LEGEND

Existing	Proposed	
		Property Line/R.O.W.
I.P.		Iron Pin
Conc. Mon.		Concrete Monument
—776—	—776—	Ground Contour
Hyd.		Hydrant
—W—		Watermain
	—WS—	Water Service
	—FM—	Force Main
U.P.		Utility Pole
—OHW—		Overhead Wire
	—UGE—	Underground Electric
		Asphalt Pavement
L.P.		Light Pole
—2.0—		Lighting Contour (Footcandle)
		Exterior Overhead Door
		Exterior Man Door
PH1		Percolation Test Hole
DH		Deep Hole Excavation
		Tree/Evergreen
		Tree/Evergreen to be Removed
BM 2		Planting Schedule Key (BM) and Quantity (2)

PROJECT INFORMATION

General Information

Owner/Developer:	Kevin Degraw Frontenac Holding 21 Basin Street Union Springs, NY 13160
Property Address:	2121 State Route 332
Property T.A.N.:	56.00-1-57.000
Property Size:	2.879 acres

Zoning Information

District:	CC Community Commercial Residential	
Permitted Use:	Vehicle Sales	
Proposed Use:	Boat Sales in 2,400 s.f. building	
Zoning Regulations:	Required	Proposed
Min. Front Setback:	150'	150.00'
Min. Rear Setback:	40'	255.48'
Min. Side Setback:	20' to 100'	28.07'
Max. Building Height:	35'	28'
Max. Building Coverage:	50%	1.9%
Parking Calculation:		
Required:	1 space per 300 s.f. of gross floor area with a minimum of 10 spaces	
Proposed:	10 spaces	

Proposed Area of Ground Disturbance = 0.900 Acres

MAP AND SURVEY NOTES

1. This plan was prepared using a survey map entitled "Topographic and Boundary Survey of Lands of Michael Wagner" prepared by Freeland-Parrinello Land Surveyors dated January 10, 2014. Vertical datum is approximate North American Vertical Datum 1988 (NAVD88).

GENERAL NOTES

1. The plans show subsurface structures, above ground structures and/or utilities from field location and record mapping, exact location of which may vary from the locations indicated. In particular, the Contractor is warned that the exact or even approximate location of such pipelines, subsurface structures and/or utilities in the area may be different from that shown or may not be shown and it is his responsibility to proceed with great care in executing any work. Call Dig Safely New York, telephone 811, 48 hours before you dig, drill or blast.
2. This property is not located within a 100-year floodplain (Flood Zone X per FEMA Community Panel No. 360598 0005 C, effective date March 3, 1997).
3. This property does not contain federal or state wetland areas or the 100' buffer to wetland areas.
4. The Contractor shall locate, mark, safeguard, and preserve all survey control monuments in the areas of construction.
5. This property is located within 500 feet of Agricultural District #1.
6. This property is located within the Canandaigua City School District, the Canandaigua Fire Protection District, and the Canandaigua-Farmington Water District.
7. The property lines and right-of-way lines shown on the plans are for information only, and no warranty is made as to their correctness.
8. The Contractor shall maintain in service all existing sewers, culverts, ditches, manholes, and catch basins during construction.
9. Construction Stakeout: The Contractor is responsible for all construction stakeout as shown on the plans.
10. Traffic shall be maintained throughout construction. Ingress and egress to driveways, parking lots, and service roads shall be continuously maintained throughout the period of construction.
11. The Contractor shall take care to prevent damage to existing utilities. Damaged utilities shall be immediately repaired by the Contractor at the Contractor's expense.
12. All proposed utilities and appurtenances shall be constructed in compliance with the local municipalities' codes and regulations governing the installation of such utilities.
13. The Contractor shall be responsible for obtaining and incurring the cost of all required permits, inspections, certificates, etc. and shall comply with all required permits.
14. All work shall be done in strict compliance with all applicable National, State, and local codes, standards, ordinances, rules, and regulations.
15. Miscellaneous work not specifically shown on the contract drawings such as patching, blocking, trimming, etc. shall be performed as required to make the work complete.
16. It is the Contractor's responsibility to examine all plan sheets and coordinate work with all other contracts for the site.
17. The Engineer shall be notified in writing of any conditions that vary from those shown on the plans. The Contractor's work shall not vary from the plans without the expressed approval of the Engineer.
18. The Contractor shall restore lawns, driveways, culverts, signs, and other public or private property damaged or removed to at least as good a condition as before being disturbed as determined by the Engineer. Any damaged trees, shrubs, and/or hedges shall be replaced at the Contractor's expense.
19. Unsuitable material shall be removed from the site and properly disposed.
20. At the time of completion and acceptance of the work, all areas disturbed by the Contractor's operations shall be finished, graded, topsoiled, and seeded per the specifications.
21. All improvements shall be in accordance with the most recent standards and specifications of the Town of Canandaigua.
22. All work within the State highway boundaries will require approval and a permit from the New York State Department of Transportation.
23. All site lighting shall be compliant with the Town Code Chapter 105, Section 805.
24. All erosion control measures shall be installed by the developer and inspected by the Town Code Enforcement Officer or his/her representative prior to any permits being issued.
25. The northern portion of this parcel is comprised of Cayuga silt loam soil. The southern portion of this parcel is comprised of Collamer silt loam soil.

