

DISPOSITION OF SOIL AND TOPSOIL:

SOIL AND TOPSOIL IS TEMPORARILY MOVED TO AN OPEN AREA OF THE PARCEL FOR EVENTUAL REDISTRIBUTION.

PHASING:

WE ARE PROPOSING 1 PHASE TO START APPROXIMATELY APRIL 1, 2022 AND BE COMPLETED BY SEPTEMBER 2022.

VEGETATION TO BE REMOVED:

WE ARE PROPOSING TO REMOVE THE EXISTING LAWN AND LANDSCAPING.

AREA OF DISTURBANCE:

6594± SQ.FT. - WEST SIDE  
1660± SQ.FT. - EAST SIDE

WETLANDS:

A PORTION OF THIS PARCEL FALLS WITH A REGULATED WETLAND HABITAT. THIS DESIGNATION WAS PROVIDED FROM INVENTORY MAPS FROM THE U.S. FISH AND WILDLIFE SERVICE AND NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.

FLOODPLAIN:

THIS PARCEL FALLS WITHIN A SPECIAL FLOOD HAZARD AREA PER FEMA MAP NO. 360598020C, HAVING AN EFFECTIVE DATE OF MARCH 3, 1997. THIS FLOODPLAIN IS DESIGNATED AS ZONE "AE" WITH A DESIGNATED ELEVATION OF 691.70 NAVD 29, 691.19 NAVD 88

SURVEY CONTROL NOTES:

-BEARINGS SHOWN HEREON ARE REFERENCED TO THE STATE PLANE COORDINATE SYSTEM; NAD1983 (2011)-NY CENTRAL ZONE.

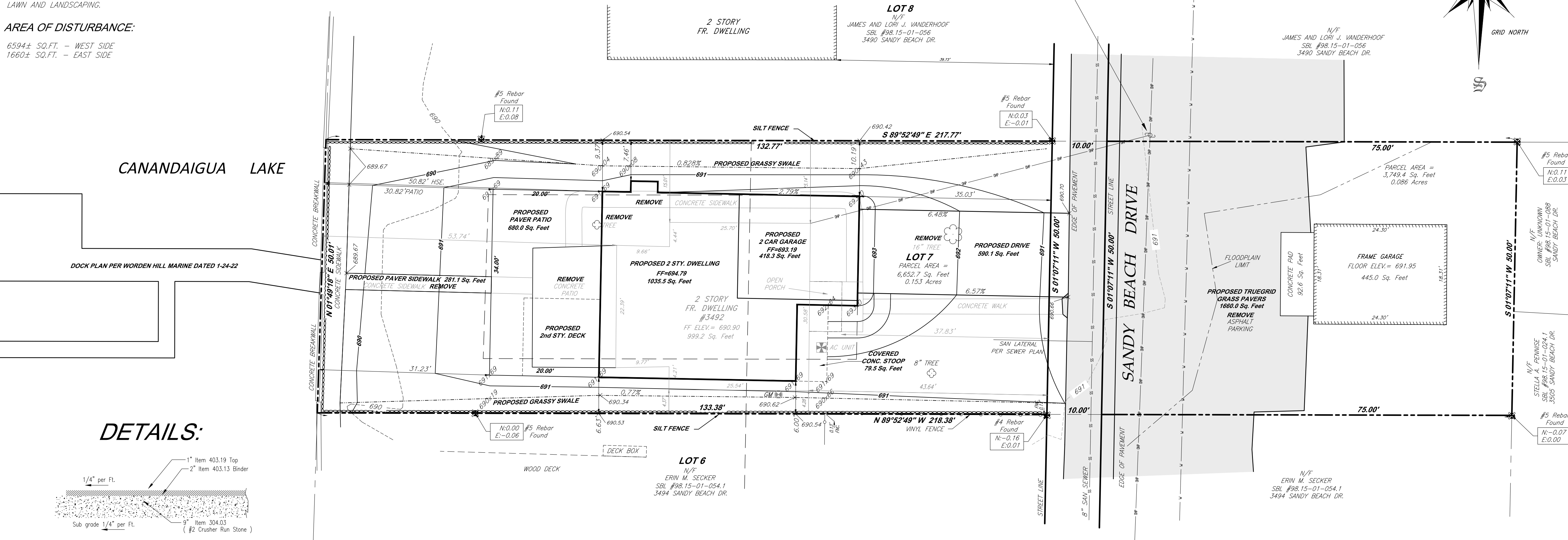
-ELEVATIONS SHOWN ARE REFERENCED TO NAVD 1988.  
GEOID MODEL 2018.

