

WETLANDS:

A PORTION OF THIS PARCEL FALLS WITH A REGULATED WETLAND HABITAT. THIS DESIGNATION WAS PROVIDED FROM INVENTORY MAPS FROM THE U.S. FISH AND WILDLIFE SERVICE AND NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.

FLOODPLAIN:

THIS PARCEL FALLS WITHIN A SPECIAL FLOOD HAZARD AREA PER FEMA MAP NO. 3605980020C, HAVING AN EFFECTIVE DATE OF MARCH 3, 1997. THIS FLOODPLAIN IS DESIGNATED AS ZONE "AE" WITH A DESIGNATED ELEVATION OF 691.70 NAVD 29, 691.19 NAVD 88

SNOW NOTE:

THIS PARCEL WAS COVERED BY HEAVY SNOW THEREFOR SOME FEATURES UNDER THE SNOW MAY NOT BE SHOWN ON THIS SURVEY.

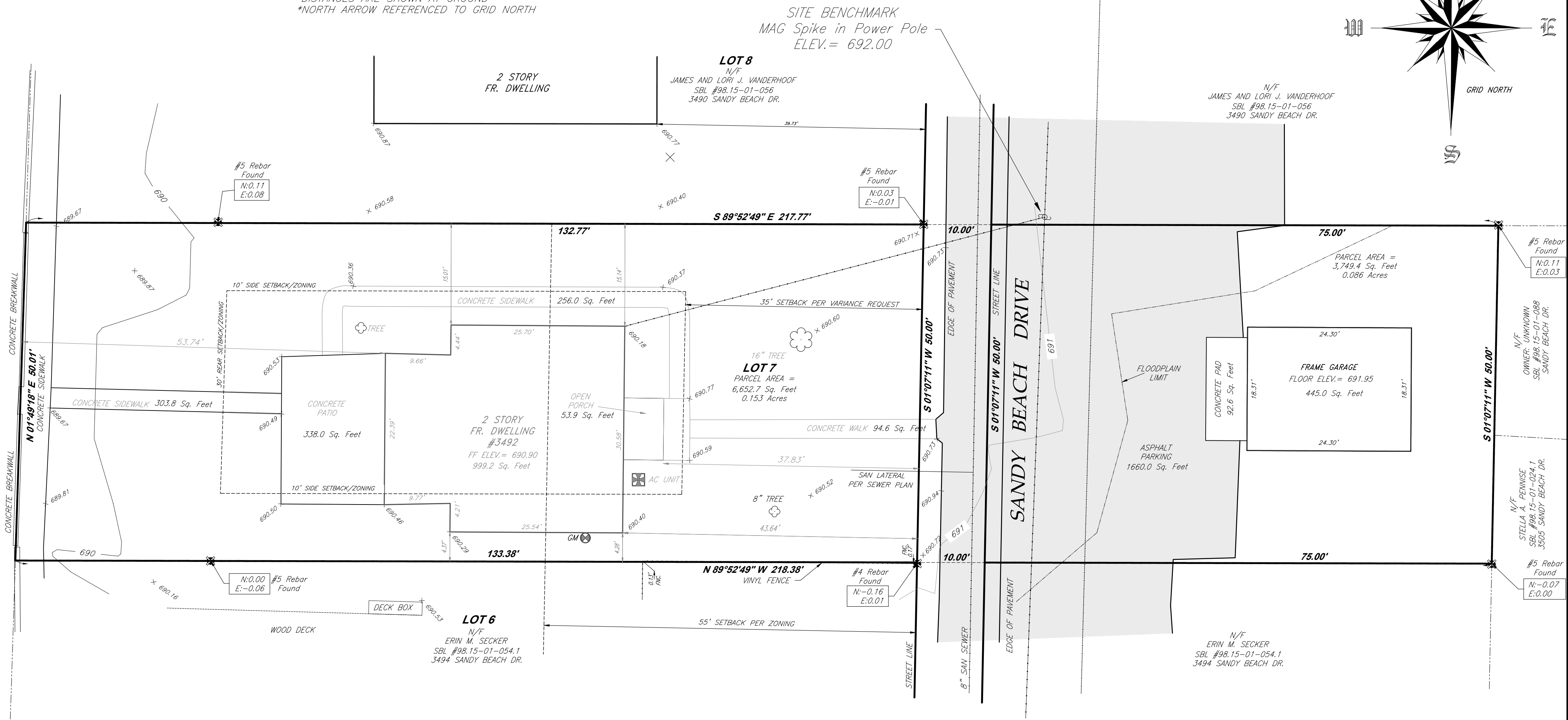
SURVEY CONTROL NOTES:

-BEARINGS SHOWN HEREON ARE REFERENCED TO THE STATE PLANE COORDINATE SYSTEM; NAD1983 (2011)-NY CENTRAL ZONE.

-ELEVATIONS SHOWN ARE REFERENCED TO NAVD 1988.
GEOID MODEL 2018.

*DISTANCES ARE SHOWN AT GROUND
*NORTH ARROW REFERENCED TO GRID NORTH

CANANDAIGUA LAKE



SITE DATA:

REQUIRED:

S.B.L. LOT NO. 098.015-01-055
ADDRESS: 3492 SANDY BEACH DRIVE
TOTAL SITE AREA = 10,402.1 SQ. FT. OR 0.239 ACRES
ZONING = RLD-RESIDENTIAL LAKESHORE DISTRICT

RLD ZONING:
LOT SIZE = 10,000-20,000 SQ. FT.
MINIMUM LOT WIDTH = 125 FT
MAXIMUM BUILDING HEIGHT = 25 FEET
MAXIMUM BUILDING COVERAGE = 20%
MAXIMUM LOT COVERAGE = 30%
MINIMUM SETBACKS:
FRONT = 55 FT
SIDE = 10 FT
REAR (LAKE) = 30 FT

EXISTING:

RLD ZONING: EXISTING
LOT SIZE = PRE-EXISTING 10,402.0 SQ. FT.
LOT WIDTH = PRE-EXISTING 50 FT
BUILDING COVERAGE = 1,498.1± SQ. FT. = 14.4%
LOT COVERAGE = 4,243.1± SQ. FT. = 40.79%
SETBACKS:
FRONT = 37.83 FT
SIDE = 4.28 FT
REAR (LAKE) = 53.74 FT

EXISTING BUILDINGS:
HOUSE: 999.2 SQ. FT.
OPEN PORCH: 53.9 SQ. FT.
GARAGE: 445.0 SQ. FT.

TOTAL: 1,498.1 SQ. FT.

EXISTING COVERAGE:
CONCRETE SIDEWALK: 303.8 SQ. FT.
CONCRETE PATIO: 338.0 SQ. FT.
CONCRETE SIDEWALK: 256.0 SQ. FT.
CONCRETE PAD: 92.6 SQ. FT.
CONCRETE WALK: 94.6 SQ. FT.
ASPHALT PARKING: 1660.0 SQ. FT.

TOTAL: 2,745 SQ. FT.

OVERALL: 4,243.1 SQ. FT.

REFERENCES:

MAPS:
1. PLAN OF LAND OF PATRICIA J. BLISS
PREPARED BY DAVID A. FREELAND, L.S.
DATED JULY 14, 1988

DEEDS:
1. LIBER 1097 OF DEEDS, PAGE 667

ABSTRACT OF TITLE:

THIS MAP WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE AND IS SUBJECT TO ANY EASEMENTS OR ENCUMBRANCES THAT AN UPDATED ABSTRACT OF TITLE MAY SHOW.

SIGNATURES:

TOWN ENGINEER DATE

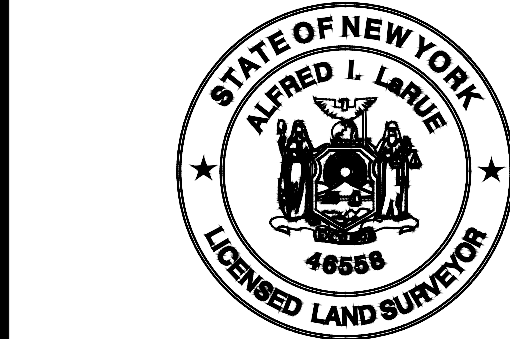
PLANNING BOARD CHAIRPERSON DATE

CERTIFICATION

I hereby certify to the parties listed here under that this map was made using the reference material listed hereon and the notes of an instrument survey performed in accordance with the current standards of the New York State Association of Professional Land Surveyors completed on January 24th, 2022.