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

1. Developer shall install erosion and siltation control measures during construction to prevent off-site transport and deposition of materials.
2. The temporary erosion/sedimentation control measures depicted on the site plan shall be supplemented with additional controls if found necessary during construction. Developer is responsible for establishing the controls during construction, and removing the controls following re-establishment of ground cover. Ground cover shall be established within 30 days of completion of final grading.
3. Straw bale sediment traps shall be placed as shown on the plan and as needed during construction.
4. All sedimentation control structures shall remain in effective operating condition.
5. All disturbed areas shall be stabilized immediately following removal of sediment control structures.
6. All points of construction ingress and egress shall be protected to prevent tracking of mud onto public ways.
7. Roof downspouts shall direct water away from the building.
8. In areas where soil disturbance activity has been temporarily or permanently ceased, temporary and/or permanent soil stabilization measures shall be installed and/or implemented within seven (7) days from the date the soil disturbance activity ceased. The soil stabilization measures selected shall be in conformance with the most current version of the technical standard, New York State Standards and Specifications for Erosion and Sediment Control.
9. Temporary Seed Mix (2# per 1,000 s.f.)
   Annual Ryegrass 50% by weight (90% purity)
   Tall Fescue 50% by weight (90% purity)

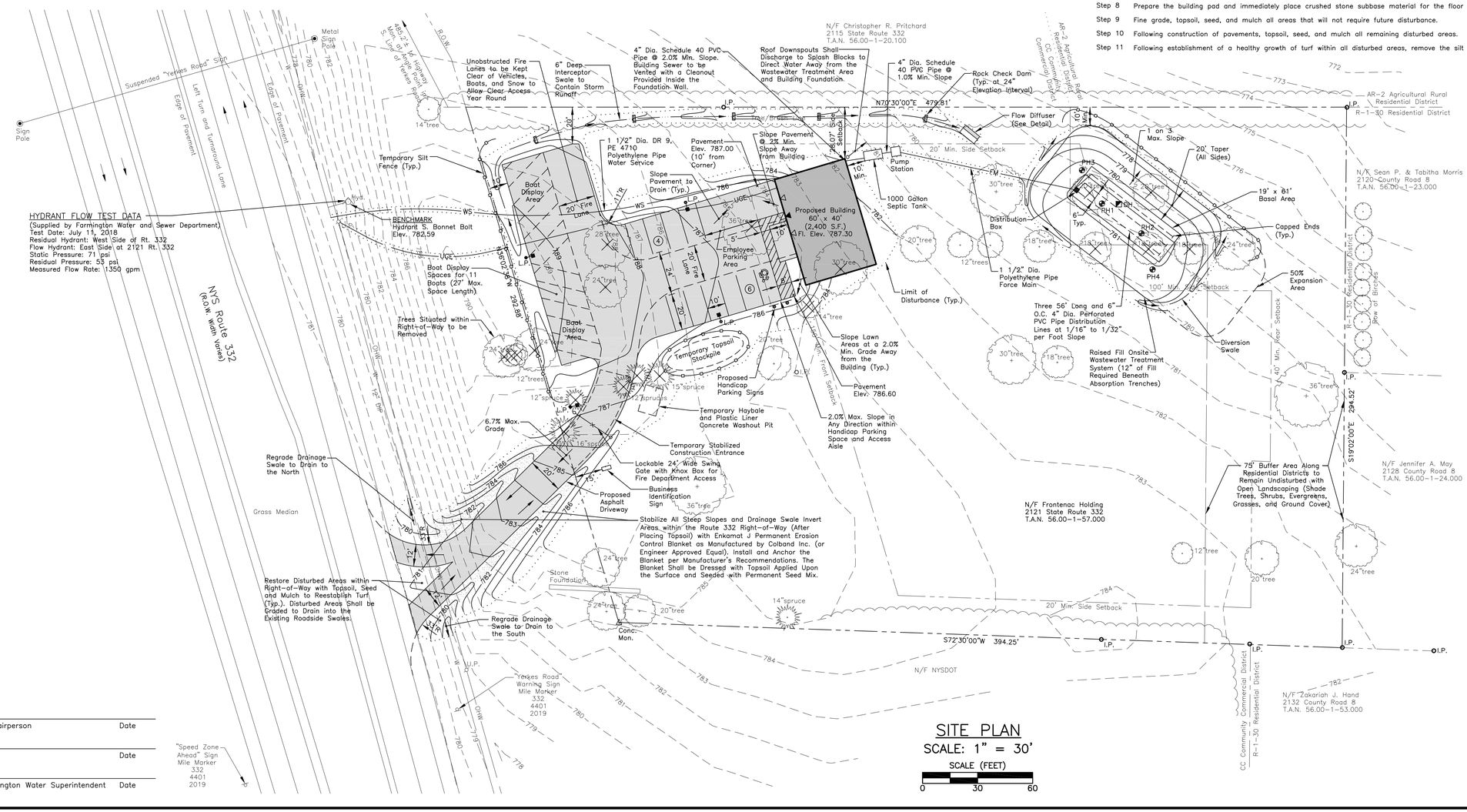
   Permanent Seed Mix (5# per 1,000 s.f.)
   Kentucky Bluegrass 45% by weight (85% purity)
   Red Fescue 40% by weight (95% purity)
   Common Ryegrass 15% by weight (95% purity)