\*DISTANCES ARE SHOWN AT GROUND  
\*NORTH ARROW REFERENCED TO GRID NORTH

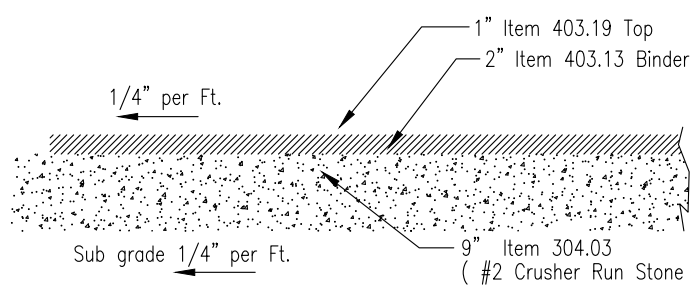
SIGNATURES:

TOWN ENGINEER DATE

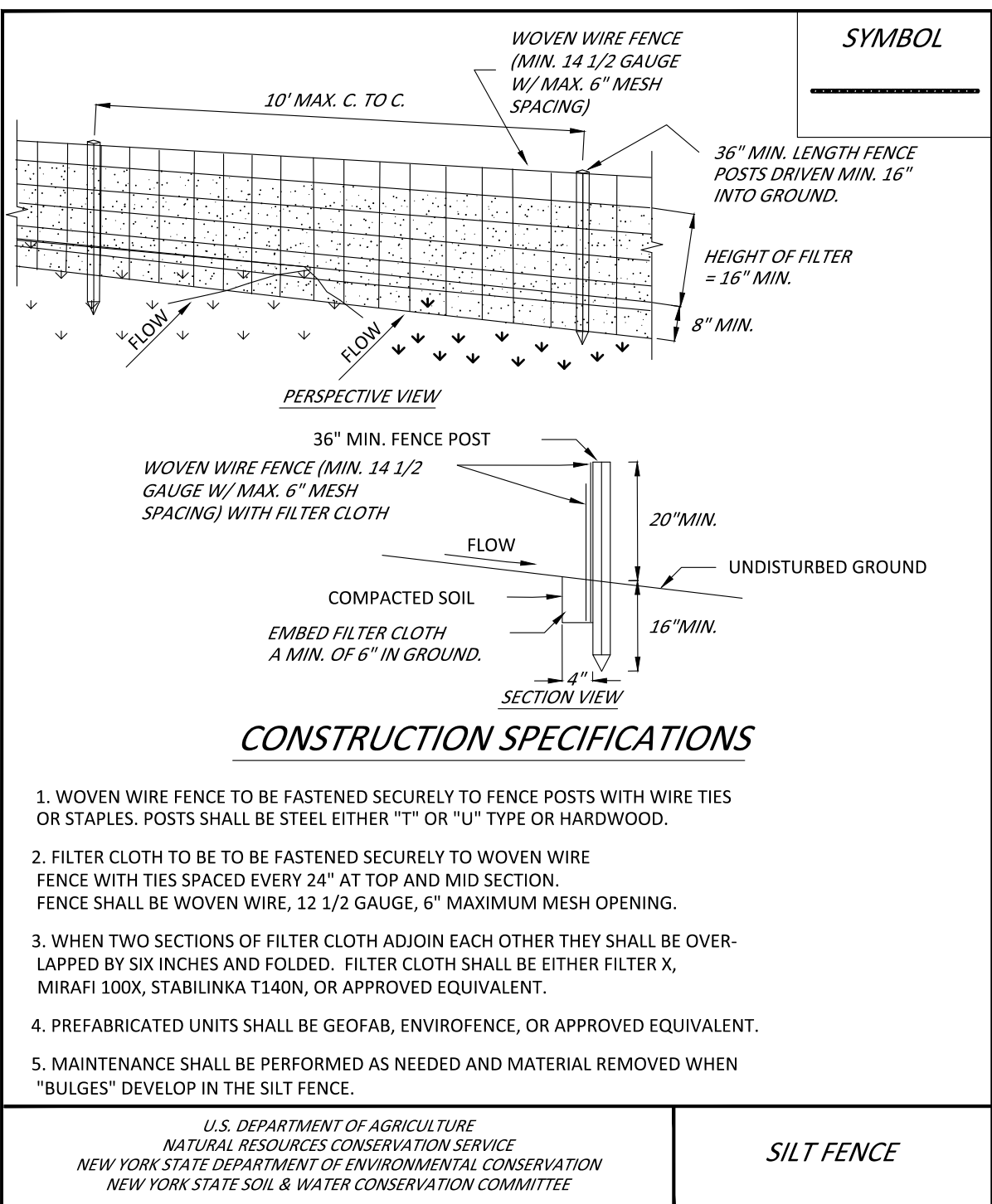
PLANNING BOARD CHAIRPERSON DATE



DETAILS:



STANDARD DUTY ASPHALT PAVEMENT



SITE DATA:

EXISTING:

R/LD ZONING: EXISTING  
LOT SIZE = PRE-EXISTING 10,402.1 SQ. FT.  
LOT WIDTH = PRE-EXISTING 50 FT  
BUILDING COVERAGE = 1,533.3± SQ. FT. = 14.74%  
LOT COVERAGE = 4,243.1± SQ. FT. = 40.79%  
SETBACKS:

FRONT = 37.83 FT  
SIDE = 4.28 FT  
REAR (LAKE) = 53.74 FT

EXISTING BUILDINGS:

HOUSE: 999.2 SQ. FT.  
GARAGE: 445.0 SQ. FT.  
OPEN PORCH: 53.9 SQ. FT.  
TOTAL: 1,498.1 SQ. FT.  
COVERAGE: 14.4%

EXISTING COVERAGE:

CONCRETE SIDEWALK: 303.8 SQ. FT.  
CONCRETE PATIO: 338.0 SQ. FT.  
CONCRETE SIDEWALK: 256 SQ. FT.  
CONCRETE PAD: 92.6 SQ. FT.  
CONCRETE WALK: 94.6 SQ. FT.  
ASPHALT PARKING: 1660.0 SQ. FT.

TOTAL: 2,745 SQ. FT.

OVERALL: 4,243.1 SQ. FT.

REQUIRED:

S.B.L. LOT NO. 098.015-01-055  
ADDRESS: 3492 SANDY BEACH DRIVE  
TOTAL SITE AREA = 10,402.1 SQ. FT. OR 0.239 ACRES  
ZONING = R/LD-RESIDENTIAL LAKESHORE DISTRICT  
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R/LD ZONING:

LOT SIZE = 10,000-20,000 SQ. FT.  
MINIMUM LOT WIDTH = 125 FT  
MAXIMUM BUILDING HEIGHT = 25 FEET  
MAXIMUM BUILDING COVERAGE = 20%  
MAXIMUM LOT COVERAGE = 30%  
MINIMUM SETBACKS:

FRONT = 55 FT  
SIDE = 10 FT  
REAR (LAKE) = 30 FT

PROPOSED:

R/LD ZONING: PROPOSED  
LOT SIZE = 10,402.1 SQ. FT.  
LOT WIDTH = 50 FT  
BUILDING HEIGHT = 25 FEET  
BUILDING COVERAGE = 19.02%  
LOT COVERAGE = 34.82%  
SETBACKS:  
FRONT = 35 FT  
SIDE = 6 FT  
REAR (LAKE) = 50.82 FT

PROPOSED BUILDINGS:

HOUSE: 1035.5 SQ. FT.  
GARAGE: 418.3 SQ. FT. (attached)  
PORCH: 79.5 SQ. FT.  
EXISTING GARAGE: 445.0 SQ. FT.

TOTAL: 1,978.3 SQ. FT.

PROPOSED COVERAGE:

DRIVEWAY: 590.1 SQ. FT.  
CONCRETE SIDEWALK: 281.1 SQ. FT.  
EXISTING CONCRETE PAD: 92.6 SQ. FT.  
PAVER PATIO: 680 SQ. FT.

TOTAL: 1643.8 SQ. FT.

OVERALL COVERAGE: 3622.1 SQ. FT. 34.82%

UTILITY CONNECTION NOTE:

NEW HOME TO UTILIZE EXISTING WATER, GAS, ELECTRIC, AND SANITARY SEWER CONNECTIONS.

