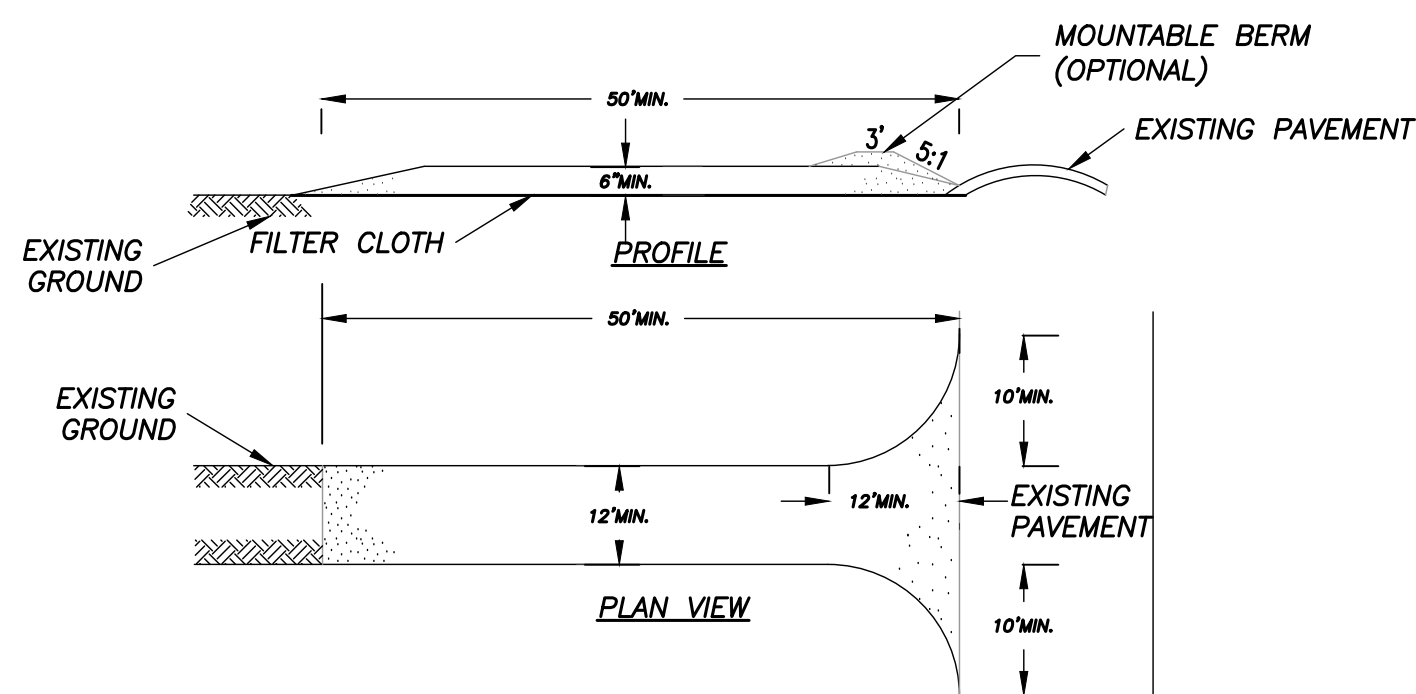




1 TYPICAL GRAVEL DRIVE SECTION  
NTS



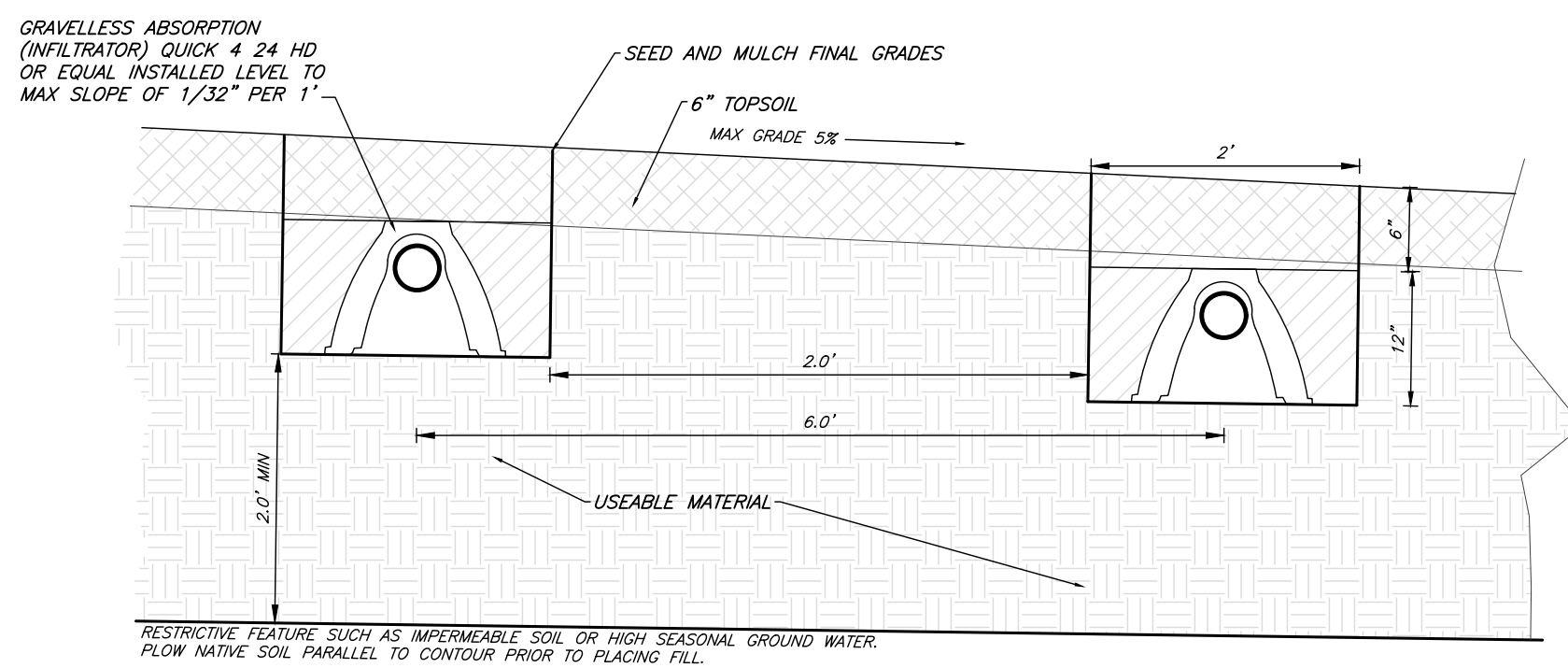
3 TYPICAL UTILITY TRENCH  
NTS



#### CONSTRUCTION SPECIFICATIONS

- STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE GARAGE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- THICKNESS - NOT LESS THAN SIX (6) INCHES.
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