TOM DELANEY

Alfred I. LaRue, N.Y.S.P.L.S. # 046558



DRAWING ALTERATION

THE FOLLOWING IS AN EXCERPT FROM THE NEW YORK STATE EDUCATION LAW, ARTICLE 145, SECTION 7209 AND APPLIES TO THIS DRAWING
"IT IS A VIOLATION OF THIS LAW FOR ANY PERSON UNLESS HE IS ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER OR LAND SURVEYOR TO ALTER AN ITEM IN ANY WAY, IF AN ITEM BEARING THE SEAL OF A LICENSED ENGINEER OR LAND SURVEYOR IS ALTERED, THE ALTERING ENGINEER OR LAND SURVEYOR SHALL AFFIX TO THE ITEM HIS SEAL AND THE WORDING "ALTERED BY" FOLLOWED BY HIS SIGNATURE AND THE DATE OF SUCH ALTERATION AND A SPECIFIC DESCRIPTION OF THE ALTERATION."

McMahon LaRue
Associates, P. C.
ENGINEERS AND SURVEYORS

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TOM DELANEY
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(585) 233-1247

PROJECT:

3492 SANDY BEACH DRIVE
TOWN OF CANANDAIGUA

DRAWING:

HOFF PROPERTY
EXISTING CONDITIONS MAP

SUBDIVISION LOT 7
TOWNSHIP 10, RANGE 3
PHELPS AND GORHAM PURCHASE
TOWN OF CANANDAIGUA, ONTARIO COUNTY
STATE OF NEW YORK

DESIGNED BY: AIL

DRAWN BY: JAT

CHECKED BY: ADB

S.B.L. #: 098.015-01-055

PROJ. NO: 2022-005

DATE: FEBRUARY 17, 2022

SCALE: 1" = 10'

CADD FILE:
2022-005

1 SHEET OF 4

SOIL AND TOPSOIL IS TEMPORARILY MOVED TO AN
OPEN AREA OF THE PARCEL FOR EVENTUAL
REDISTRIBUTION.

WE ARE PROPOSING 1 PHASE TO START
APPROXIMATELY APRIL 1, 2022 AND BE
COMPLETED BY SEPTEMBER 2022.

WE ARE PROPOSING TO REMOVE THE EXISTING
LAWN AND LANDSCAPING.

6594± SQ.FT. - WEST SIDE
1660± SQ.FT. - EAST SIDE

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THIS FLOODPLAIN IS DESIGNATED AS ZONE "AE"
HAZARD AREA PER FEMA MAP NO. 3605980020C,
HAVING AN EFFECTIVE DATE OF MARCH 3, 1997.
THIS FLOODPLAIN IS DESIGNATED AS ZONE "AE"
WITH A DESIGNATED ELEVATION OF 691.70 NAVD
29, 691.19 NAVD 88