   Lawn Fertilizer (5# per 1,000 s.f.)

   Straw Mulch (75% ground coverage)

CONSTRUCTION SEQUENCE

Step 1	Install the new driveway onto NYS Route 332 including stone base course material and slope stabilization measures.
Step 2	Install silt fence at the locations indicated on the plan.
Step 3	Install stabilized construction entrance and the temporary concrete washout pit.
Step 4	Strip topsoil and place it within the designated storage areas or remove it from the site.
Step 5	Mass grade the development area.
Step 6	Fine grade all pavement subgrade areas and place geotextile fabric and stone base course material.
Step 7	Construct building foundations.
Step 8	Prepare the building pad and immediately place crushed stone subbase material for the floor slab.
Step 9	Fine grade, topsoil, seed, and mulch all areas that will not require future disturbance.
Step 10	Following construction of pavements, topsoil, seed, and mulch all remaining disturbed areas.
Step 11	Following establishment of a healthy growth of turf within all disturbed areas, remove the silt fence.



SITE PLAN

SCALE: 1" = 30'

SCALE (FEET)
0 30 60

APPROVALS

Planning Board Chairperson Date

Town Engineer Date

Canandaigua-Farmington Water Superintendent Date

REVISIONS

NO.	DESCRIPTION	DATE	BY
1	PLANNING BOARD REVIEW COMMENTS	10/02/18	GFT

NOT APPROVED FOR CONSTRUCTION

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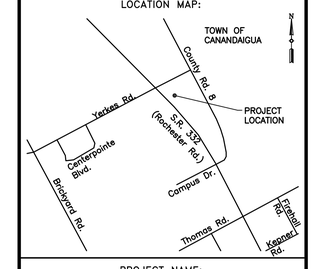
THORNTON ENGINEERING LLP
30 Assembly Drive, Suite 106
Mendon, New York 14506
Consultant Engineers

LICENSED PROFESSIONAL ENGINEER GLENN F. THORNTON Jr. No. 055288 STATE OF NEW YORK

LOCATION MAP:



PROJECT NAME:

Frontenac Boat Sales

2121 State Route 332
Town of Canandaigua
Ontario County, NY

DRAWING TITLE:

Site Plan

FILE NAME: SITEPLAN.DWG	DESIGNED BY: GFT
DRAWN BY: HKT	CHECKED BY: GFT
APPROVED BY: GFT	DATE: AUGUST 2018
SCALE: 1" = 30'	PROJECT NO.: 18-682
SHEET NO.: 1 OF 7	DRAWING NO.: S-1

LANDSCAPING NOTES

1. All plants shall meet or exceed the requirements set forth in the latest edition of the American Standard for Nursery Stock by the American Association of Nurserymen, ANSI Z60.1.
2. Upon completion and acceptance of the landscaping by the Town of Canandaigua, a two (2) year maintenance guarantee is required.
3. All planting beds to receive 3" of shredded hardwood bark mulch and weed barrier.
4. No trees are to be planted within 20' of overhead wires or within 5' of underground utilities.
5. Stake and wrap tree trunks upon planting.
6. Planting backfill mixture to consist of 4 parts of topsoil and 1 part peat moss. Provide 10 lbs. of 5–10–5 fertilizer per 1 cubic yard of planting backfill.
7. Apply lawn seed mix at a rate of 5 lbs. per 1,000 s.f. of lawn area using the following proportions by weight:

   Lawn Areas

% by Weight in Mixture	Species or Variety
45	Kentucky Bluegrass
40	Red Fescue (commercial)
15	Common Ryegrass

   Rate of lawn fertilizer to be 25 lbs. per 1,000 s.f.
8. All seeded areas are to receive 4" of topsoil, seed, straw mulch cover, fertilizer, and water until a thick turf cover is obtained.
9. All planting bed areas shall be constructed with 12" of planting backfill mixture.
10. Topsoil must be stripped and stockpiled before construction and replaced on all landscaped and lawn areas to a minimum depth of 4" before resale or removal from site.
11. No Phosphorous shall be used at planting time unless soil testing has been completed and tested by a Horticultural Testing Lab and the soil tests specifically indicate a phosphorous deficiency that is harmful, or will prevent new lawns and plantings from establishing properly.
12. If soil tests indicate a phosphorous deficiency that will impact plant and lawn establishment, phosphorous shall be applied at the minimum recommended level prescribed in the soil test following all NYS DEC regulations.