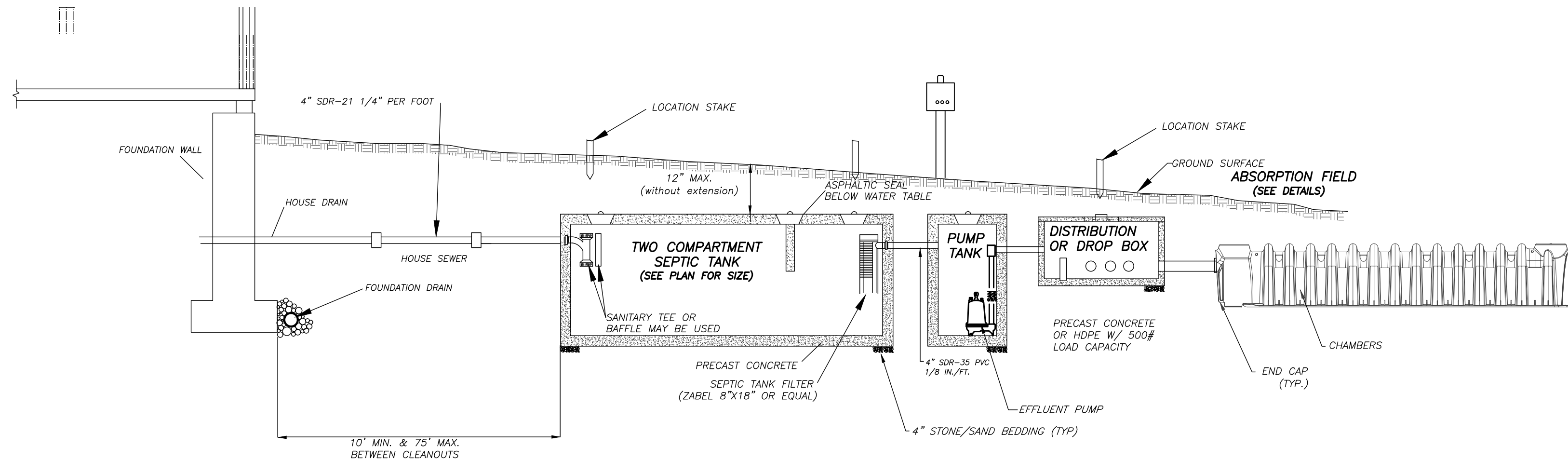
6 STABILIZED CONSTRUCTION ENTRANCE  
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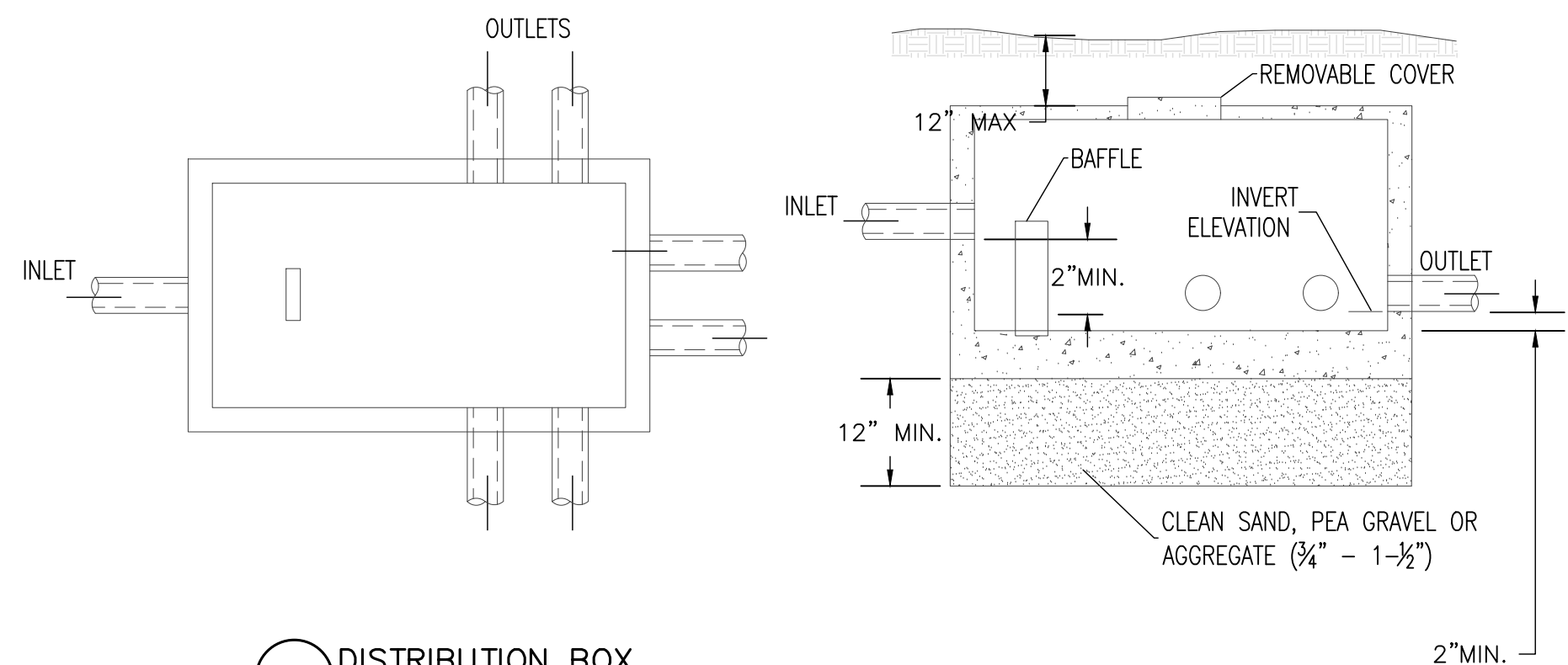
4 TYPICAL ABSORPTION TRENCH DETAIL  
NTS