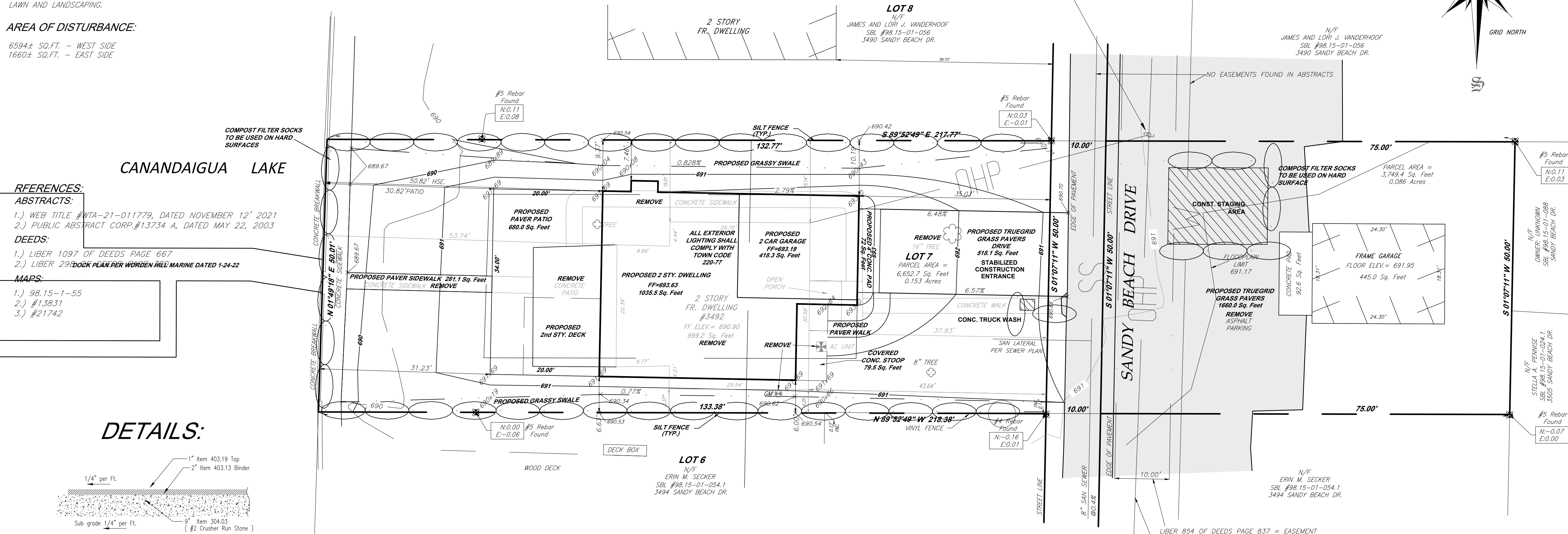
BEARINGS SHOWN HEREON ARE REFERENCED TO
THE STATE PLANE COORDINATE SYSTEM;
NAD1983 (2011)-NY CENTRAL ZONE.

*-ELEVATIONS SHOWN ARE REFERENCED TO NAVD
988.
GEOID MODEL 2018.*

*DISTANCES ARE SHOWN AT GROUND
*NORTH ARROW REFERENCED TO GRID NORTH

TOWN ENGINEER _____ DATE _____

PLANNING BOARD CHAIRPERSON _____ DATE _____



SYMBOL

10' MAX. C. TO C.

WOVEN WIRE FENCE (MIN. 14 1/2 GAUGE W/ MAX. 6" MESH SPACING)

36" MIN. LENGTH FENCE POSTS DRIVEN MIN. 16" INTO GROUND.

HEIGHT OF FILTER = 16" MIN.

8" MIN.

PERSPECTIVE VIEW

36" MIN. FENCE POST

WOVEN WIRE FENCE (MIN. 14 1/2 GAUGE W/ MAX. 6" MESH SPACING) WITH FILTER CLOTH

FLOW

UNDISTURBED GROUND

COMPACTED SOIL

EMBED FILTER CLOTH A MIN. OF 6" IN GROUND.

20" MIN.

16" MIN.

4" MIN.

SECTION VIEW

CONSTRUCTION SPECIFICATIONS

- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
- PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

U.S. DEPARTMENT OF AGRICULTURE
NATURAL RESOURCES CONSERVATION SERVICE
NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION
NEW YORK STATE SOIL & WATER CONSERVATION COMMITTEE

SILT FENCE

RLD ZONING, EXISTING
 LOT SIZE = PRE-EXISTING 10,402.1 SQ. FT.
 LOT WIDTH = PRE-EXISTING 50 FT
 BUILDING COVERAGE = 1,498.1± SQ. FT. = 14.4%
 LOT COVERAGE = 4,243.1± SQ. FT. = 40.79%
 SETBACKS:

FRONT = 37.83 FT
SIDE = 4.28 FT
REAR (LAKE) = 53.74 FT

EXISTING BUILDINGS:
HOUSE: 999.2 SQ. FT.
GARAGE: 445.0 SQ. FT.
OPEN PORCH: 53.9 SQ. FT.
TOTAL: 1,498.1 SQ. FT.
COVERAGE: 14.4%

EXISTING COVERAGE:
CONCRETE SIDEWALK: 303.8 SQ. FT.
CONCRETE PATIO: 338.0 SQ. FT.
CONCRETE SIDEWALK: 256 SQ. FT.
CONCRETE PAD: 92.6 SQ. FT.
CONCRETE WALK: 94.6 SQ. FT.
ASPHALT PARKING: 1660.0 SQ. FT.

TOTAL: 2,745 SQ. FT.

OVERALL: 4,243.1 SQ. FT.

S.B.L. LOT NO. 098.015-01-055
ADDRESS: 3492 SANDY BEACH DRIVE
TOTAL SITE AREA = 10,402.1 SQ. FT. OR 0.239 ACRES
ZONING = RLD-RESIDENTIAL LAKESHORE DISTRICT

RLD ZONING:
LOT SIZE = 10,000-20,000 SQ. FT.
MINIMUM LOT WIDTH = 125 FT
MAXIMUM BUILDING HEIGHT = 25 FEET
MAXIMUM BUILDING COVERAGE = 20%
MAXIMUM LOT COVERAGE = 30%
MINIMUM SETBACKS:

R/LD ZONING: PROPOSED
 LOT SIZE = 10,402.1 SQ. FT.
 LOT WIDTH = 50 FT
 BUILDING HEIGHT = 25 FEET
 BUILDING COVERAGE = 19.02%
 LOT COVERAGE = 29.84%
 SETBACKS:
 FRONT = 35 FT
 SIDE = 6 FT
 REAR (LAKE) = 50.82 FT

PROPOSED BUILDINGS:
HOUSE: 1035.5 SQ. FT.
GARAGE: 418.3 SQ. FT. (attached)
PORCH: 79.5 SQ. FT.
EXISTING GARAGE: 445.0 SQ. FT.

TOTAL: 1,978.3 SQ. FT.

PROPOSED COVERAGE:

CONCRETE PAD: 72 SQ. FT.
CONCRETE SIDEWALK: 281.1 SQ. FT.
EXISTING CONCRETE PAD: 92.6 SQ. FT.
PAVER PATIO: 680 SQ. FT.

