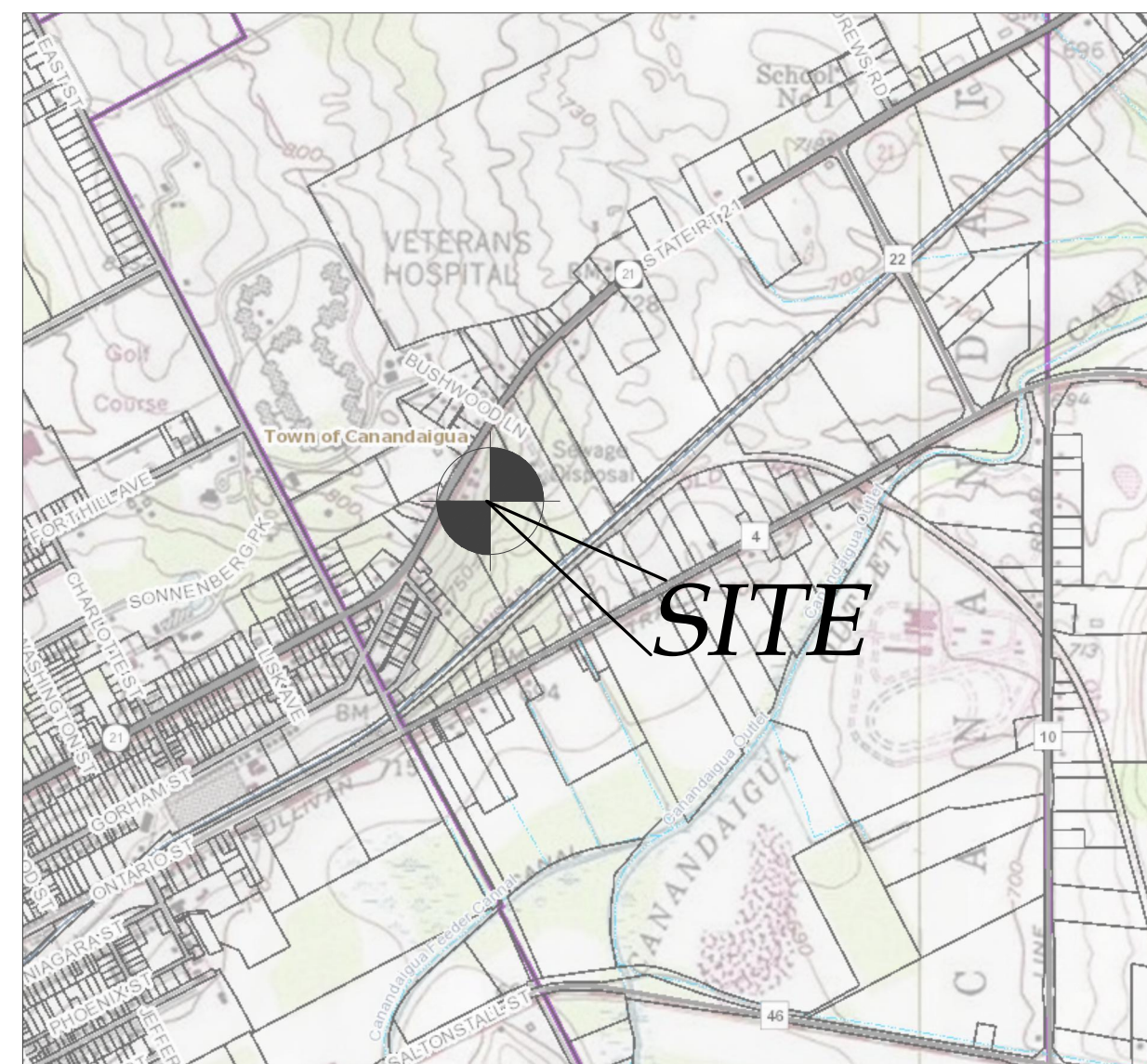


*FINAL SITE PLANS FOR:*

# *CHAD L. MOUNT & BROOKE E. HELKER*

*NEW YORK STATE ROUTE 21  
TOWN OF CANANDAIGUA  
COUNTY OF ONTARIO  
STATE OF NEW YORK  
JUNE 14, 2019*



LOCATION MAP  
NTS



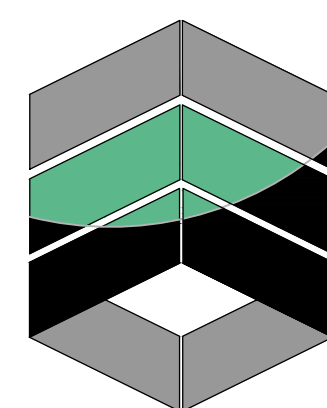
AERIAL MAP (ONCOR) — FOR REFERENCE ONLY  
NTS

INDEX-  
COVER  
G-01 - GENERAL NOTES  
C100 - SITE PLAN  
C500 - GENERAL DETAILS

PROPERTY OWNER:  
CHAD L. MOUNT & BROOKE E. HELKER



NOT FOR CONSTRUCTION



## MarksEngineering

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- CONSTRUCTION SEQUENCE:**
- 1) INSTALL SILT FENCE, STABILIZED CONSTRUCTION ENTRANCE AND OTHER TEMPORARY CONTROLS.
  - 2) STRIP AND STOCKPILE TOPSOIL FOR HOUSE
  - 3) EXCAVATE FOUNDATION AND ROUGH GRADE SITE.
  - 4) BUILD FOUNDATION AND STRUCTURES
  - 5) INSTALL UTILITIES
  - 6) BACKFILL FOUNDATION AFTER FIRST FLOOR FRAMING IS COMPLETE
  - 7) RESPREAD TOPSOIL AROUND HOUSE, FINAL GRADE SEE AND MULCH
  - 8) STRIP TOPSOIL FROM LEACH FIELD
  - 9) INSTALL TANKS, RAISED FILL AND ABSORPTION BED.
  - 10) RESPREAD TOPSOIL FINAL GRADE SEE AND MULCH
  - 11) REMOVE TEMPORARY CONTROLS AFTER SITE STABILIZED WITH VEGETATION.

**SITE NOTES:**

1. THE CONSTRUCTION SITE IS NOT WITHIN 100' OF A WETLAND AS DELINEATED BY NYS DEC. THERE ARE NOT NYS DEC DELINEATED OR APPARENT WETLANDS ON THE PROPERTY AS SHOWN.
2. THE CONSTRUCTION SITE IS NOT WITHIN A 100 YEAR FLOODPLAIN AS DELINEATED BY FEMA MAP#5613008 DATED FEBRUARY 27, 1984.
3. WATER SUPPLY: PUBLIC WATER – TOWN OF CANANDAIGUA
4. NYS SPDES PERMIT IS NOT REQUIRED FOR THESE CONSTRUCTION ACTIVITIES. DISTURBANCE SHALL BE LESS THAN ONE ACRE. IF THE CONTRACTOR OR OWNER AT ANY TIME PLAN DISTURB GREATER THAN AN ACRE THE ENGINEER SHALL BE NOTIFIED.
5. ALL NEW OUTDOOR LIGHTING ON SHALL HAVE APPROPRIATE SHIELDS AND CUT-OFF TO LIMIT ILLUMINATION OF OTHER PROPERTIES. ALL LIGHTS SHALL BE DARK SKY COMPLIANT.
6. ELEVATION DATUM: NAVD 88 GEOID 128

**DRIVEWAY AND GRADING NOTES:**

1. DRIVEWAY SHALL NOT EXCEED 12% TRAVERSING SLOPE AND 2% CROSS SLOPE.
2. DRIVEWAY SHALL BE MINIMUM 12 FEET IN WIDTH.
3. DRAINAGE SWALES SHALL HAVE A MINIMUM DEPTH OF 12" AND MINIMUM WIDTH OF 4'. SWALES SHALL HAVE A LINEAR SLOPE OF MINIMUM 2% (1' RISE PER 50' RUN) AND MAXIMUM SIDE SLOPE OF 1' RISE PER 3' RUN.
4. ALL WORK WITHIN RIGHT-OF-WAY SHALL BE PERMITTED BY NYS DOT AND COORDINATE W/ INSPECTOR.