#### EROSION AND SEDIMENT CONTROL NOTES:

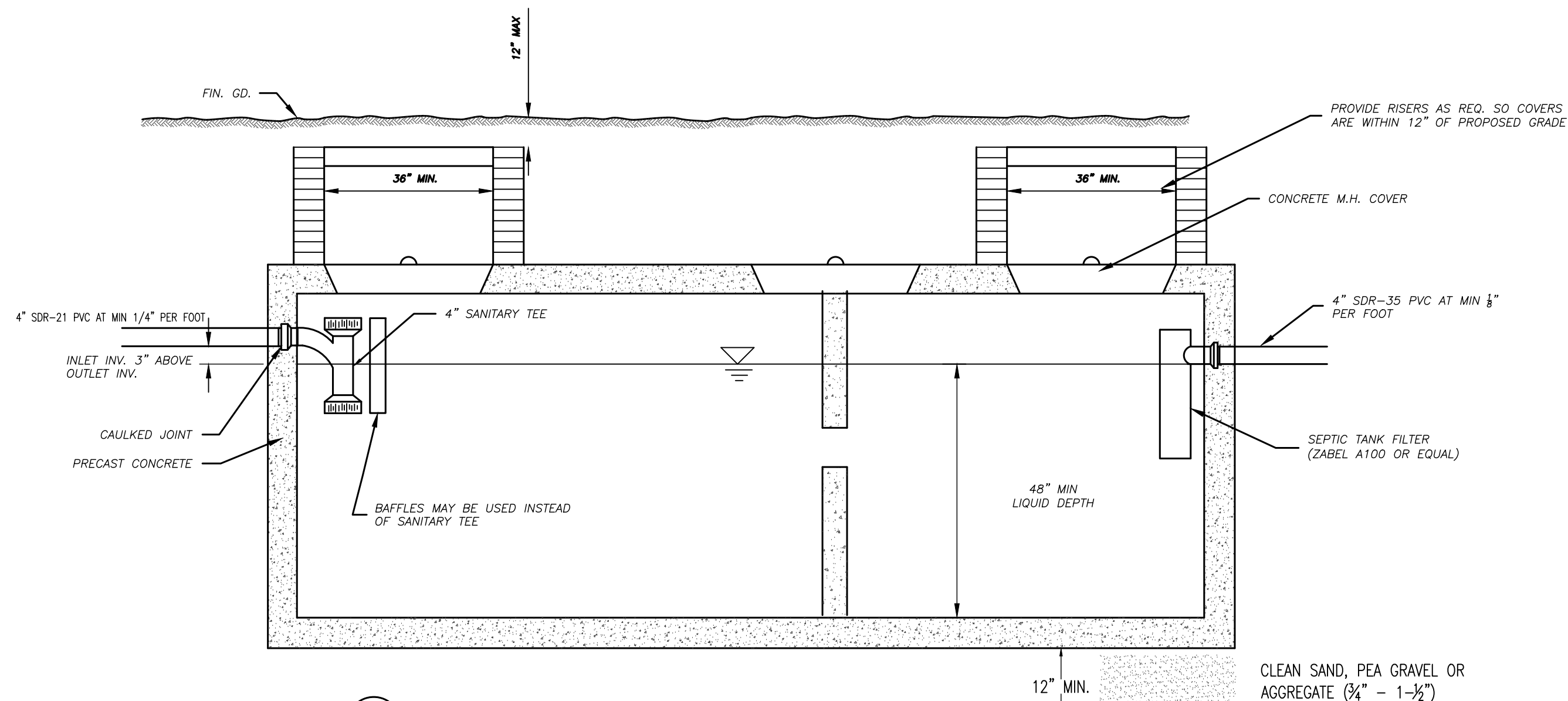
- THE CONTRACTOR IS RESPONSIBLE FOR THE CONTROL OF EROSION AND SEDIMENTATION DURING CONSTRUCTION. SILT FENCE SHALL BE INSTALLED AND MAINTAINED AS NEEDED.
- SOIL DISTURBANCES SHALL BE STABILIZED IMMEDIATELY. DISTURBED SOIL THAT WILL REMAIN LONGER THAN 14 DAYS SHALL BE TEMPORARILY STABILIZED WITHIN 7 DAYS. SOIL SHALL BE STABILIZED WITH NORTHERN GRASS SEED MIXTURE OR APPROPRIATE SEED MIXTURE FOR CONDITIONS. GRASS SEED SHALL BE INSTALLED PER MANUFACTURES SPECIFICATIONS. MULCH STRAW APPLIED AT A RATE OF 2 BALES / 1000 SQFT OR SEED MIXTURE TO PROTECT SITE UNTIL SEED GERMINATES. HYDRO-SEED MAY BE INSTALLED AS AN ALTERNATE.
- CONTRACTOR SHALL INSPECT THE SITE DAILY FOR SIGNS OF EROSION. IF ANY EROSION OR SEDIMENTATION OCCUR CONTRACTOR SHALL IMMEDIATELY PROVIDE PROPER CONTROLS TO STABILIZE THE SITE. ENGINEER WILL RECOMMEND CONTROLS IF REQUIRED.
- SLOPE GREATER THAN 4 ON 1 SHALL BE STABILIZED WITH JUTE FABRIC INSTALLED AS PER MANUFACTURES SPECIFICATIONS AS REQUIRED.
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENTATION CONTROLS.