CONSTRUCTION NOTES

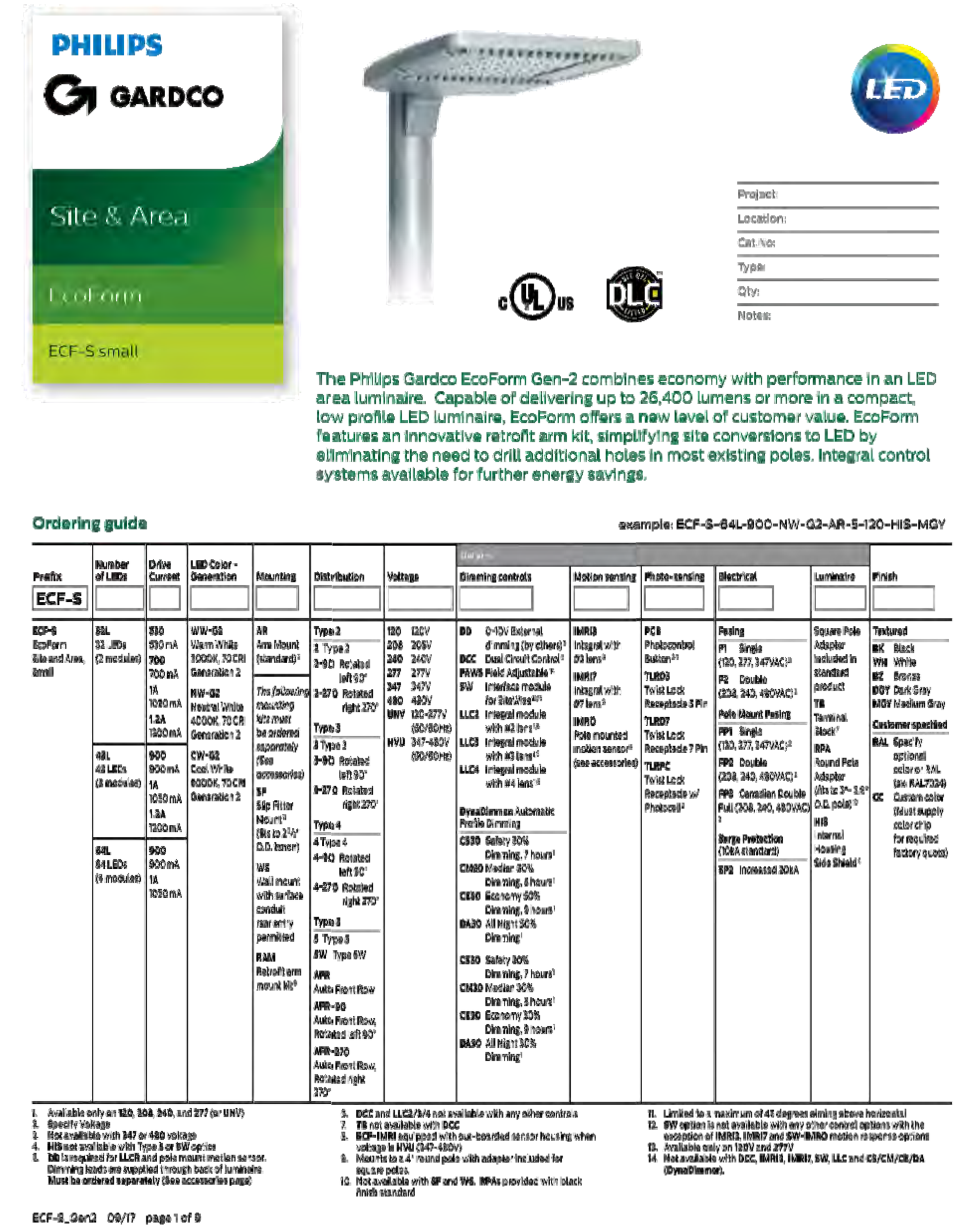
1. The locations of new underground lighting circuits have not been depicted on this plan. The Contractor shall provide necessary circuitry to energize the new lighting system per the detail on this drawing.
2. All site lighting is to comply with the lighting standards contained in Town Code Chapter 220, Section 220–77.

