

WETLANDS:

A PORTION OF THIS PARCEL FALLS WITH A REGULATED WETLAND HABITAT. THIS DESIGNATION WAS PROVIDED FROM INVENTORY MAPS FROM THE U.S. FISH AND WILDLIFE SERVICE AND NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.

CANANDAIGUA LAKE
NAVD BASE ELEVATION = 691.19 NAVD 1988
FOUR-AND-CL-13 CHECK ZONE
Significant Waterfrom Water Concentration Area

FLOODPLAIN:

THIS PARCEL FALLS WITHIN A SPECIAL FLOOD HAZARD AREA PER FEMA MAP NO. 305880000C HAVING AN EFFECTIVE DATE OF MARCH 3, 1997. THIS FLOODPLAIN IS DESIGNATED AS ZONE "X" WITH A DESIGNATED ELEVATION OF 691.70 NAVD 1988, 691.19 NAVD 88

SURVEY CONTROL NOTES:

BEARINGS SHOWN HEREON ARE REFERENCED TO THE STATE PLANE COORDINATE SYSTEM: NAD1983 (2011)-NY CENTRAL ZONE.

ELEVATIONS SHOWN ARE REFERENCED TO NAVD 1988.

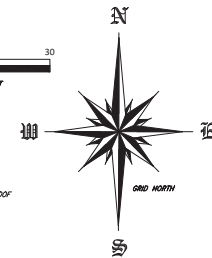
GEOD MODEL 2018.

DISTANCES ARE SHOWN AT GROUND

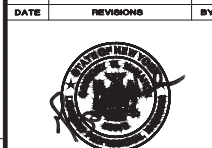
NORTH ARROW REFERENCED TO GRID NORTH

SITE BENCHMARK
MAG Spike in Power Pole
ELEV. = 692.00

0 10 20 30
SCALE: 1 INCH = 10 FEET



TOWN OF CANANDAIGUA
LOCATION SKETCH
N.T.S.



DRAWING ALTERATION

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK STATE EDUCATION LAW, ARTICLE 14, SECTION 204 AND APPLIED TO THIS DRAWING:
"IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT TO PREPARE, SIGN, SEAL, OR ISSUE ANY DRAWING OR SPECIFICATION FOR THE CONSTRUCTION OF A BUILDING OR STRUCTURE, OR FOR THE INSTALLATION OF ANY MECHANICAL, ELECTRICAL, OR PLUMBING SYSTEM, OR FOR THE CONSTRUCTION OF ANY HIGHWAY, BRIDGE, OR OTHER PUBLIC WORK, OR FOR THE CONSTRUCTION OF ANY OTHER WORK, WITHOUT BEING A LICENSED PROFESSIONAL ENGINEER OR ARCHITECT."

McMahon LaRue Associates, P.C.
ENGINEERS AND SURVEYORS

822 HOLT ROAD
WEBSTER, NY 14580
(585) 458-1080
WWW.MCMAHON-LARUE.COM

CLIENT:

TOM DELANEY
71 BARGHAM DUNE RISE
VICTOR, NEW YORK 14564
(585) 233-1247

PROJECT:

3492 SANDY BEACH DRIVE
TOWN OF CANANDAIGUA

DRAWING:

**PRELIMINARY AND FINAL
HOFF SITE-UTILITY-GRADING PLAN**

SUBDIVISION LOT 7
TOWNSHIP 10, RANGE 3
PHELPS AND GORHAM PURCHASE
TOWN OF CANANDAIGUA, ONTARIO COUNTY
STATE OF NEW YORK

DESIGNED BY:

ALL

DRAWN BY:

ALL

CHECKED BY:

OWN

S.B.L.

098.015-01-055

PROJ. NO.

2022-005

DATE:

JANUARY 24, 2022

SCALE:

1" = 10'

SHEET

2

OF

2

CADD FILE:

2022-005

COPYRIGHT © by McMahon LaRue Associates P.C. 2022

UTILITY CONNECTION NOTE:

NEW HOME TO UTILIZE EXISTING WATER, GAS, ELECTRIC, AND SANITARY SEWER CONNECTIONS.