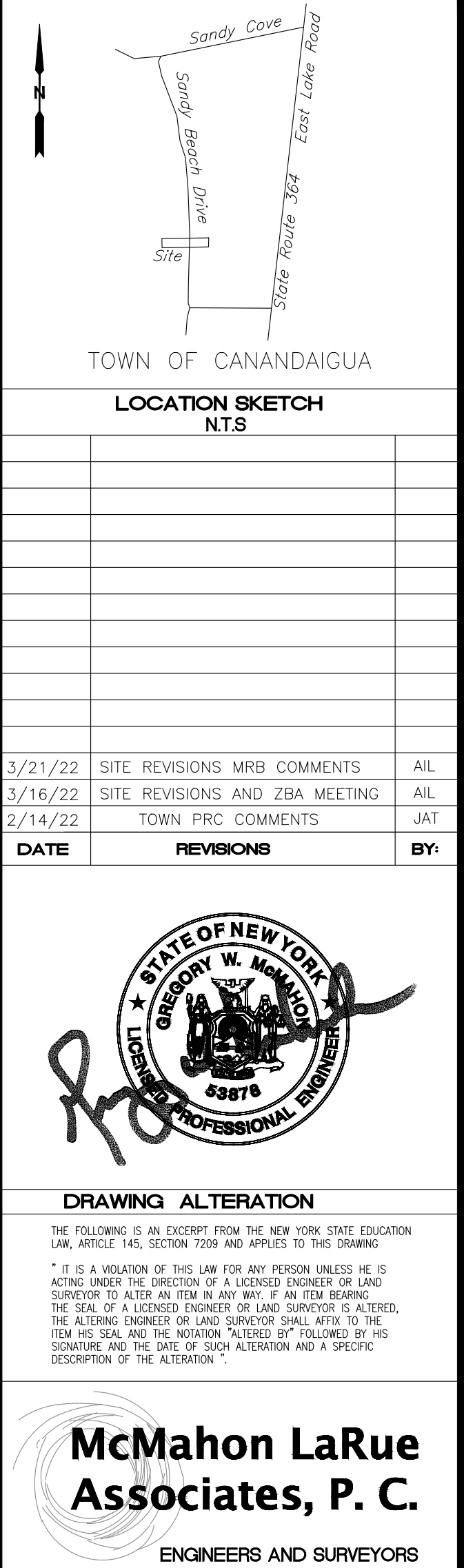
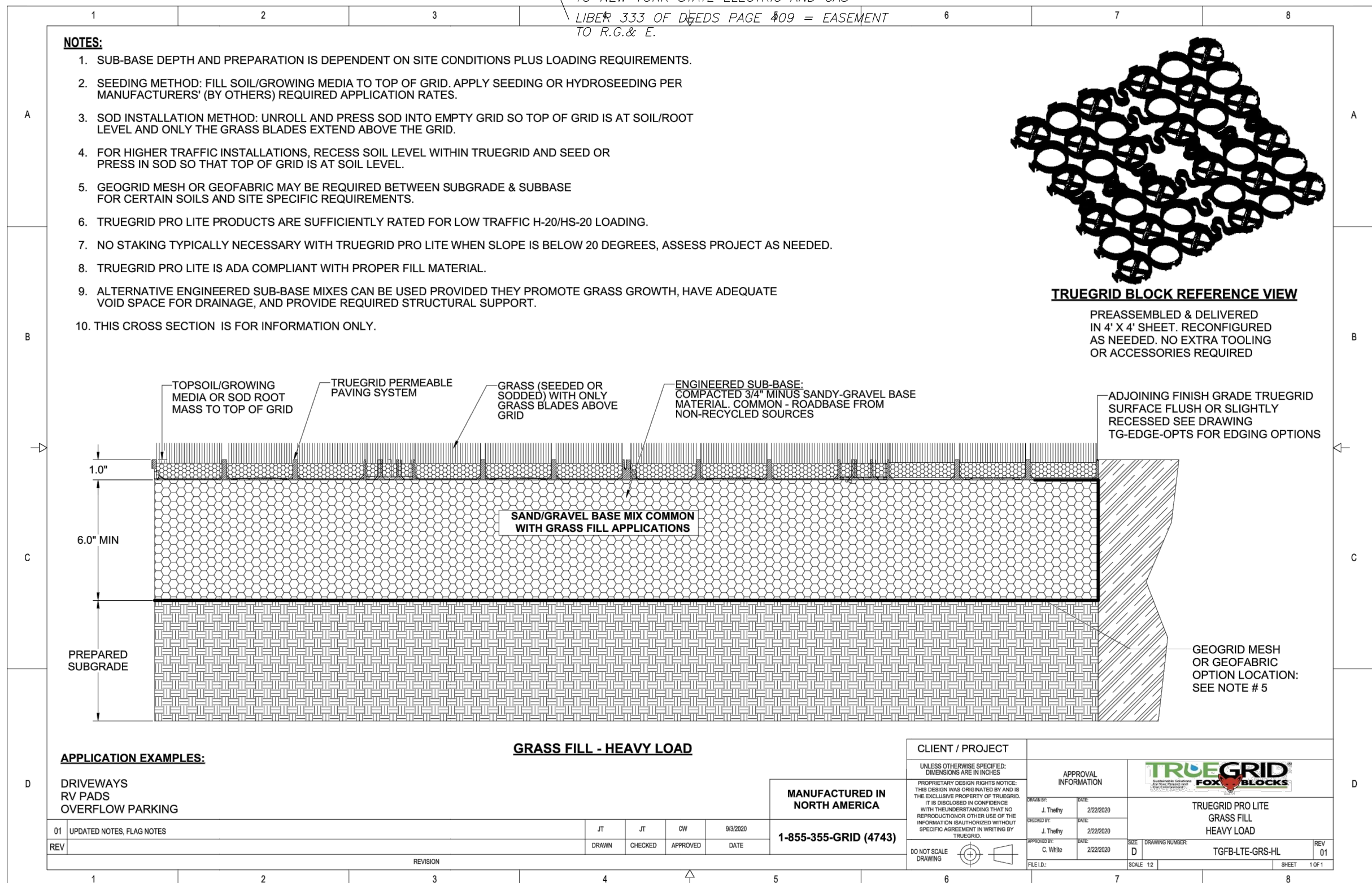
TOTAL: 1125.7 SQ. FT.

OVERALL COVERAGE: 3104 SQ. FT. 29.84%

NEW HOME TO UTILIZE EXISTING WATER, GAS,
ELECTRIC, AND SANITARY SEWER CONNECTIONS.

PRIMARY STRUCTURE:

Front setback 35' where 55' required (220-21 D2)
Side Setback 6' where 10' required (220-21 D2)
Side Setback 7.46' where 10' required (220-21 D2)



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PROJECT:

3492 SANDY BEACH DRIVE

TOWN OF CANANDAIGUA

DRAWING:

**PRELIMINARY AND FINAL
DELANEY SITE-UTILITY-GRADING
DEMOLITION PLAN**

SUBDIVISION LOT 7
TOWNSHIP 10, RANGE 3
PHELPS AND GORHAM PURCHASE
TOWN OF CANANDAIGUA, ONTARIO COUNTY
STATE OF NEW YORK

DESIGNED BY: AIL

DRAWN BY: AIL

CHECKED BY: GWM

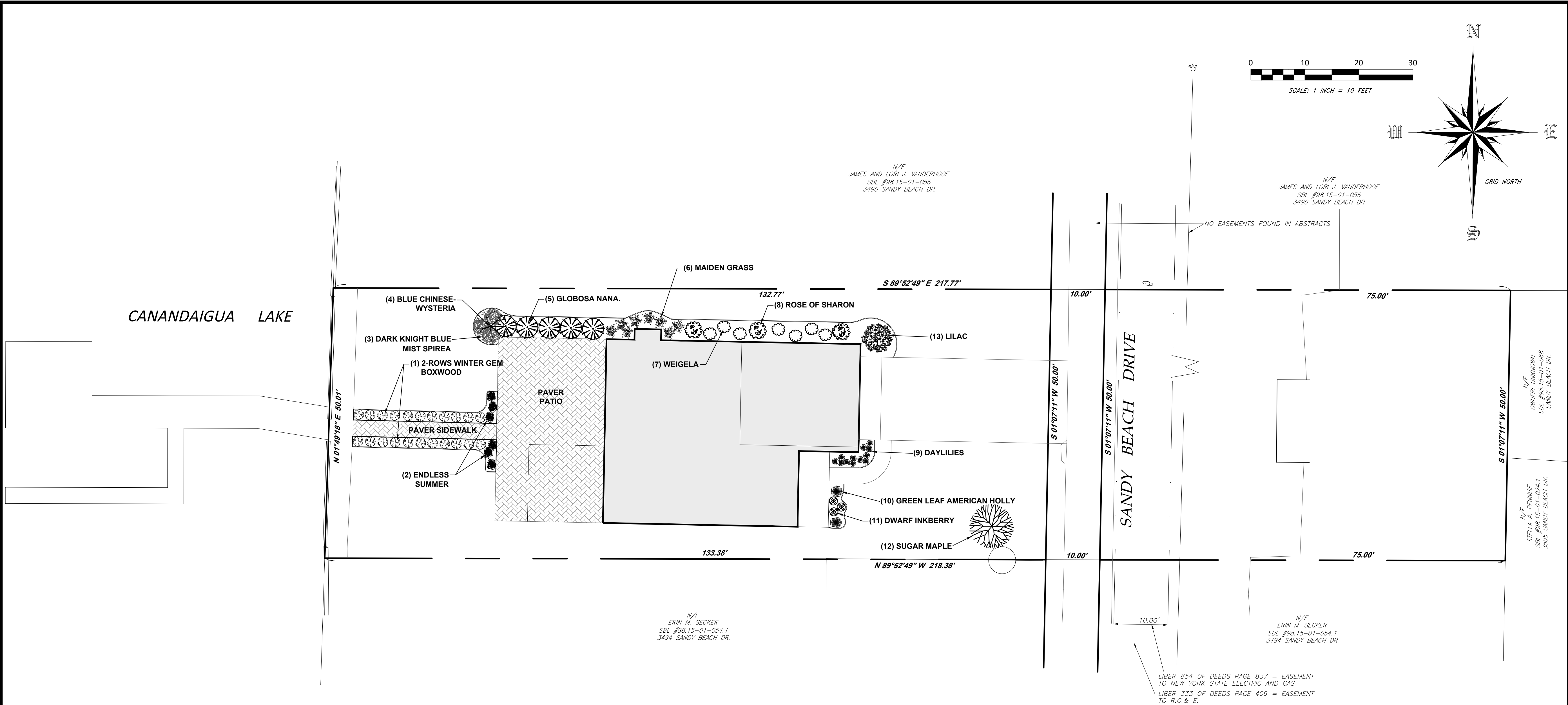
S.B.L. #	098.015-01-055
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File No. 2022-005