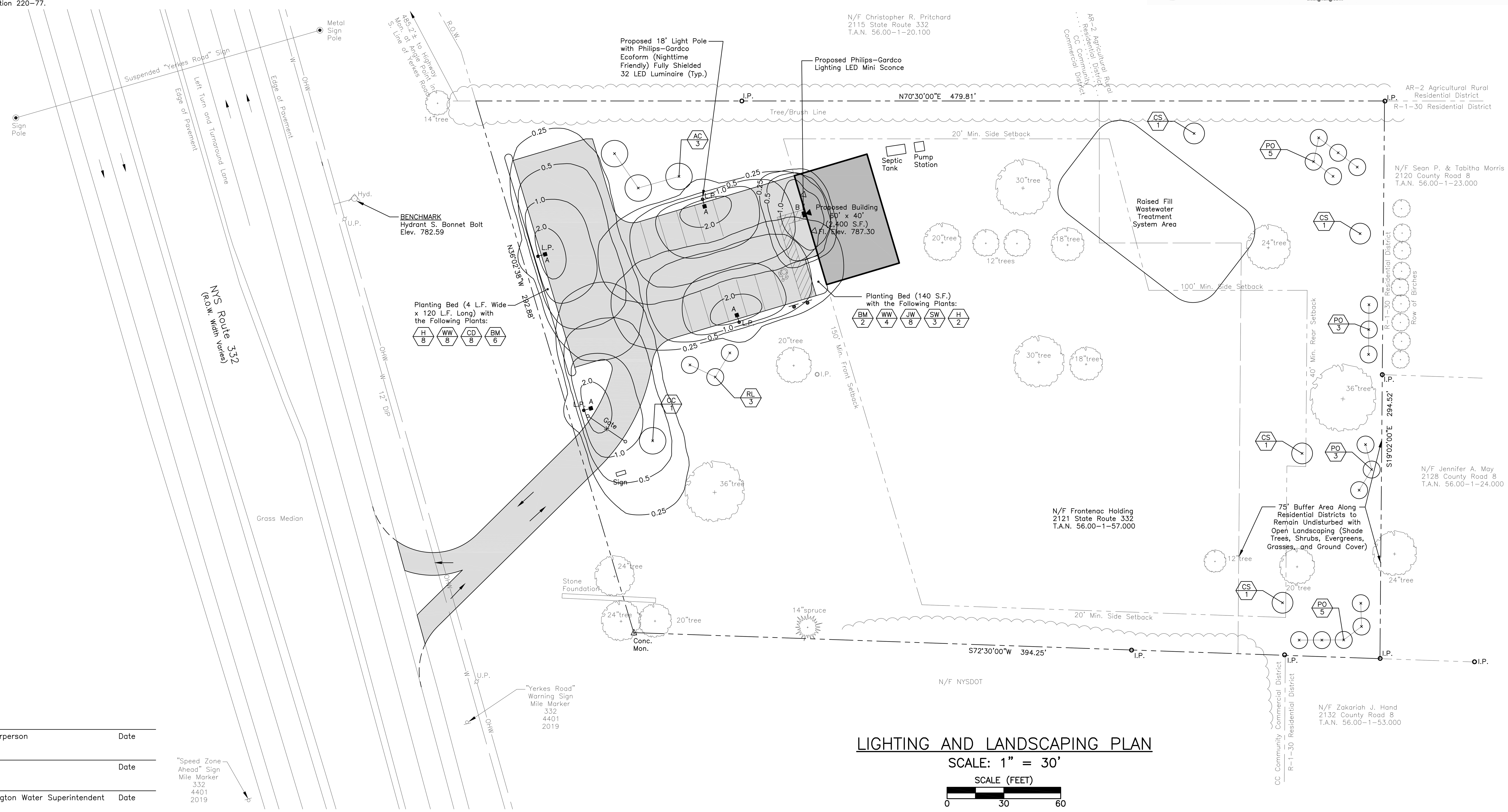
PLANTING SCHEDULE

QUANTITY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	NOTES
8	BM	Buxus microphylla	Littleleaf Boxwood	24" Height	Container	
8	JW	Juniperus horizontalis "Wiltonii"	Blue Rug Wiltoni Juniper	# 1	Container	
3	RL	Syringa x "Royalty"	Royalty Lilac	24" Height	Container	
10	H	Hosta "Risky Business"	Risky Business Hosta	# 2	Container	
1	CC	Cereis conodensis	Redbud	8' to 10' Height	Balled and Burlapped	
3	SW	Spirea x burmalda "Anthony Waterer"	Anthony Waterer Spirea	# 3	Container	
3	AC	Abies concolor	White Fir	6' to 8' Height	Balled and Burlapped	20' O.C. Min.
12	WW	Weigela florida "Alexandra"	Wine and Roses Weigela	# 2	Container	4' O.C. Min.
8	CD	Cotoneaster Dammeri "Royal Beauty"	Royal Beauty Cotoneaster	# 2	Container	
16	PO	Physocarpus epulifolius "Nana"	Dwarf Ninebark	18" to 24" Height	Container	
4	CS	Cornus sericea	Red Twig Dogwood	# 3	Container	

LIGHTING FIXTURE SCHEDULE

Designation	No. of Fixtures	Fixture	Lumens	Mounting
A	Single	Philips–Gardco Lighting Ecoform Series LED Luminaire, R3 Distribution, with Internal Houseside Shield	6900	20' Mounting Height on Pole
B	Single	Philips–Gardco Lighting LED Mini Sconce	2613	10' Mounting Height on Building





APPROVALS

Planning Board Chairperson   Date

Town Engineer   Date

Canandaigua–Farmington Water Superintendent   Date

LIGHTING AND LANDSCAPING PLAN

SCALE: 1" = 30'

SCALE (FEET) 0 30 60

REVISIONS			
NO.	DESCRIPTION	DATE	BY
1	PLANNING BOARD REVIEW COMMENTS	10/02/18	GFT

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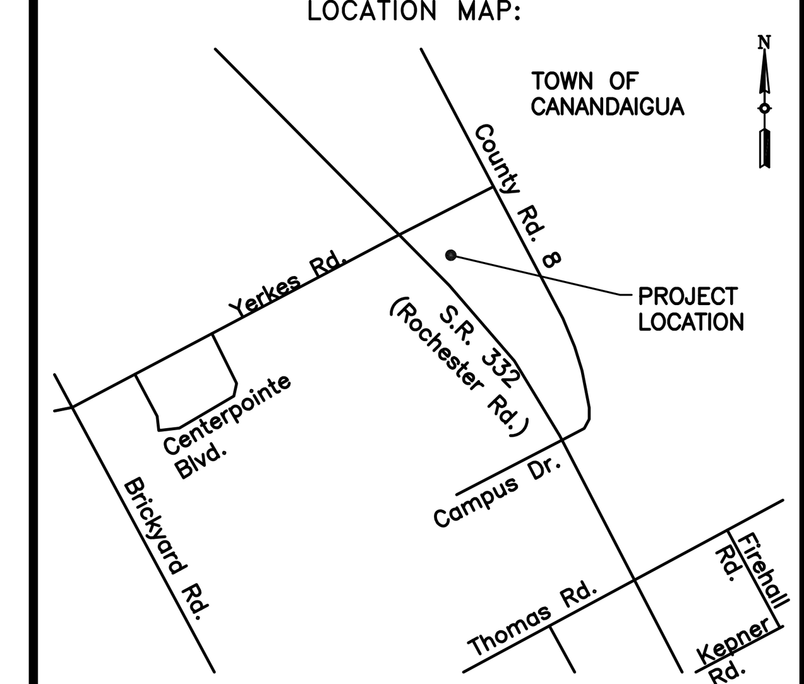
30 Assembly Drive, Suite 106
Mendon, New York 14506
Consultant Engineers

LICENSED PROFESSIONAL ENGINEER GLENN F. THORNTON No. 055268 STATE OF NEW YORK

LOCATION MAP:



PROJECT NAME:

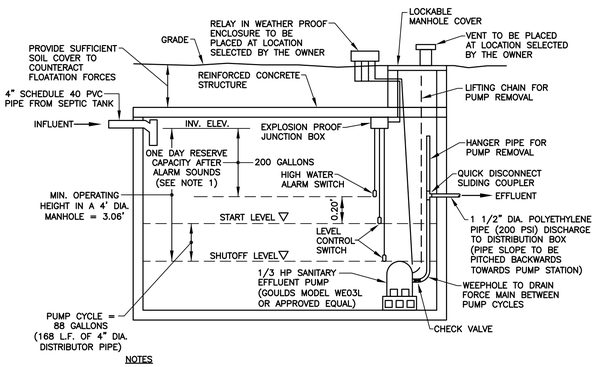
Frontenac Boat Sales

2121 State Route 332
Town of Canandaigua
Ontario County, NY

DRAWING TITLE:

Lighting and Landscaping Plan

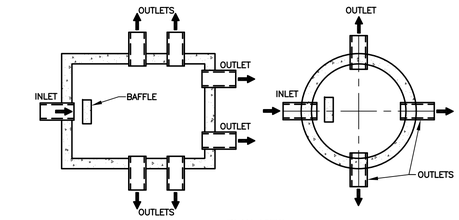
FILE NAME: LTLANDSCAPE.DWG	DESIGNED BY: GFT
DRAWN BY: HKT	CHECKED BY: GFT
APPROVED BY: GFT	DATE: AUGUST 2018
SCALE: 1" = 30'	PROJECT NO.: 18–682
SHEET NO.: 2 OF 7	DRAWING NO.: S-2



NOTES

1. STORAGE VOLUME BASED UPON 1 DAY OR 200 GALLONS.
2. REMOTE AUDIO AND VISUAL HIGH WATER ALARMS TO BE INSTALLED IN THE BUILDING AT A LOCATION SELECTED BY THE OWNER.
3. PUMPING CYCLE VOLUME OF 88 GALLONS IS BASED UPON 75% TO 85% OF DISTRIBUTOR PIPE CAPACITY.
4. PUMP INSTALLATION SHALL CONFORM TO THE NATIONAL ELECTRICAL CODE AND SHALL BE INSPECTED AND APPROVED BY THE N.Y.S. BOARD OF FIRE UNDERWRITERS.
5. PUMP STATION TO BE INSTALLED LEVEL UPON A 6 INCH (MIN.) BED OF COMPACTED NO. 2 CRUSHED STONE.