- INSTALL AND MAINTAIN TEMPORARY DIVERSION SWALES AS NEEDED TO CONTROL RUNOFF DURING CONSTRUCTION.
- THE SITE SHALL BE COMPLETELY STABILIZED FOLLOWING CONSTRUCTION ACTIVITIES AND ALL TEMPORARY EROSION CONTROL DEVICES SHALL BE REMOVED AND DISPOSED OF PROPERLY.



2 TYPICAL BLDG/SEPTIC SECTION  
NTS



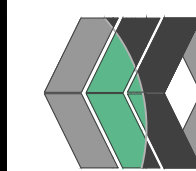
5 DISTRIBUTION BOX  
NTS



7 TYPICAL SEPTIC TANK DETAIL  
NTS

NOT FOR CONSTRUCTION

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#### REVISIONS AND APPROVALS

| NO. | DATE | DESCRIPTION OF REVISION OR APPROVAL | BY |
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|     |      |                                     |    |

SITE PLANS PREPARED FOR:

DAVID ALTEMUS  
NEW RESIDENCE  
SHOWING LAND IN:  
1900 SAND HILL ROAD  
TOWN OF CANANDAIGUA

STATE OF NEW YORK

COUNTY OF ONTARIO

#### DRAWING TITLE:

| DETAILS      |               |
|--------------|---------------|
| DRAWN BY:    | KRB           |
| DESIGNED BY: | BAM           |
| CHECKED BY:  | BAM           |
| SCALE:       | AS NOTED      |
| JOB NO.:     | 20-136        |
| DATE:        | 08/18/2020    |
| TAX MAP#:    | 57.00-1-3.121 |

C500