VARIANCES REQUESTED:

LOT COVERAGE
34.82% Where 30% is the maximum (220-21 D2)

PRIMARY STRUCTURE:

Front setback 35' where 55' required (220-21 D2)
Side Setback 6' where 10' required (220-21 D2)

REQUIRED:

S.B.L. LOT NO. 098.015-01-055
ADDRESS: 3492 SANDY BEACH DRIVE
TOTAL SITE AREA = 10,402.1 SQ. FT. OR 0.239 ACRES
ZONING = RLD-RESIDENTIAL LAKESHORE DISTRICT
BLD ZONING:
LOT SIZE = 10,000-20,000 SQ. FT.
MINIMUM LOT WIDTH = 125 FT.
MAXIMUM BUILDING HEIGHT = 25 FEET
MAXIMUM BUILDING COVERAGE = 20%
MAXIMUM LOT COVERAGE = 30%
MINIMUM SETBACKS:
FRONT = 55 FT
SIDE = 10 FT
REAR (LAKE) = 30 FT

SITE DATA:

EXISTING:

BLD ZONING: EXISTING

LOT SIZE = PRE-EXISTING 10,402.1 SQ. FT.
LOT WIDTH = PRE-EXISTING 50 FT
BUILDING COVERAGE = 1,533.34 SQ. FT. = 14.74%
LOT COVERAGE = 4,243.12 SQ. FT. = 40.79%
SETBACKS:
FRONT = 33.83 FT
SIDE = 4.28 FT
REAR (LAKE) = 53.74 FT

EXISTING BUILDINGS:

HOUSE: 999.2 SQ. FT.
GARAGE: 445.0 SQ. FT.
OPEN PORCH: 53.9 SQ. FT.
TOTAL: 1,498.1 SQ. FT.
COVERAGE: 14.4%

EXISTING COVERAGE:

CONCRETE SIDEWALK: 303.8 SQ. FT.
CONCRETE PATIO: 138.0 SQ. FT.
CONCRETE SIDEWALK: 256 SQ. FT.
CONCRETE PAD: 92.6 SQ. FT.
CONCRETE WALK: 94.6 SQ. FT.
ASPHALT PARKING: 1660.0 SQ. FT.

TOTAL:

2,745 SQ. FT.

OVERALL:

4,243.1 SQ. FT.

PROPOSED:

BLD ZONING: PROPOSED

LOT SIZE = 10,402.1 SQ. FT.
LOT WIDTH = 50 FT
BUILDING HEIGHT = 25 FEET
BUILDING COVERAGE = 19.02%
LOT COVERAGE = 34.82%
SETBACKS:
FRONT = 35 FT
SIDE = 6 FT
REAR (LAKE) = 50.82 FT

PROPOSED BUILDINGS:

HOUSE: 1035.5 SQ. FT.
GARAGE: 418.1 SQ. FT. (attached)
PORCH: 79.5 SQ. FT.
EXISTING GARAGE: 445.0 SQ. FT.

TOTAL:

1,978.3 SQ. FT.

PROPOSED COVERAGE:

DRIVEWAY: 590.1 SQ. FT.
CONCRETE SIDEWALK: 281.1 SQ. FT.
EXISTING CONCRETE PAD: 92.6 SQ. FT.
PAVER PATIO: 680 SQ. FT.

TOTAL:

1,643.8 SQ. FT.

OVERALL COVERAGE:

3,622.1 SQ. FT. 34.82%

DISPOSITION OF SOIL AND TOPSOIL:

SOIL AND TOPSOIL IS TEMPORARILY MOVED TO AN OPEN AREA OF THE PARCEL FOR EVENTUAL REDISTRIBUTION.

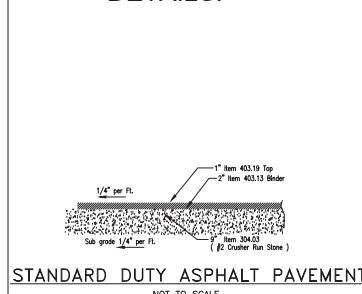
PHASING:

WE ARE PROPOSING 1 PHASE TO START APPROXIMATELY APRIL 1, 2022 AND BE COMPLETED BY SEPTEMBER 2022.

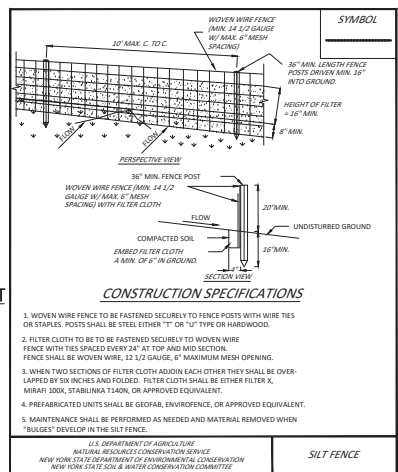
VEGETATION TO BE REMOVED:

WE ARE PROPOSING TO REMOVE THE EXISTING LAWN AND LANDSCAPING.

DETAILS:



STANDARD DUTY ASPHALT PAVEMENT
NOT TO SCALE



CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, HIRSH, SOIL STABILIZATION TACKON, OR APPROVED EQUIVALENT.
4. PRE-FABRICATED UNITS SHALL BE GEOTEX, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE