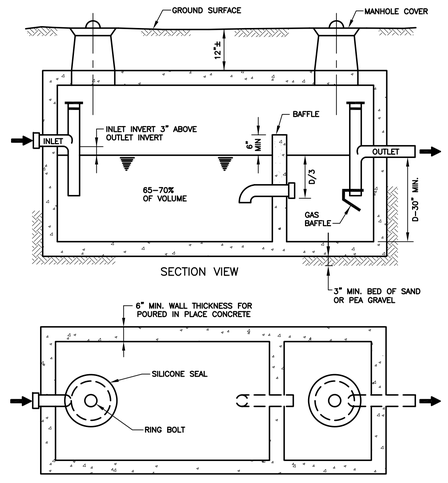
PRECAST CONCRETE PUMP STATION
NOT TO SCALE



NOTES:

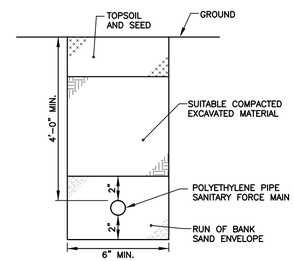
1. PIPE JOINTS TO BE SEALED WITH ASPHALTIC MATERIAL OR EQUIVALENT.
2. INVERT ELEVATIONS OF ALL PIPES MUST BE EQUAL. USE OF SPEED LEVELING DEVICES IS REQUIRED.
3. THE SLOPES OF OUTLET PIPES BETWEEN THE DISTRIBUTION BOX AND DISTRIBUTOR LATERALS SHOULD BE 1/8" PER FOOT.

DISTRIBUTION BOX
NOT TO SCALE



1. Compartments shall be connected by a 4 inch vertical slot at least 18 inches in width, a 6 inch elbow, two 4 inch elbows or four 4 inch diameter holes located as shown.
2. Septic tanks shall be equipped with effluent filters such as a Zabel A1800 Series Filter or approved equal.
3. Septic tanks shall be two compartment (dual chamber) construction such as Lakelands Concrete Model No. ST1000D or approved equal.

SEPTIC TANK DETAIL
NOT TO SCALE



NOTES

1. FORCE MAIN TO BE BURIED AT A MINIMUM DEPTH OF 4 FEET TO PREVENT FREEZING. WHERE COVER IS LESS THAN 4 FEET NEAR THE PUMP STATION AND DISTRIBUTION BOX, INSULATE WITH PROTEXULATE STYROFOAM OR EQUAL ACCORDING TO MANUFACTURER'S DIRECTIONS.

SANITARY FORCE MAIN
NOT TO SCALE

WASTEWATER TREATMENT SYSTEM NOTES

1. Sewage disposal systems shall be constructed in accordance with the 2014 Design Standards for Intermediate Sized Wastewater Treatment Systems issued by the New York State Department of Environmental Conservation.
2. Contractor to maintain a minimum of 10' setback of system from the property line for any point on the system.
3. Any deviation from the proposed plans will require new submission of plans to the appropriate agencies.
4. The Onsite Wastewater Treatment System has been designed to accept daily design flows of 200 gallons. The daily design flows do not include additional capacity required for use of garbage grinders.
5. Non-wastewater flows (e.g. sumps, roof drains, footer drains, etc.) should not be added to the system.

RAISED FILL CONSTRUCTION NOTES

1. Heavy construction equipment shall NOT be allowed within the area of the system. The original soil must be left in place and plowed with at least a double bottomed blade/plow and the furrow turned upslope. The soil must NOT be wet when plowed.
2. No standing water in the fill area is allowed.
3. Fill material must be placed on the edge of the prepared base and pushed into place by a bulldozer while maintaining at least six (6) inches of fill under the tracks.
4. The absorption trenches shall be constructed in the fill material. Trenches shall not be constructed if the frost has penetrated the fill more than three (3) inches.
5. No cut in leach field area.
6. Fill material shall be perc tested following placement and shall achieve a perc rate of 5 minutes to 30 minutes. The length of absorption trench shall be calculated based upon the perc rate in the fill material.
7. The entire surface of the fill system, except the taper, shall be covered with a minimum of six (6) inches of topsoil mounded to enhance runoff from the system and seeded to grass. Tapers shall be covered with three (3) to six (6) inches of topsoil.
8. Swales shall be constructed to divert surface water around the system and provide drainage away from the system.
9. Individual distribution pipes shall be of equal length.
10. Percolation tests shall be conducted in the fill material at the borrow pit and after placement and settling at the construction site and before leach lines are installed. The slower percolation rate of these tests shall be used for design purposes.
11. A system shall not be built in unstabilized fill material. The fill material shall be allowed to settle naturally for a period of at least six months to include one freeze-thaw cycle, or may be stabilized by mechanical compaction in shallow lifts if a fill material consisting of only a granular sand or sandy loam is used.

