

Site Details:
Existing Zoning is Residential Lake District (RLD)
Minimum Lot Size: 20,000 SQ. FT. (12,598 SQ FT EXT.)
Minimum Lot Width: 125 FT
Front Setback: 55 FT.
Rear Setback: 30 FT.
Side Setback: 10 FT.
Maximum Building Height = 25 FT.
Maximum Building Coverage on Lot = 20%
Maximum Lot Coverage = 30%

Contours derived from NAVD88 Datum

Flood Zones AE & X Per Community Panel
No. 360598 0020 C Last Dated March 3, 1997.

Existing Lot Coverage Calculations: Sq.Ft
House.....915.0
Garage.....907.0
Driveways.....1340.0
Deck.....37.0
Shed.....50.0
Walkway.....203.0
Patio.....818.0

Total Coverage.....4,270.0
Total Site Area.....12,598.0
Building Coverage.....15.15%
Total Lot Coverage.....33.9%

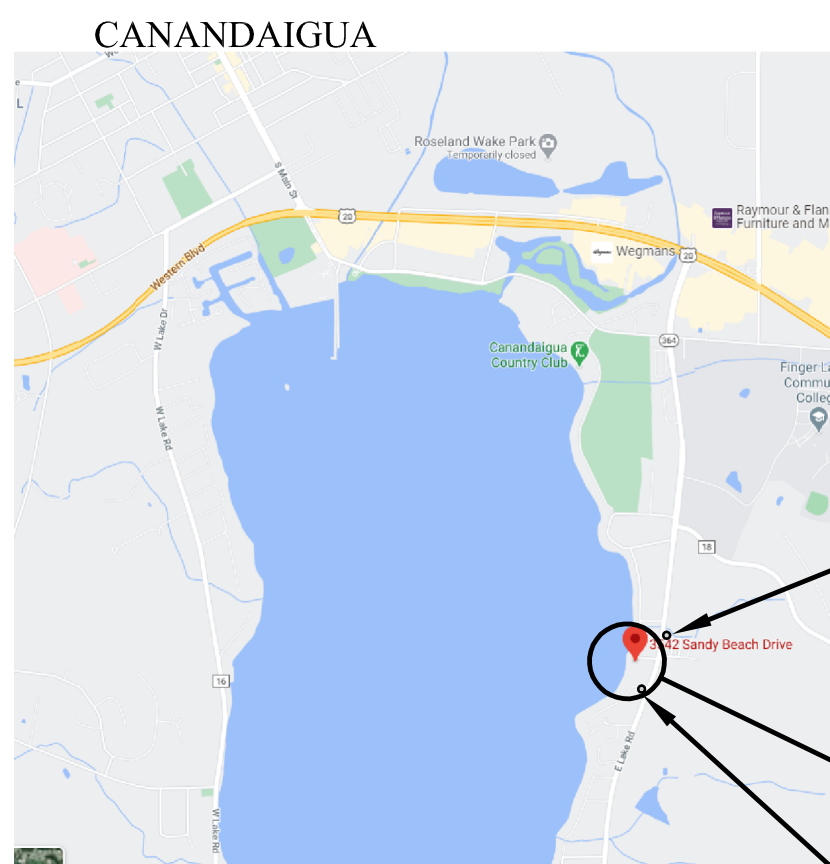
---house to be demo'd.....(-915sf)
---portion to be removed.....(-645sf)
---shed to be removed.....(-50sf)
---portion to be removed.....(-148sf)
New house.....1,632sf

New Coverage.....4,144.0
New Bldg. Coverage.....20.00% (up 4.85% from existing)
New Lot Coverage.....32.9% (down 1.0% from existing)

	PROPOSED	REQUIRED
ZONING/ USE - PRINCIPAL	NEW HOUSE	RLD
FRONT SETBACK	41.33'	55.0'
SIDE SETBACK	9'-0" 10'-0" exist. No. 10'-0" prop.	10'-0"
REAR SETBACK	existing 42.75'	30'-0"
BUILDING HEIGHT	25.00'	25'-0"

ZONING BOARD OF APPEALS GRANTED AN AREA
VARIANCE FOR FRONT YARD SETBACK, DATED
JANUARY 19, 2021. REQUESTED 41.33ft FRONT SETBACK
WHEN 55.00ft IS MIN: 13.67 FRONT SETBACK GRANTED.