**EROSION AND SEDIMENT CONTROL NOTES:**

1. THE CONTRACTOR IS RESPONSIBLE FOR THE CONTROL OF EROSION AND SEDIMENTATION DURING CONSTRUCTION. SILT FENCE SHALL BE INSTALLED AND MAINTAINED AS NEEDED.
2. SOIL DISTURBANCES SHALL BE STABILIZED IMMEDIATELY. DISTURBED SOIL THAT WILL REMAIN LONGER THAN 14 DAYS SHALL BE TEMPORARILY STABILIZED WITHIN 7 DAYS. SOIL SHALL BE STABILIZED WITH NORTHERN GRASS SEED MIXTURE OR APPROPRIATE SEED MIXTURE FOR CONDITIONS. GRASS SEED SHALL BE INSTALLED PER MANUFACTURES SPECIFICATIONS. MULCH STRAW APPLIED AT A RATE OF 2 BALES / 1000 SQFT OR SEED MIXTURE TO PROTECT SITE UNTIL SEED GERMINATES. HYDRO-SEED MAY BE INSTALLED AS AN ALTERNATE.
3. CONTRACTOR SHALL INSPECT THE SITE DAILY FOR SIGNS OF EROSION. IF ANY EROSION OR SEDIMENTATION OCCUR CONTRACTOR SHALL IMMEDIATELY PROVIDE PROPER CONTROLS TO STABILIZE THE SITE. ENGINEER WILL RECOMMEND CONTROLS IF REQUIRED.
4. SLOPE GREATER THAN 4 ON 1 SHALL BE STABILIZED WITH JUTE FABRIC INSTALLED AS PER MANUFACTURES SPECIFICATIONS AS REQUIRED.
5. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN STALLED IN ACCORDANCE WITH NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENTATION CONTROLS.
6. INSTALL AND MAINTAIN TEMPORARY DIVERSION SWALES AS NEEDED TO CONTROL RUNOFF DURING CONSTRUCTION.
7. THE SITE SHALL BE COMPLETELY STABILIZED FOLLOWING CONSTRUCTION ACTIVITIES AND ALL TEMPORARY EROSION CONTROL DEVICES SHALL BE REMOVED AND DISPOSED OF PROPERLY.

**SEPTIC TANK NOTES:**

1. A NEW 1250 GAL 2 COMPARTMENT CONCRETE AS MANUFACTURED BY KISTNER OR EQUAL SHALL BE INSTALLED ON MIN 12" OF COMPACTED CLEAN SAND OR 5" WASHED AGGREGATE 3/4-1 1/2". TANK SHALL BE INSTALLED PER MANUFACTURES RECOMMENDATIONS.
2. PROVIDE A NEW PRECAST 7-HOLE DISTRIBUTION BOX SET ON MIN 12" COMPACTED SAND.
3. PROVIDE RISER ON TANKS IF BURIED AT A DEPTH MORE THAN 12".
4. MAINTENANCE: SEPTIC TANK SHALL BE INSPECTED ANNUALLY TO DETERMINE SCUM AND SOLIDS ACCUMULATION. MOST TANKS SHOULD BE PUMPED OUT EVERY 2-3 YEARS. SEPTIC TANKS MUST BE PUMPED OUT WHENEVER THE BOTTOM OF THE SCUM LAYER IS WITHIN 3" OF THE BOTTOM OF THE OUTLET BAFFLE OR THE TOP OF THE SLUDGE IS WITHIN 10" OF THE BOTTOM OF THE OUTLET BAFFLE.

**WASTEWATER TREATMENT SYSTEM NOTES:**

1. THESE PLANS ARE PREPARED IN COMPLIANCE WITH THE PUBLIC HEALTH LAW, APPENDIX 75-A, OF PART 75, OF THE ADMINISTRATIVE RULES AND REGULATIONS CONTAINED IN CHAPTER 10, OF TITLE 10 (HEALTH) OF THE OFFICIAL COMPILATION OF CODES, RULES, AND REGULATIONS OF THE STATE OF NEW YORK.
2. ABSORPTION TRENCHES SHALL BE INSTALLED PARALLEL TO CONTOURS. CONTOURS SHOWN ARE GRAPHIC REPRESENTATIONS OF SITE. CONTRACTOR IS TO VERIFY GRADE AND LAYOUT OF ABSORPTION TRENCH PRIOR TO CONSTRUCTION.
3. AT NO TIME SHALL ANY MACHINERY OR VEHICLE DRIVE OVER TRENCHES. TRACKED EQUIPMENT CAN BE DRIVEN PERPENDICULAR TO TRENCHES AS REQUIRED TO BACKFILL BUT NOT IN EXCESS.
4. THE CONTRACTOR IS TO NOTIFY ENGINEER AFTER COMPLETION OF WORK, WHILE SYSTEM IS OPEN AND SCHEDULE FINAL INSPECTION. AFTER FINAL INSPECTION BY THE ENGINEER, THE SYSTEM MAY BE CLOSED.
5. THE SYSTEM SITE IS TO BE SEEDED, MULCHED, AND RETURNED TO THE VEGETATIVE STATE AS SOON AS POSSIBLE.
6. THE SYSTEM IS TO BE KEPT MOWED AT ALL TIMES, FREE OF TRAFFIC OR HEAVY WHEELED VEHICLES, AND FREE OF SHRUB OR TREE CANOPY FOR THE DURATION OF ITS USE.
7. DO NOT ATTEMPT TO INSTALL SYSTEM ON FROZEN GROUND, WET CONDITIONS OR LEAVE SYSTEM UNCOVERED FOR EXTENDED PERIODS OF TIME.
8. NO HOT TUBS, SAUNAS, ROOF DRAINS, WATER CONDITIONING BACKWASH SYSTEMS, SLUMP CROCKS ETC. SHALL BE INCORPORATED INTO THIS SYSTEM UNLESS OTHERWISE SPECIFIED.
9. EXPANSION AREA SHALL REMAIN CLEAR OF ALL LANDSCAPING, SHRUBS, TREES, AND STRUCTURES. THE EXPANSION AREA SHALL BE MAINTAINED AS LAWN. FUTURE ACCESS TO THIS AREAS SHALL NOT BE LIMITED.
10. SOIL PIPE AND HOUSE SHALL BE VENTED THROUGH THE ROOF OF THE NEW DWELLING W/ AT LEAST ONE 3" VENT MAXIMUM OF 4' HORIZONTALLY AWAY FROM INSIDE OF FOUNDATION WALL. A 4" CLEAN-OUT SHALL BE PROVIDED AT A POINT JUST INSIDE THE FOUNDATION WALL.