SCALE: 1" = 10'

SHEET	CADD FILE:
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2 OF 4 | 2022-005



PLANTING SCHEDULE:

SCIENTIFIC NAME:	COMMON NAME:	QUANTITY:	SIZE:
1. BUXUS MICROPHYLLA	WINTER GEM BOXWOOD	22	3 GALLON
2. HYDRANGEA MACROPHYLLA	ENDLESS SUMMER	6	3 GALLON
3. CARYOPTERIS CLANDONENSIS	DARK KNIGHT BLUE MIST SPIREA	3	3 GALLON
4. WISTERIA SINENSIS	BLUE CHINESE WYSTERIA	1	2" CALIPER
5. CRYPTOMERIA JAPONICA	GLOBOSA NANA	5	5-6 FEET
6. MISCANTHUS SINENSIS	MAIDEN GRASS	3	3 GALLON
7. WEIGELA FLORIDA	WINE+ROSE WEIGELA	6	2 GALLON
8. HIBISCUS SYRIACUS	ROSE OF SHARON	3	5 GALLON
9. HEMEROCALLIS	DAYLILY	5	2 GALLON
10. ILEX OPACA	GREEN LEAF AMERICAN HOLLY	2	42 INCHES
11. ILEX GLABRA	DWARF INKBERRY	3	3 GALLON
12. ACER SACCHARUM	SUGAR MAPLE	1	2 1/2" CALIPER
13. SYRINGA MEYERI PALIBIN	LILAC ON STANDARD	1	30 INCH B+B

PLANTINGS TO BE INSTALLED IN ACCORDANCE WITH TOWN GUIDELINES:

PLANTING NOTES:

- No Phosphorous shall be used at planting time unless soil testing has been completed and tested by a Horticultural Testing Lab and the soil specifically indicate a phosphorous deficiency that is harmful, or will prevent new lawns and planting from establishing properly.
- If soil tests indicate a phosphorous deficiency that will impact plant and lawn establishment, phosphorous shall be applied at the minimum recommended level prescribed in the soil test following all NYS DEC recommendations.

TOWN OF CANANDAIGUA

LOCATION SKETCH
NTS

3/21/22	ADDED PLANTING NOTES	AIL
3/16/22	REVISED SPECIES	AIL
DATE	REVISIONS	BY:

Gregory W. McMahon
Professional Engineer
63878

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PROJECT:

3492 SANDY BEACH DRIVE

TOWN OF CANANDAIGUA

DRAWING:

LANDSCAPING PLAN

PART OF TOWN LOT 7
TOWNSHIP 10 - RANGE 3
PHELPS AND GORHAM PURCHASE
TOWN OF CANANDAIGUA, ONTARIO COUNTY
STATE OF NEW YORK

DESIGNED BY:	AIL
DRAWN BY:	AIL
CHECKED BY:	
SBL #:	098.015-01-055
PROJ. NO:	2022-005
DATE:	FEBRUARY 17, 2022
SCALE:	1" = 10'

3	SHEET OF	4	CADD FILE: 2022-005
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