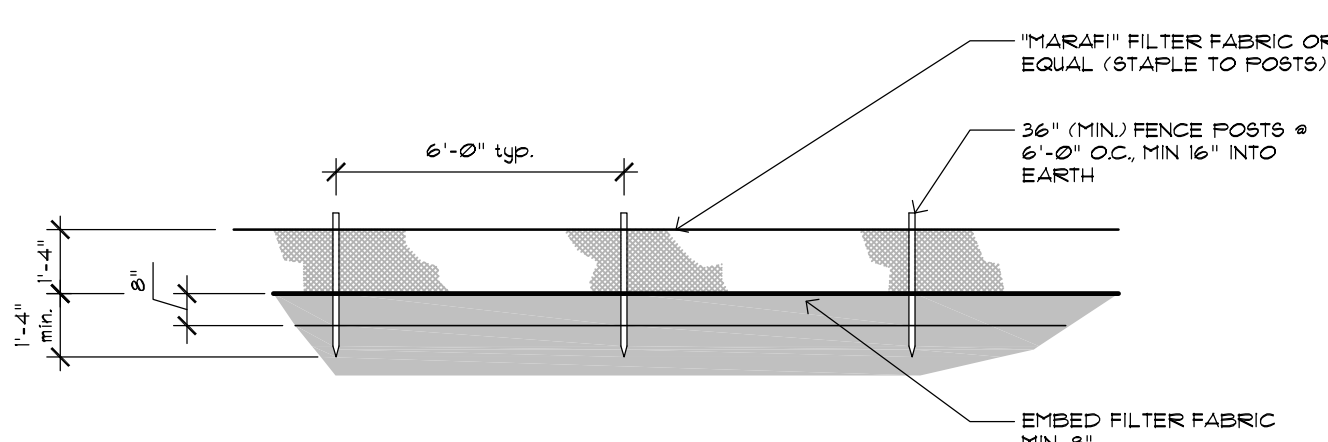
PLANNING BOARD CHAIRMAN	DATE
TOWN ENGINEER	DATE
WATER SUPERINTENDENT	DATE



Fire hydrant @
3521 E. Lake Rd.

PROJECT LOCATION 3542
SANDY BEACH DRIVE.
(image from google maps)
Fire hydrant @ intersection of
Otetiana Point & East Lake Road.

LOCATION MAP
SCALE: n.t.s.



TYPICAL SILT FENCE DETAIL
SCALE: n.t.s.

LANDSCAPING, GRADING AND EROSION CONTROL

1. Topsoil shall be stripped from building excavation area and all areas to receive new pavement, including walks, and stockpile for use in new seeded and landscaped areas. Provide seeding of all stockpiled earth areas.
2. Prior to Construction, all erosion control measures in undisturbed area shall be placed as shown on the plans. Immediately following earth operations, remaining erosion control measures shall be installed.
3. All erosion control measures shall be maintained during the period of construction to the satisfaction of the Town of Irondequoit, and shall remain in place until so authorized by the local Zoning officer to proceed with their removal.
4. All disturbed areas to be topsoiled and seeded. Topsoil to be spread to a minimum depth of 6", and shall be of good quality and fine raked to elevations shown on the plan. All areas of topsoil spreading by the Contractor shall be seeded and mulched by the Contractor immediately after final grading.
5. All vegetation removed during clearing and grubbing shall be disposed of off site in a legal manner. All existing trees and vegetation shall be removed as necessary to complete the work unless specified to remain.

CONSTRUCTION SEQUENCE:

1. Install temporary erosion control measure including but not limited to: silt fence, stabilized entrances, etc.
2. The Contractor shall selectively remove vegetation and roots as required.
3. Place silt fence for stockpile area.
4. Strip topsoil.
5. Construct building and install utilities.
6. In the event there is a sediment discharge or failure, the Contractor or Owner shall be responsible for restoration.
7. Final grade, seed, and mulch disturbed areas as soon as possible.
8. Install dry swale after areas contributing drainage