**GENERAL NOTES:**

1. THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES AND PROPERTY MARKERS. IT IS THE NYS LAW TO CALL NYS DIG SAFE FOR UFPO (811) PRIOR TO ANY EXCAVATION.
2. THE ROADWAY SHALL BE KEPT FREE OF DEBRIS DURING CONSTRUCTION.
3. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY CONTROL DEVICES. SUCH DEVICES (BARRICADES, FENCING, ETC.) SHALL BE IMPLEMENTED TO MINIMIZE RISK OF INJURY TO PEDESTRIANS AND WORKERS. CONSTRUCTION ACTIVITY SHALL BE CONDUCTED WITHIN COMPLIANCE WITH OSHA GUIDELINES.
4. PLANS ARE GRAPHIC REPRESENTATIONS OF WORK TO BE PERFORMED. THESE PLANS ARE TO INTENDED TO CONVEY ENGINEERING INFORMATION ONLY.
5. CONTRACTOR TO VERIFY ALL LOCATIONS, GRADES AND INVERTS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF WORK.
6. ALL SPECIFIED MATERIALS ARE TO BE INSTALLED AS PER MANUFACTURES RECOMMENDATIONS OR INDUSTRY STANDARD.
7. ANY SYSTEM MODIFICATIONS OR DEVIATIONS FROM THE APPROVED PLANS, NYS BUILDING CODES, AND/OR LOCAL REGULATIONS REQUIRED BY SITE CONSTRAINTS, UNFORESEEN CONDITIONS OR GOVERNING AUTHORITIES WILL BE DONE AT THE RISK OF THE CLIENT.

**STANDARD NOTES**

1. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE WATER/SEWER AGENCIES, UNLESS OTHERWISE NOTED.
2. A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED TO CONFORM WITH THE LATEST NYSDEC GENERAL PERMIT AND TO THE TOWN REQUIREMENTS REGARDING MAINTENANCE AND CONTROL OF STORM WATER QUALITY AND QUANTITY.
3. ALL SWPPP'S ARE REQUIRED TO BE REVIEWED AND APPROVED BY THE TOWN CEO AND TOWN ENGINEER. THE TOWN MS4 SWPPP ACCEPTANCE FORM IS TO BE SIGNED AND INSERTED INTO THE PROJECT SWPPP PRIOR TO CONSTRUCTION.
4. THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED SWPPP, INCLUDING FILING OF THE "NOTICE OF INTENT" (NOI). A COPY OF THE NYSDEC ACKNOWLEDGEMENT LETTER IS TO BE PROVIDED TO THE TOWN DEVELOPMENT OFFICE AND TOWN ENGINEER PRIOR TO CONSTRUCTION.
5. A COPY OF THE PROJECT SWPPP IS TO BE PROVIDED TO THE TOWN DEVELOPMENT OFFICE, TOWN ENGINEER, AND A COPY IS TO REMAIN ONSITE DURING CONSTRUCTION AT ALL TIMES IN A MARKED AND ACCESSIBLE LOCATION.
6. ANY MODIFICATIONS OR DEVIATIONS FROM THE APPROVED PLANS, CONSTRUCTION SEQUENCE, AND/OR SWPPP, INCLUDING IMPLEMENTATION OF EROSION CONTROL MEASURES AND STORM WATER MANAGEMENT AREAS, SHALL BE APPROVED BY THE TOWN OF CANANDAIGUA AND DOCUMENTED WITHIN THE PROJECT SWPPP.
7. THE OWNER IS REQUIRED TO PROVIDE DAILY ONSITE OBSERVATION BY A LICENSE PROFESSIONAL OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC). ALL SWPPP INSPECTIONS ARE TO BE IN A FORM ACCEPTABLE BY THE TOWN OF CANANDAIGUA AND FORWARDED TO OWNER, THE TOWN CEO, TOWN ENGINEER, AND A COPY PLACED WITHIN THE ONSITE PROJECT SWPPP.
8. THE OWNER IS RESPONSIBLE FOR PROVIDING ONSITE SWPPP INSPECTIONS BY A LICENSE PROFESSIONAL OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC) DURING CONSTRUCTION ONCE PER WEEK (EVERY 7 DAYS) IF UNDER 5-ACRES OF DISTURBANCE AND TWICE PER WEEK (EVERY 7 DAYS) IF 5-ACRES OR MORE WITH RECEIPT OF A 5-ACRE WAIVER FROM THE TOWN OF CANANDAIGUA (MS4).
9. DEVELOPMENT IN THE CANANDAIGUA LAKE WATERSHED DISTURBING MORE THAN 5-ACRES AT ONE TIME, IS REQUIRED TO COORDINATE THE REGULAR SWPPP OBSERVATIONS REQUIRED BY THE LATEST GENERAL PERMIT WITH THE CANANDAIGUA LAKE WATERSHED INSPECTOR, THE WATERSHED PROGRAM MANAGER AND THE TOWN CODE ENFORCEMENT OFFICER.
10. CONSTRUCTION SEQUENCE – ALL PLANS ARE TO BE PROVIDED WITH A DETAILED CONSTRUCTION SEQUENCE. THE CONTRACTOR SHALL COMPLETE CONSTRUCTION AND INSTALL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE APPROVED CONSTRUCTION SEQUENCE UNLESS SPECIFIED OTHERWISE ON THE APPROVED DESIGN PLANS OR AT THE PRE -CONSTRUCTION MEETING.
11. DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE TOWN OF CANANDAIGUA.
12. THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION AND UNTIL THE SITE IS FULLY STABILIZED, INSPECTED BY THE TOWN OF CANANDAIGUA, AND ISSUANCE OF THE NOTICE OF TERMINATION (NOT) HAS BEEN PROVIDED TO NYSDEC.
14. ROOF LEADERS SHOULD BE CONNECTED TO STORM SEWERS WHERE POSSIBLE, UNLESS OTHERWISE SPECIFIED ON THE APPROVED PLANS AND WITHIN THE PROJECT SWPPP.
15. NO SITE PREPARATION SHALL COMMENCE UNTIL A VISUAL INSPECTION BY THE TOWN OF CANANDAIGUA, CONFIRMS THE INSTALLATION OF PERIMETER SEDIMENT CONTROLS AND THE STABILIZED CONSTRUCTION ENTRANCE.
16. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF VEGETATION, THE STORM WATER MANAGEMENT FACILITIES SHALL BE CLEANED OF ACCUMULATED SILT.

**STANDARD NOTES (CONTINUED)**

17. ALL SITE STABILIZATION IS TO BE IN ACCORDANCE WITH THE LATEST VERSIONS OF THE NYSDEC STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL AND THE NYSDEC GENERAL PERMIT REQUIREMENTS (WHERE APPLICABLE).
18. ADDITIONAL TEMPORARY AND PERMANENT SEEDING AND SITE STABILIZATION REQUIREMENTS:
  - A. ALL DISTURBED AREAS INCLUDING TOPSOIL STOCKPILES AND STORMWATER MANAGEMENT FACILITIES ARE TO BE STABILIZED WITHIN SEVEN (7) DAYS AFTER COMPLETION.
  - B. TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:
    - THE SURFACE TWO INCHES OF SOIL SHOULD BE LOOSENEED BY DISKING, RAKING, OR BACK-BLADING WITH A BULLDOZER.
    - FERTILIZE WITH 300 POUNDS PER ACRE (OR 7 POUNDS PER 1,000 SQUARE FEET).
    - NO PHOSPHORUS SHALL BE USED UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY HORTICULTURAL TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHORUS DEFICIENCY THAT IS HARMFUL, OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.
    - IF SOIL TESTS INDICATE A PHOSPHORUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHORUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYSDEC REGULATIONS.
    - THE FOLLOWING SEED MIX SHALL BE USED:

SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85 PERCENT AND MINIMAL INERT MATERIAL.

C. DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEEDING MIX UPON COMPLETION OF GRADING AND CONSTRUCTION:

	LBS/ACRE	LBS/1,000 SQ. ACRE
BIRDSFOOT TREFOL OR COMMON WHITE CLOVER	8 OR 8	0.20 OR 0.20
TALL FESCUE	20	0.45
REDTOP OR RYEGRASS (PERENNIAL)	2 OR 5	0.05 OR 0.10

- SEEDING RATE: 6.0 POUNDS PER 1,000 SQUARE FEET
- MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYRDO SEEDING METHOD AT TWO TONS PER ACRE WITH TACKIFIER.
- FOR FALL OR EARLY WINTER, SEED WITH CERTIFIED "AROOSTOCK" WINTER RYE (CEREAL RYE) AT 100 POUNDS PER ACRE.
- PERMANENT STABILIZATION FOR STEEP SLOPES GREATER THAN 3:1 SHALL INCLUDE JUTE MESH BLANKET AND CROWN VETCH SEED WITH PERENNIAL RYEGRASS.

19. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
20. EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CALL THE DIG SAFELY NEW YORK (UFPO) HOTLINE AT 1-800-962-7962 FOR STAKEOUT OF EXISTING UTILITIES. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET THE EXISTING CONDITIONS.
21. THE HOMEOWNER WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING INDIVIDUAL LOT EROSION & SEDIMENT CONTROL MEASURES, DURING HOUSE CONSTRUCTION. MEASURES TO BE MAINTAINED UNTIL FINAL LOT LAWN GRADING AND SITE IS FULLY STABILIZED AND INSPECTED BY THE TOWN OF CANANDAIGUA.
22. ANY ADDITIONAL EROSION OR SEDIMENT CONTROL MEASURES DEEMED NECESSARY BY THE TOWN OF CANANDAIGUA OR A REPRESENTATIVE THEREOF SHALL BE PROVIDED BY THE OWNER AND INSTALLED BY THE CONTRACTOR.
23. SEDIMENT CONTROL MEASURES ARE TO BE ESTABLISHED PRIOR TO COMMENCING EARTHWORK. SEDIMENT CONTROL MEASURES ARE TO BE MAINTAINED BY THE CONTRACTOR UNTIL UPSIDEAM GROUND COVER HAS BEEN ESTABLISHED AND REMOVAL IS APPROVED BY THE TOWN OF CANANDAIGUA.
24. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, REPLACING AND SUBSEQUENTLY REMOVING TEMPORARY EROSION & SEDIMENT CONTROL DEVICES.
25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ADJOINING PROPERTIES, ROADWAYS, DRAINAGE WAYS AND SINKS OF SILT ACCUMULATION AS NEEDED AND AS DETERMINED/REQUESTED BY THE TOWN OF CANANDAIGUA.
26. ANY FINAL GRADE DEVIATIONS OF HOUSE PAD ELEVATIONS MORE THAN 12 INCHES SHALL BE APPROVED BY THE PLANNING BOARD.

**LEGEND**

○ Iron pin or pipe found

● Benchmark

○ Utility pole

● Hydrant

● Light pole

PERC TEST

● DEEP HOLE

EXISTING

oe

elec

PROPOSED

E/T

Utility Lines

R.O.W. line

Property line

Easement line

Centerline

Drainage

Fence Line

Contour Line

ABBREVIATIONS:

EX-EXISTING

CP- CORRUGATED POLYETHYLENE PIPE

O.C.-ON CENTER

SI-PP-SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE

UC-UNDERGROUND

CONC-CONCRETE

CO -CLEAN OUT

TYP-TYPICAL

R-RADIUS

BC-BOTTOM OF CURB

TC-TOP OF CURB

TW-TOP OF WALL

BW-BOTTOM OF WALL

BS-BOTTOM OF STAIRS

MIN-MINIMUM

MAX-MAXIMUM

INV-INVERT

CB-CATCH BASIN

MH-MANHOLE

DI-DRAINAGE INLET

**MarksEngineering**

STAMP

REVIEWS AND APPROVALS		DESCRIPTION OF REVISION OR APPROVAL		BY		DATE	
				MCH			
				PER PRC			

FINAL SITE PLAN FOR  
**CHAD L. MOUNT & BROOKE E. HELKER**  
SHOWING LAND IN:  
NYS ROUTE 21  
TOWN OF CANANDAIGUA

STATE OF NEW YORK

COUNTY OF ONTARIO

DRAWING TITLE:  
**GENERAL NOTES**

DRAWN BY:	BAM
DESIGNED BY:	
CHECKED BY:	BAM
SCALE:	NA
JOB NO.:	19-016
DATE:	06/14/2019
TAX MAP#:	71.00-1-49.000

**G-01**

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LEGEND

Iron pin or pipe found

Benchmark

Utility pole

Hydrant

Light pole

PERC TEST

DEEP HOLE

ABBREVIATIONS:

EX--EXISTING

CPI--CORRUGATED POLYETHYLENE PIPE

O.C--ON CENTER

SIOP--SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE

UC--UNDERGROUND

CONC--CONCRETE

CO--CLEAN OUT

TYP--TYPICAL

R--RADIUS

BC--BOTTOM OF CURB

TC--TOP OF CURB

TW--TOP OF WALL

BW--BOTTOM OF WALL

BS--BOTTOM OF STAIRS

PERF--PERFORATED

MIN--MINIMUM

MAX--MAXIMUM

INV--INVERT

CS--CATCH BASIN

MH--MANHOLE

DI--DRAINAGE INLET

Utility Lines

R.O.W. line

Property line

Easement line

Centerline

Drainage

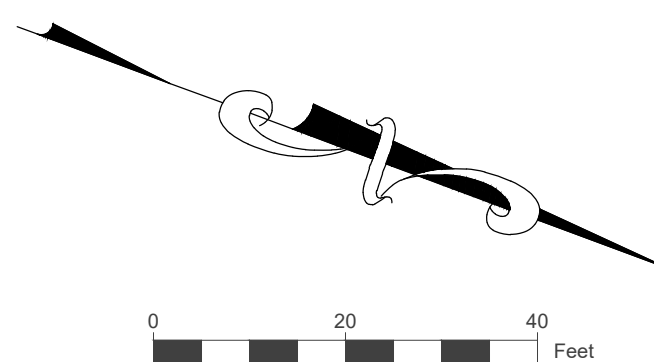
Fence Line

Contour Line

BULK TABLE			
		PROPOSED	REQUIRED
ZONING/USE - PRINCIPAL	SINGLE RESIDENTIAL	RR-3	
ZONING/USE - ACCESSORY	NA	NA	
PRINCIPAL BUILDING SQUARE FOOTAGE	1568 SF	NA	
FRONT SETBACK	356.7'	60'	
SIDE SETBACK	109.0'	40'	
REAR SETBACK	390.4'	40'	
BUILDING HEIGHT	30.00'	35'	
BLDG LOT COVERAGE	0.01%	15%	