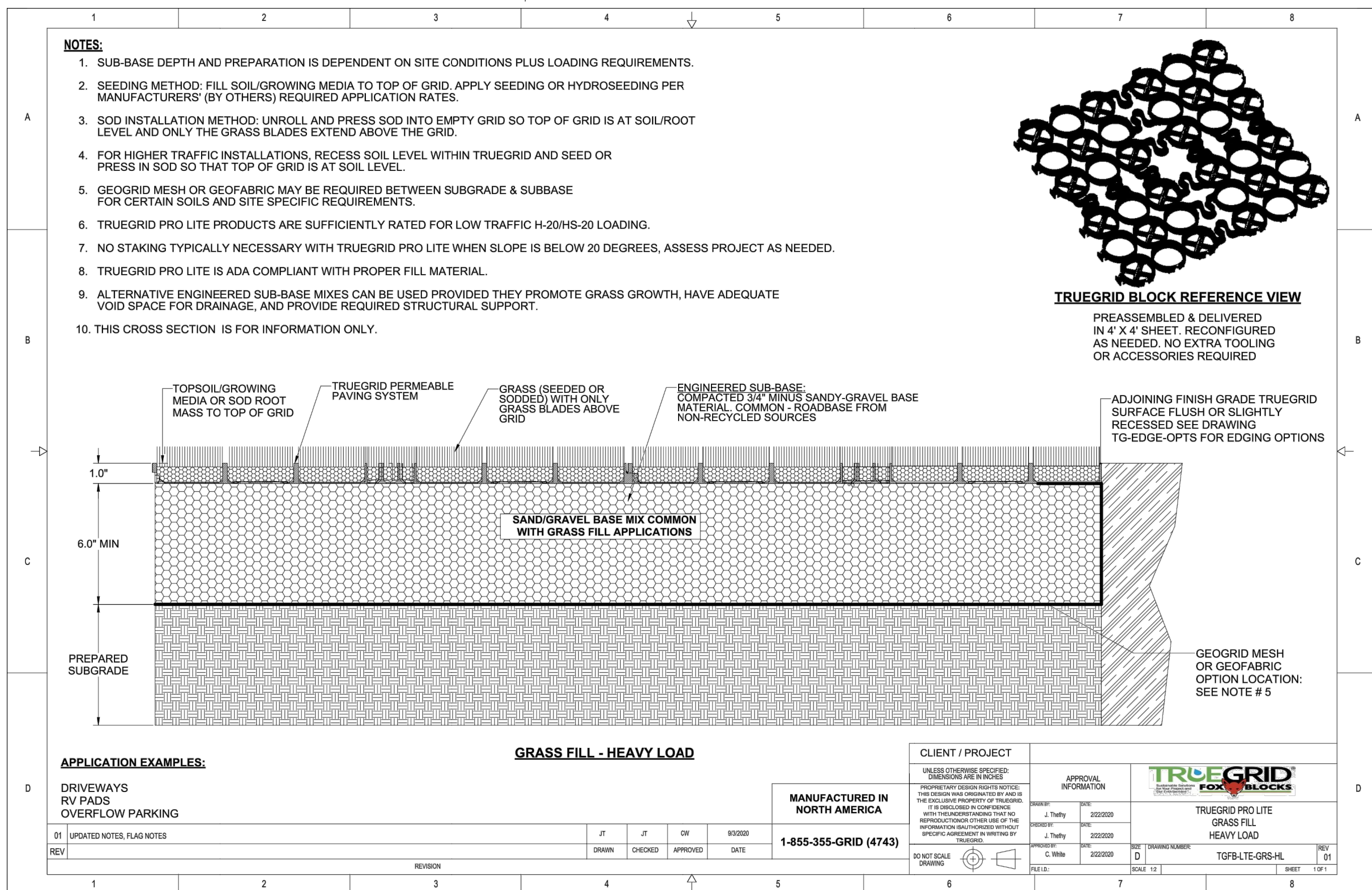
VARIANCES REQUESTED:

LOT COVERAGE

34.82% Where 30% is the maximum ( 220-21 D2 )

PRIMARY STRUCTURE:

Front setback 35' where 55' required ( 220-21 D2 )  
Side Setback 6' where 10' required (220-21 D2)



LOCATION SKETCH N.T.S.

TOWN OF CANANDAIGUA

DATE: 2/14/22 TOWN PRC COMMENTS: JAT

DATE: REVISIONS: BY:

STATE OF NEW YORK  
GREGORY W. McMAHON  
59878  
PROFESSIONAL ENGINEER

DRAWING ALTERATION

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK STATE EDUCATION LAW, ARTICLE 143, SECTION 7209 AND APPLIES TO THIS DRAWING.

\* IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY. IF AN ITEM BEARING THE SEAL OF A LICENSED ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION.

McMahon LaRue Associates, P. C.

ENGINEERS AND SURVEYORS

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WEBSTER, NY 14580  
(585)-436-1080  
WWW.McMAHON-LARUE.COM

CLIENT:

TOM DELANEY  
71 BARCHAN DUNE RISE  
VICTOR, NEW YORK 14564  
(585) 233-1247

PROJECT:

3492 SANDY BEACH DRIVE

TOWN OF CANANDAIGUA

DRAWING:

PRELIMINARY AND FINAL  
HOFF SITE-UTILITY-GRADING PLAN

SUBDIVISION LOT 7  
TOWNSHIP 10, RANGE 3  
PHELPS AND GORHAM PURCHASE  
TOWN OF CANANDAIGUA, ONTARIO COUNTY  
STATE OF NEW YORK

DESIGNED BY: AIL

DRAWN BY: AIL

CHECKED BY: GWM

S.B.L. #: 098.015-01-055

PROJ. NO: 2022-005

DATE: FEBRUARY 17, 2022

SCALE: 1" = 10'

2 SHEET OF 4

CADD FILE: 2022-005