GENERAL NOTES

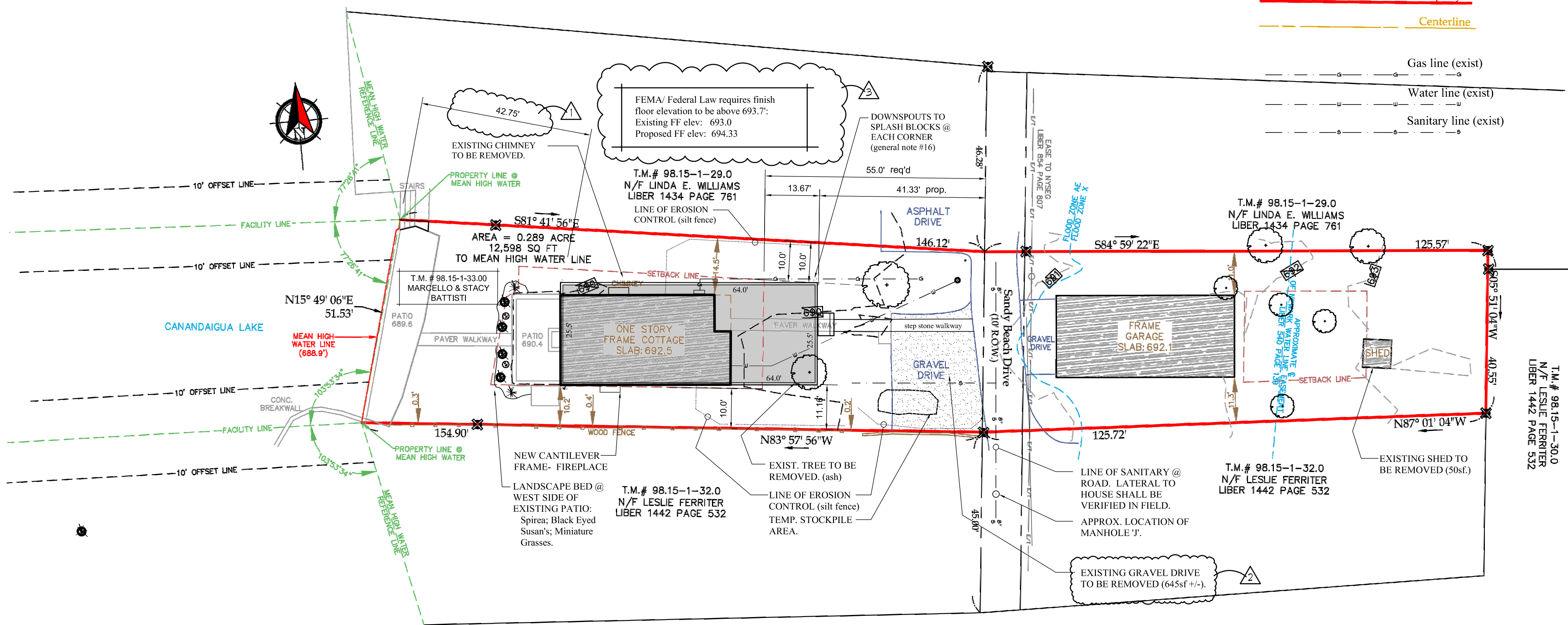
1. The Contractor shall verify the location and sizes and elevations of all existing utility mains and laterals and/or entrances. The Contractor shall be responsible for determining the exact location and depth of all utilities and structures within the path of or closely parallel to or under the proposed construction area. Notify Underground Facilities Protective Organization (UFFPO) two days prior to any digging, drilling or blasting, at 1-800-962-7962, for a utility stake out.
2. The Contractor shall be responsible for all damages and repairs to all utilities, public and private roadways, sidewalks and structures, including signs, resulting from his work.
3. The roadway shall be kept free of debris during construction, and safe and continuous ingress and egress traffic shall be maintained throughout the period of construction. Contractor shall confine his work to areas within property lines.
4. Proper warning signs and barricades shall be in place prior to the commencement of construction. All excavations shall be properly backfilled or barricaded at the end of each working day.
5. The Contractor is responsible for safety control devices. Such devices (barricades, fencing, etc.) shall be implemented to minimize risk of injury to pedestrians and workers. Construction activity shall be conducted within compliance with OSHA guidelines.
6. Plans are graphic representations of work to be performed. These plans are intended to convey engineering information only.
7. Contractor to verify all property lines, locations, grades and inverts and notify Engineer of any discrepancies prior to the start of work.
8. All specified materials are to be installed as per manufactures recommendations or industry standard.