1 EXISTING CONDITIONS

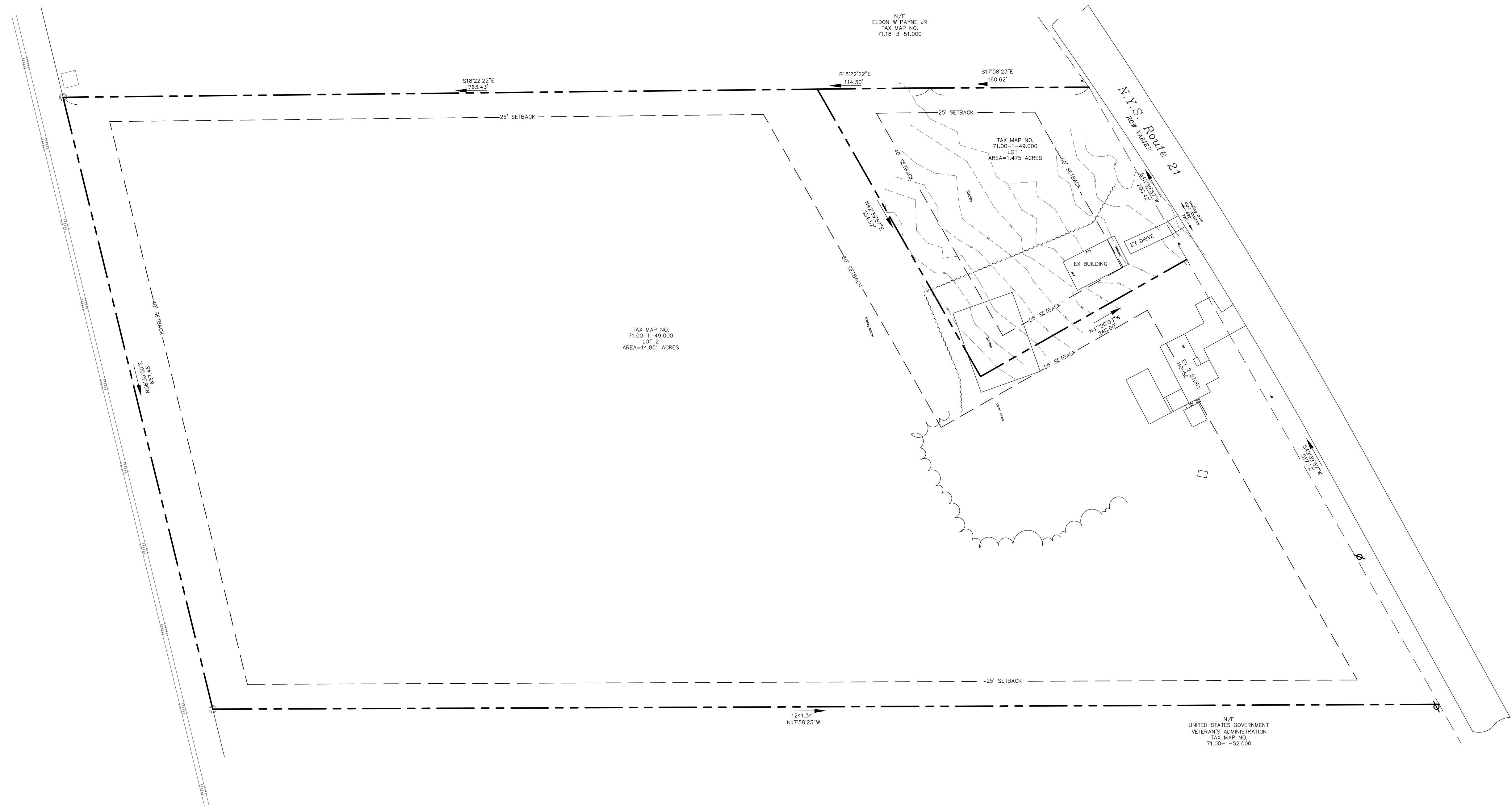
1"=60'



MAP REFERENCE:

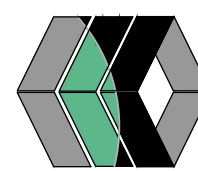
MAP OF SUB DIVISION SURVEY OF LANDS OWNED BY BROOKE E. HELKER & CHAD L. MOUNT IN THE TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK DATED APRIL 1, 2019 FREELAND-PARRINELLO LAND SURVEYORS FILED MAP NO. 2016-30451

MAP OF EASEMENT FOR SOLAR PANEL & UNDERGROUND ELECTRIC SERVICE FOR BROOKE E. HELKER & CHAD L. MOUNT IN THE TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK DATED JUNE 3, 2019 FREELAND-PARRINELLO LAND SURVEYORS FILED MAP NO. 2016-304E1



NOT FOR CONSTRUCTION

MarksEngineering



STAMP

REVISIONS AND APPROVALS	
NO.	DATE
1	06/18/19
DESCRIPTION OF REVISION OR APPROVAL	
BY	
MCH	
PER PRC	

FINAL SITE PLAN FOR  
CHAD L. MOUNT & BROOKE E. HELKER  
SHOWING LAND IN:  
NYS ROUTE 21  
TOWN OF CANANDAIGUA  
COUNTY OF ONTARIO  
STATE OF NEW YORK

DRAWING TITLE:	
EXISTING CONDITIONS	
DRAWN BY:	BAM
DESIGNED BY:	BAM
CHECKED BY:	BAM
SCALE:	1"=20'
JOB NO.:	19-016
DATE:	06/14/2019
TAX MAP#:	71.00-1-49.000

EX100

WASTEWATER TREATMENT BASIS OF DESIGN ALL LOTS (PER NYS APPENDIX 75-A):  
NUMBER OF BED ROOMS DESIGNED FOR..... 3 BR  
(OWNER OPTS OUT OF THE USE OF A GARBAGE GRINDER)  
TABLE 1 DESIGN FLOW RATE..... 390 GPD  
TABLE 2-SEPARATION DISTANCES..... ALL MINIMUMS MET  
TABLE 5-SEPTIC TANK..... 1250 GAL 2 COMPARTMENT  
TABLE 6A-REQUIRED ABSORPTION TRENCH..... 325 FEET

PROPOSED TREATMENT METHOD:  
STANDARD SUB-SURFACE GRAVELLESS ABSORPTION CHAMBERS. ABSORPTION  
TRENCH LENGTH 336 FEET PROVIDED. EXPANSION AREA PROVIDED.

SOILS ANALYSIS DATA:  
SOIL ANALYSIS DATA WAS COLLECTED IN THE SPRING DURING DRY WEATHER.