9. Engineer and Architect do not hold any liability for system failure. Any system modifications or deviations from the approved plans, NYS Building Codes, and/or local regulations required by site constraints, unforeseen conditions or covering authorities will be done at the risk of the client.
10. All construction shall comply with current NYS and local building codes as well as National Electric Code.
11. The Contractor shall verify the Building Foundation "footprint" and location with the Architect prior to commencement of the work.
12. Water Service: To remain on site. - Adjust as necessary.
13. Sanitary Lateral: To remain on site. - Adjust as necessary.
14. Gas and Telephone services to remain on site. - Adjust as necessary.
15. Existing overhead Electric service to be removed. New underground service to be provided. Location to be determined per site conditions.
16. Storm Sewer shall remain - be modified per new footprint and driveway. Once existing conditions have been identified, modifications shall be documented for file record. Downspout shall be at each corner of house w/ splash blocks in direction away from neighboring properties.
17. All General Contractors and Subcontractors shall visit the Site prior to submitting bids to familiarize themselves with existing conditions and to determine the exact scope of work.
18. All utilities shall be underground- N/A no new utilities are scheduled.
19. No new site grading is scheduled or anticipated for the project. Intent for site and the new construction is to keep existing as much as possible, and for the new building to be over the footprint of the existing.
20. No phosphorous shall be used at planting time unless testing has been completed by a Horticultural Testing Lab. If test indicates a phosphorous deficiency, phosphorus shall be applied following NYS DEC regulations.
21. All exterior lighting shall be dark sky compliant and not directed onto the neighboring properties.

Site Plan information as taken from an instrument survey file drawing provided (prepared and certified) by Venezia Land Surveyors and Civil Engineers - LS #050864, completed September 8, 2020.

Proposed house, addition detail updated by Hanlon Architects.

Legend	
✗ Iron pin or pipe found	▲ P.K. nail found
▲ Iron pin set	▲ P.K. nail set
● Drill hole	□ Concrete Monument
⬢ Benchmark	⬢ Benchmark
-> Utility pole	-> Utility lines
--- E/T	--- E/T
--- R.O.W. line	--- R.O.W. line
--- Property lines	--- Property lines
--- Centerline	--- Centerline



SITE PLAN SKETCH
SCALE: 1"=20'-0"



BATTISTI RESIDENCE
3542 SANDY BEACH DRIVE
CANANDAIGUA, NEW YORK

REVISIONS:
10-19-20 Revised per PRC comments
10-23-20 REV. Zoning Officer comment
12-9-20 REVISIONS TO REMOVE LOT
12-16-20 REV. PER PRC COMMENTS
1-14-21 REV. PER NEW HOUSE FOOTPRINT
2-4-21 REV. PER PB 1-25-21 MTS.

DATE: 10-6-20

SITE PLAN
SKETCH

DRAWING TITLE:

SP-1

SHEET NO:

PROJECT NO: 20-130



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BATTISTI RESIDENCE
3542 SANDY BEACH DRIVE

CANANDAIGUA, NEW YORK

REVISED:
FULL DRAWING REVISION
11-12-20
12-9-20
12-18-20
1-14-21
2-4-21
REISSUED W/ REV SITE PLAN
FULL Dwg REV. PER NEW FOOTPRINT
FULL Dwg REV. PER NEW FOOTPRINT