DEEP HOLE & PERC TEST DATA GATHERED BY B.MARKS DATED 06/01/2019

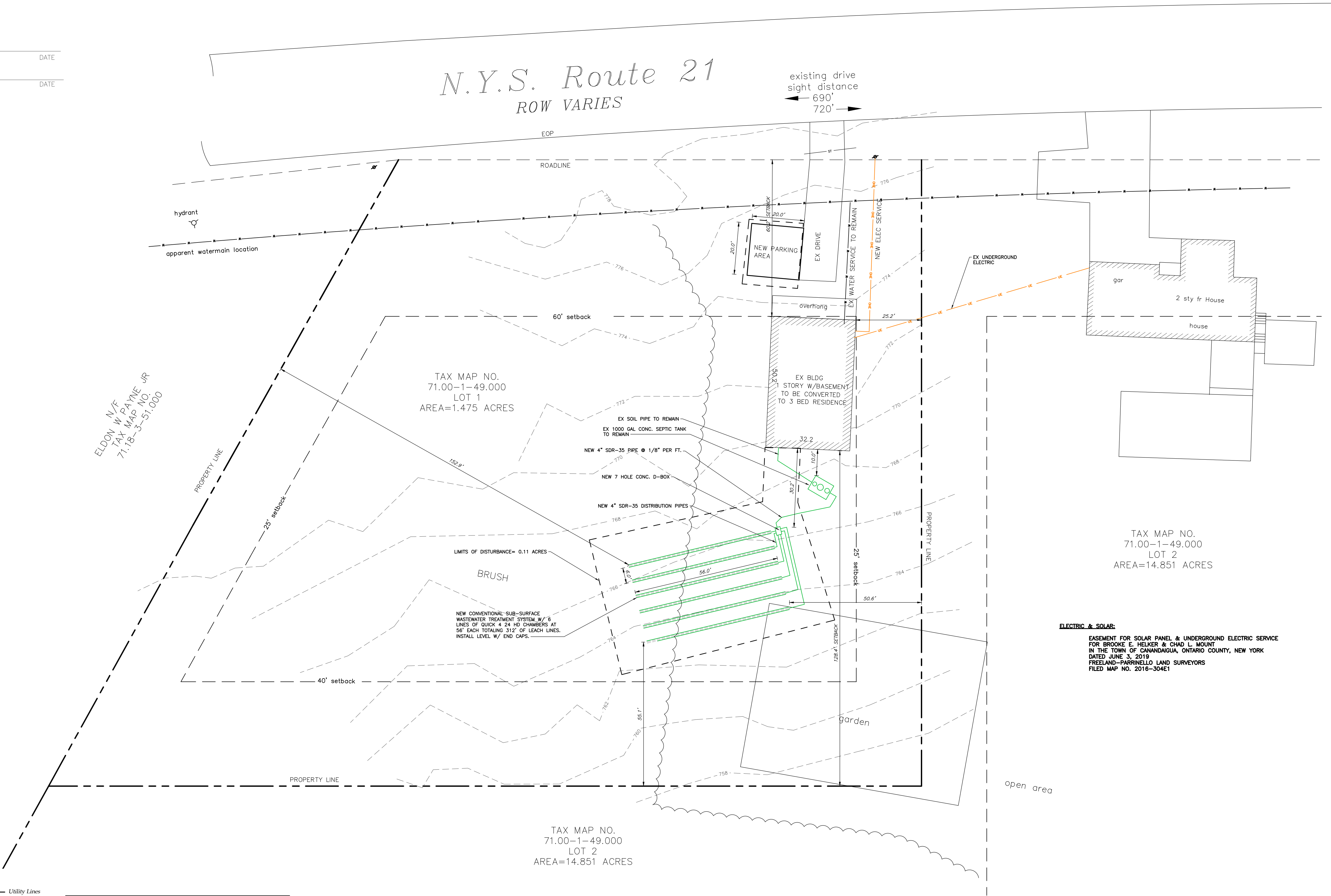
DEEP HOLE #1  
HORIZON A 0"-10" TOPSOIL  
HORIZON B 10"-48" BROWN CLAY LOAM

PERC TEST #1 AT 24" DEPTH STABILIZED AT 28 MINS  
PERC TEST #2 AT 24" DEPTH STABILIZED AT 30 MINS

USE 30 MINUTE PERCOLATION RATE

PLANNING BOARD CHAIRMAN DATE

TOWN HIGHWAY SUPERINTENDENT DATE



**LEGEND**

○ Iron pin or pipe found

⊕ Benchmark

⊙ Utility pole

● Hydrant

● Light pole

PERC TEST

DEEP HOLE

EXISTING

PROPOSED

Utility Lines

R.O.W. line

Property line

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Fence Line

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CO - CLEAN OUT

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INV - INVERT

CB - CATCH BASIN

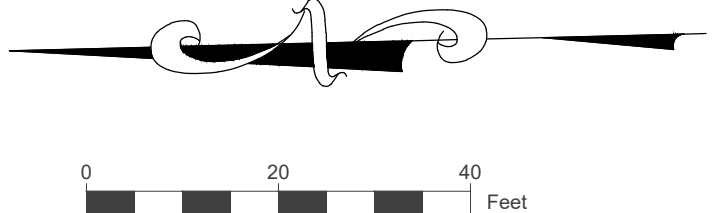
MH - MANHOLE

DI - DRAINAGE INLET

BULK TABLE		
	EXISTING	REQUIRED
ZONING/USE - PRINCIPAL	R-1-20	R-1-20
ZONING/USE - ACCESSORY	NA	NA
PRINCIPAL BUILDING SQUARE FOOTAGE	1616 SF	NA
FRONT SETBACK	60.2'	60'
SIDE SETBACK	25.2'	25'
REAR SETBACK	128.4'	40'
BUILDING HEIGHT	30.00'	35'
BLDG LOT COVERAGE	2.00%	20%

1 SITE PLAN

1"=20'



**ELECTRIC & SOLAR:**

EASEMENT FOR SOLAR PANEL & UNDERGROUND ELECTRIC SERVICE FOR BROOKE E. HELKER & CHAD L. MOUNT IN THE TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK DATED JUNE 3, 2019 FREELAND-PARRINELLO LAND SURVEYORS FILED MAP NO. 2016-304E1

NOT FOR CONSTRUCTION

**MarksEngineering**

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Fax: 585-485-6005

STATE OF NEW YORK  
SEAL OF THE STATE OF NEW YORK  
BROCKMAN A. HELKER  
199182  
PROFESSIONAL ENGINEER  
STAMP

STAMP

REVIEWS AND APPROVALS

NO	DATE	DESCRIPTION OF REVISION OR APPROVAL	BY
1	06/15/19	PER PRC	MCH

FINAL SITE PLAN FOR  
**CHAD L. MOUNT & BROOKE E. HELKER**  
SHOWING LAND IN:  
NYS ROUTE 21  
TOWN OF CANANDAIGUA  
COUNTY OF ONTARIO  
STATE OF NEW YORK