DATE: 10-6-20

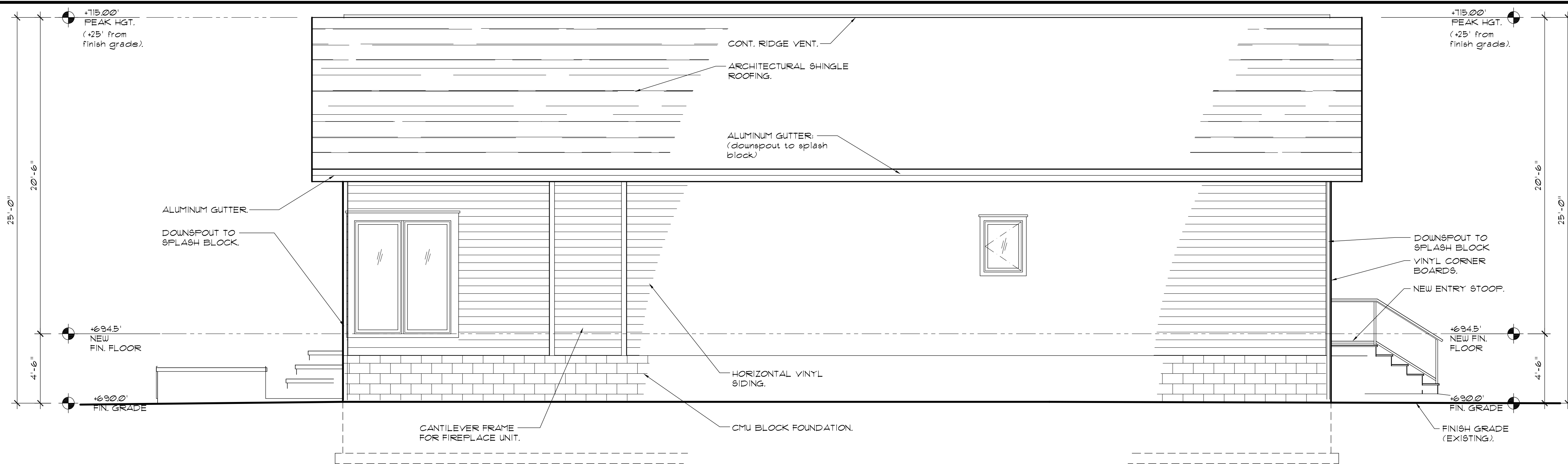
EXTERIOR
ELEVATIONS

DRAWING TITLE:

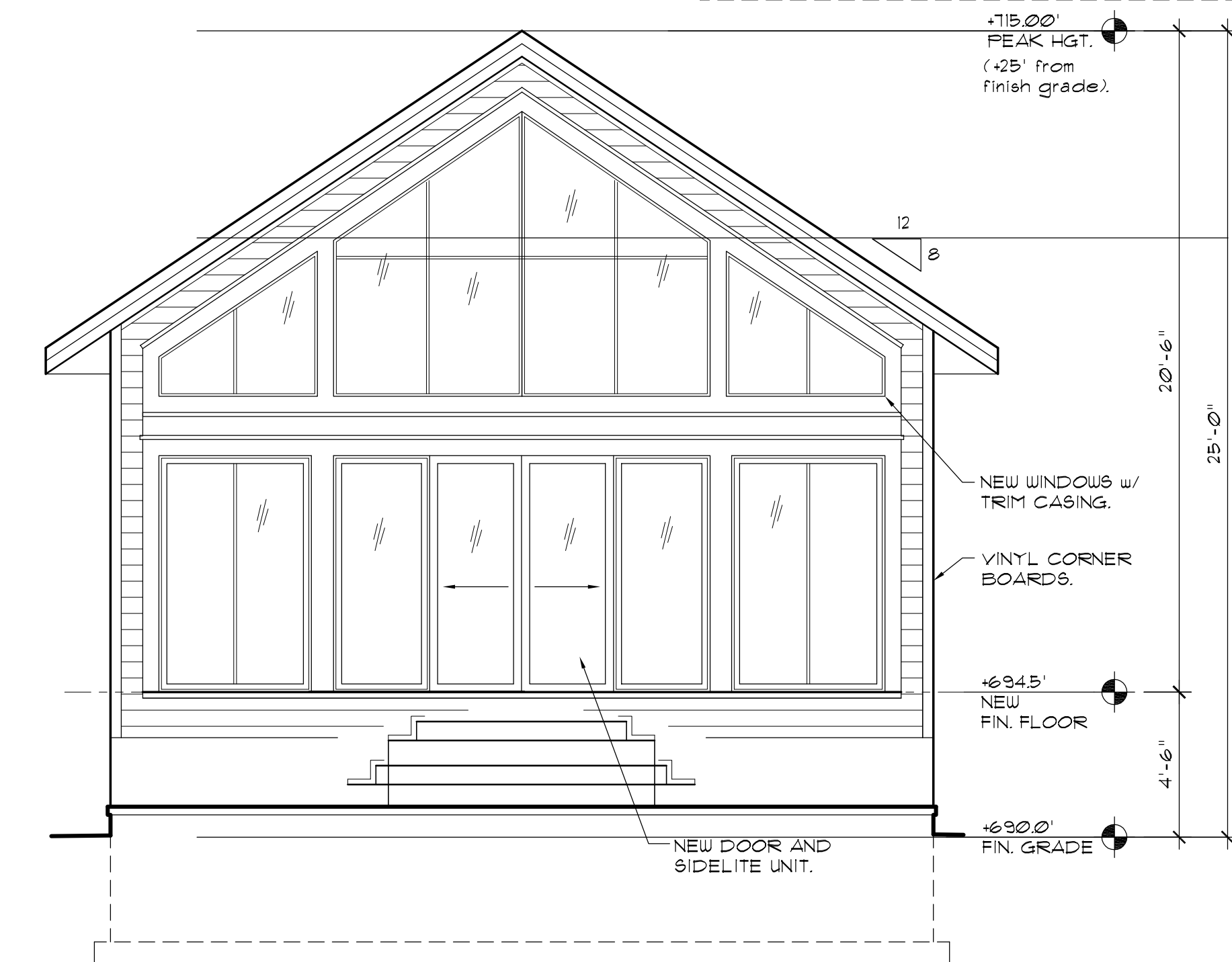
A4

SHEET NO:

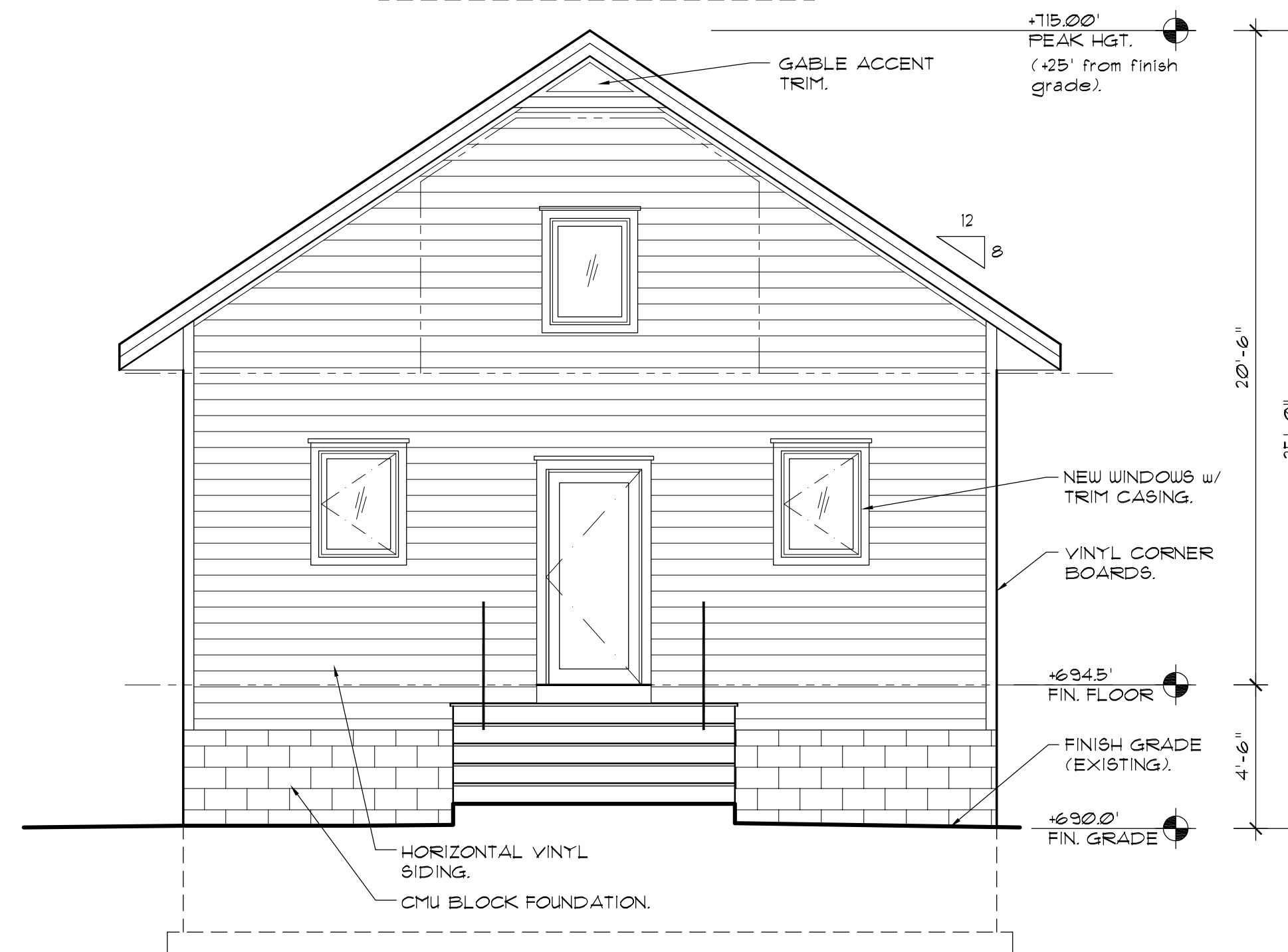
PROJECT NO: 20-130



3 SOUTH ELEVATION
A4 SCALE: 1/4"=1'-0"

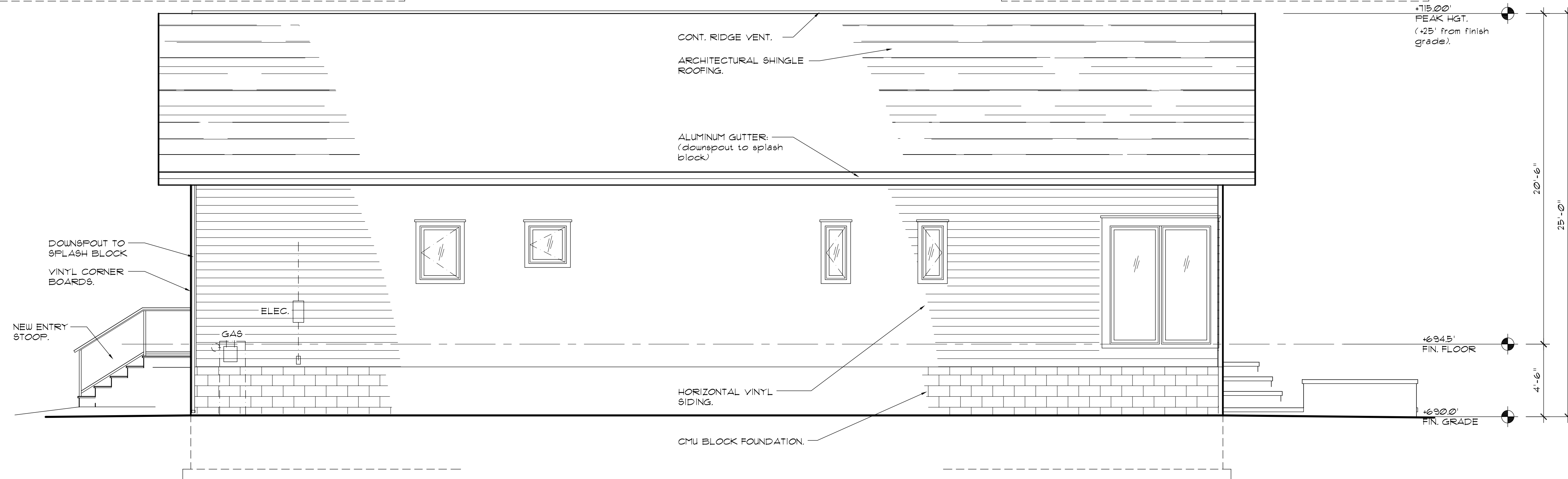


4 WEST ELEVATION
A4 SCALE: 1/4"=1'-0"



2 EAST ELEVATION
A4 SCALE: 1/4"=1'-0"

FEMA/ Federal Law requires finish floor elevation to be above 693.7';
Existing FF elev: 693.0
Proposed FF elev: 694.33



1 NORTH ELEVATION
A4 SCALE: 1/4"=1'-0"