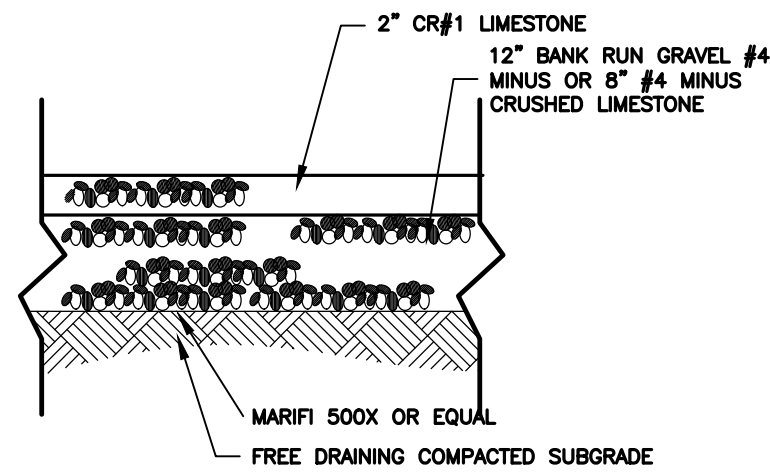
DRAWING TITLE:  
SITE PLAN

DRAWN BY:	BAM
DESIGNED BY:	BAM
CHECKED BY:	BAM
SCALE:	1"=20'
JOB NO.:	19-016
DATE:	06/14/2019
TAX MAP#:	71.00-1-49.000

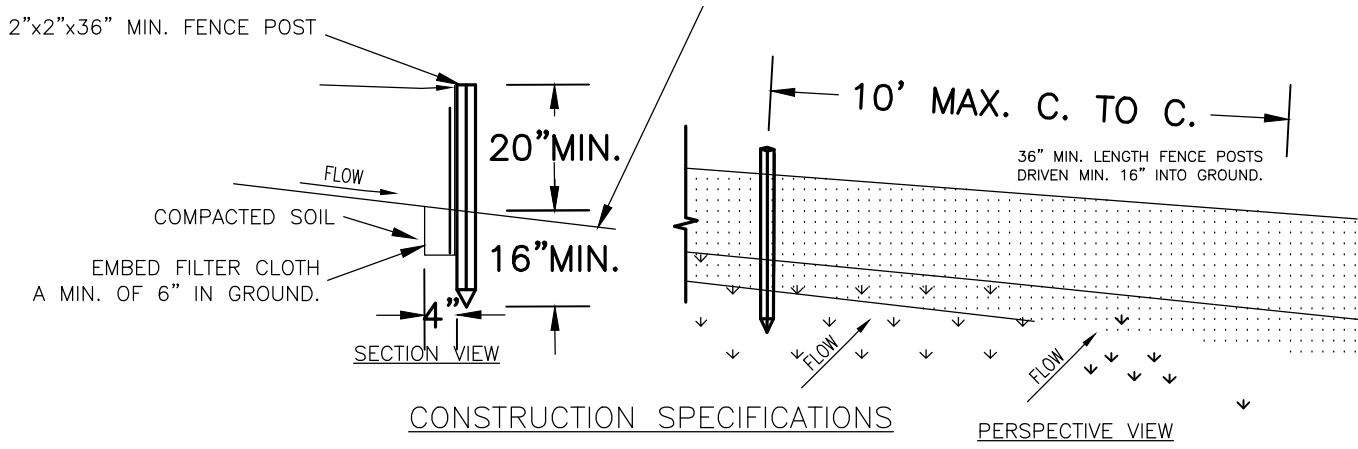
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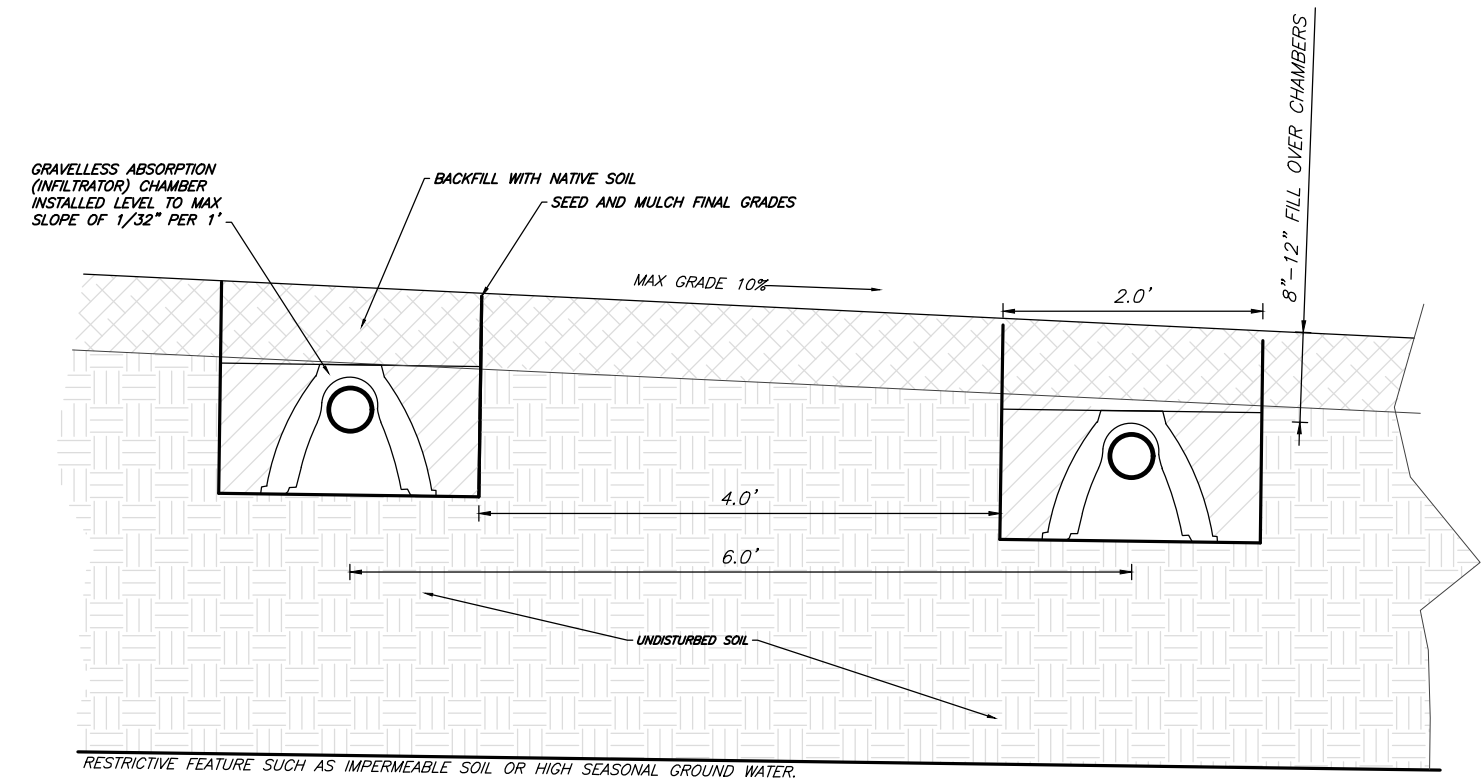




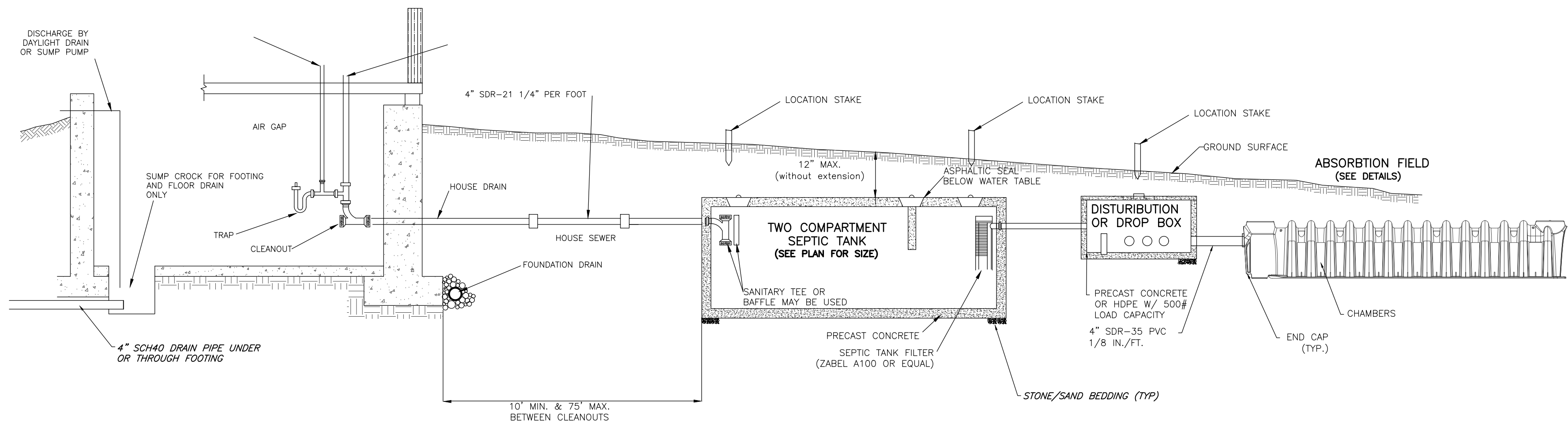
1 TYPICAL GRAVEL DRIVE SECTION  
NTS



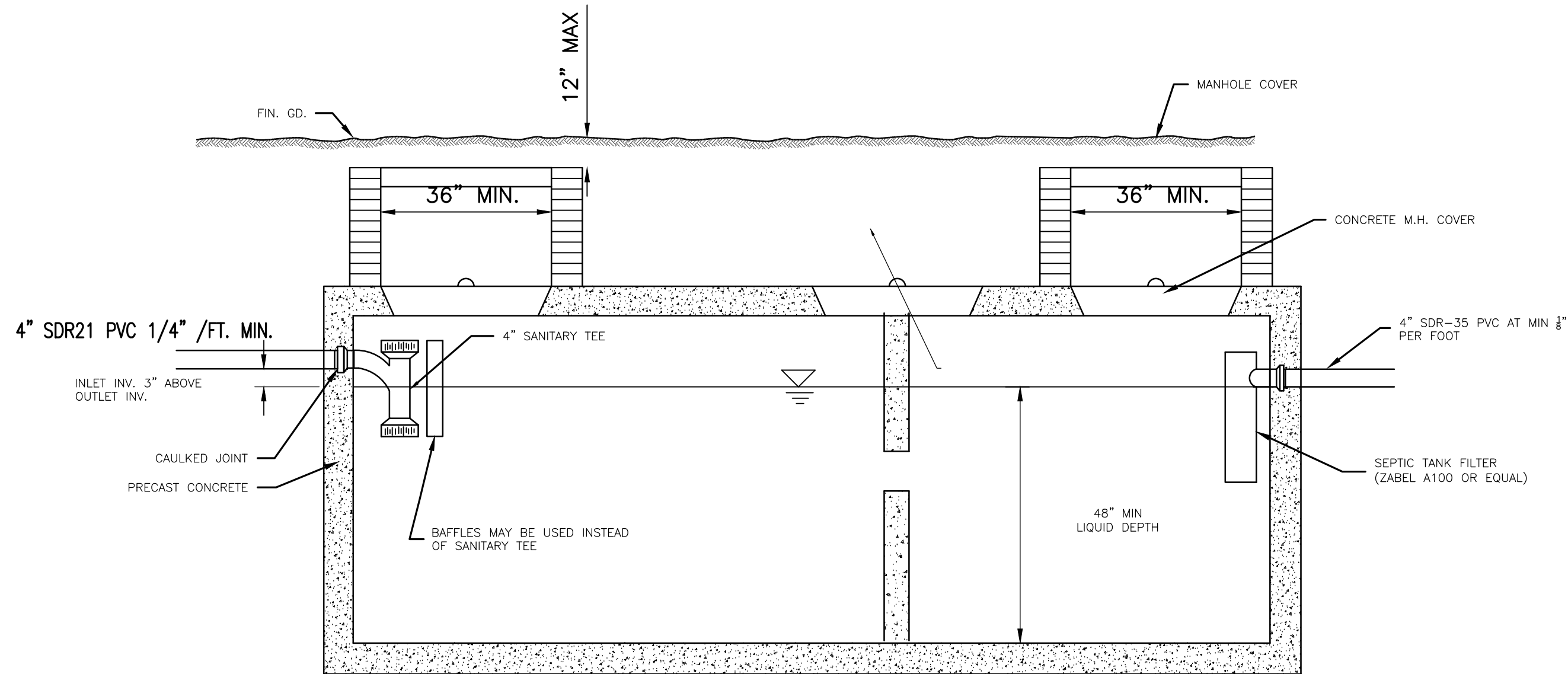
2 TYPICAL SILT FENCE DETAIL  
NTS



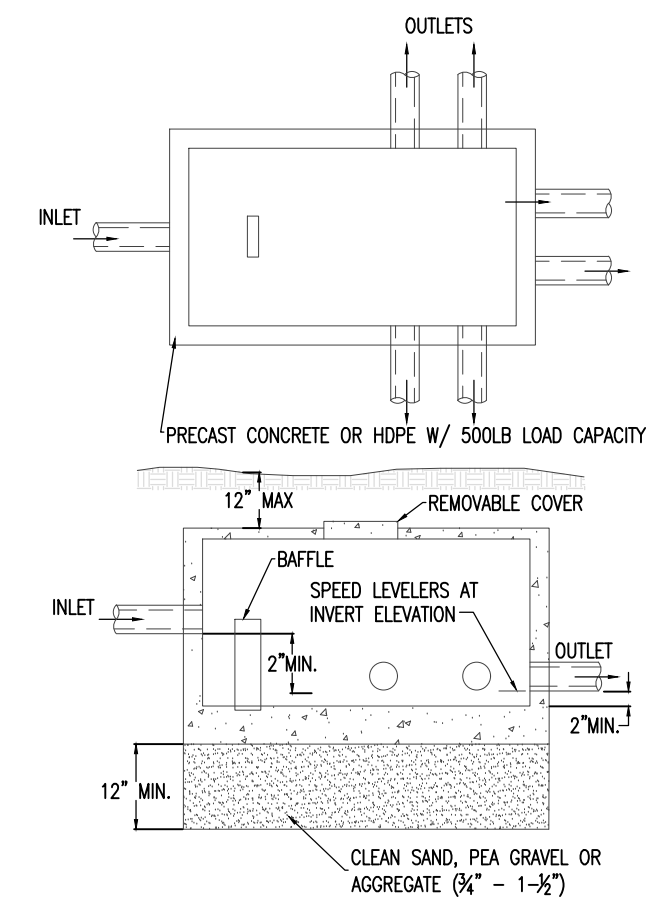
3 TYPICAL ABSORPTION BED DETAIL  
NTS



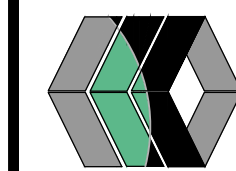
5 TYPICAL HOUSE/SEPTIC TANK DETAIL  
NTS



7 TYPICAL SEPTIC TANK DETAIL  
NTS



8 TYPICAL DISTRIBUTION BOX DETAIL  
NTS



STAMP

REVISIONS AND APPROVALS			
NO.	DATE	DESCRIPTION OF REVISION OR APPROVAL	BY
1	06/15/19		MCH
		PER PKC	

FINAL SITE PLAN FOR  
**CHAD L. MOUNT & BROOKE E. HELKER**  
SHOWING LAND IN:  
NYS ROUTE 21  
TOWN OF CANANDAIGUA  
COUNTY OF ONTARIO  
STATE OF NEW YORK

DRAWING TITLE: DETAILS	
DRAWN BY:	BAM
DESIGNED BY:	BAM
CHECKED BY:	BAM
SCALE:	1"=30'
JOB NO.:	19-016
DATE:	06/14/2019
TAX MAP#:	71.00-1-49.000