NECESSARY SEWAGE SYSTEM INSPECTIONS

1. The Contractor shall notify the Design Engineer and the Town Code Enforcement Officer a minimum of two (2) business days prior to construction so that necessary inspections can be scheduled.
2. All work will be supervised, inspected, and certified by the Design Engineer, Thornton Engineering. Field measurements of all system components will be assembled and as-built plans of the system will be prepared by the Design Engineer.

SOIL INVESTIGATION RESULTS

Soil Percolation Tests (performed by Glenn Thornton on 8/5/18)

	Test Results (Minutes)
PH1 (12" deep)	57 minute percolation rate 40, 56, 57
PH2 (12" deep)	45 minute percolation rate 15, 28, 45, 43
PH3 (22" deep)	60+ minute percolation rate 60+
PH4 (23" deep)	60+ minute percolation rate 60+

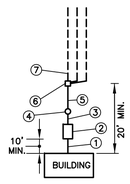
Deep Hole (DH) (performed on 6/5/18)

0" to 7 1/2"	Topsoil
7 1/2" to 24"	Clay loam, loose, light brown, moist, few stones
24" to 72"	Clay loam, compact, dark brown, with stones

Deep Hole Excavation did not find evidence of groundwater, bedrock, or impervious layers to a depth of 72 inches.

WASTEWATER TREATMENT SYSTEM DESIGN DATA	
	SALES BUILDING
DESIGN FLOW	200 GPD
MIN. SEPTIC TANK CAPACITY	1000 GAL.
PERCOLATION RATE (TOP 12")	55 MIN.
REQ'D. BASAL AREA	1000 S.F.
BASAL AREA DIMENSIONS	19' x 61'*
PERF. DISTRIBUTOR LINES	3 @ 56 L.F.*
DESIGN ELEVATIONS	
SEWER INV. AT BLDG.	780.00
SEPTIC TANK IN	779.60
SEPTIC TANK OUT	779.35
PUMP STATION IN	779.20
PUMP STATION OUT	777.00
DISTRIBUTION BOX IN	780.77
DISTRIBUTION BOX OUT	780.60
DISTRIBUTOR LINE 1 BEGIN	780.50
DISTRIBUTOR LINE 1 END	780.30
DISTRIBUTOR LINE 2 BEGIN	780.35
DISTRIBUTOR LINE 2 END	780.15
DISTRIBUTOR LINE 3 BEGIN	780.20
DISTRIBUTOR LINE 3 END	780.00

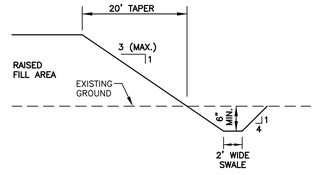
* THE TOTAL LENGTH OF DISTRIBUTOR PIPES (168 L.F.) AND SIZE OF BASAL AREA (1000 S.F.) REQUIRES PLACEMENT OF USEABLE FILL MATERIAL WITH A 5 MINUTE TO 30 MINUTE PERCOLATION RATE. 12" MINIMUM FILL REQUIRED UNDER TRENCHES.



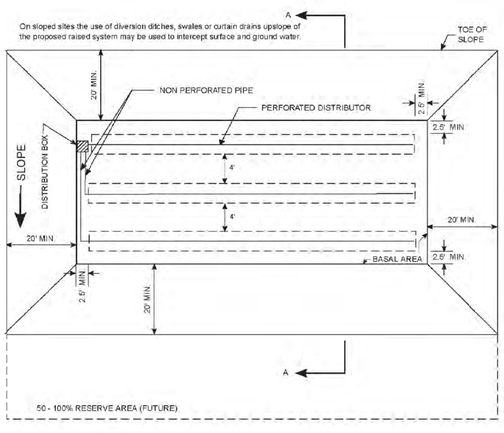
KEY

1. 4" DIA. SCH 40 CIP WITH TIGHT JOINTS, 1/4"/FT. SLOPE (MIN.)
2. SEPTIC TANK
3. 4" DIA. SCH 40 PVC WITH TIGHT JOINTS, 1/8"/FT. SLOPE (MIN.)
4. PUMP STATION
5. 1 1/2" POLYETHYLENE (HDPE) PIPE FORCE MAIN
6. DISTRIBUTION BOX
7. 4" DIA. PVC, PERFORATED, 1/16"/FT. SLOPE (MAX.), 1/32"/FT. SLOPE (MIN.)

SEPTIC SYSTEM SCHEMATIC
NOT TO SCALE

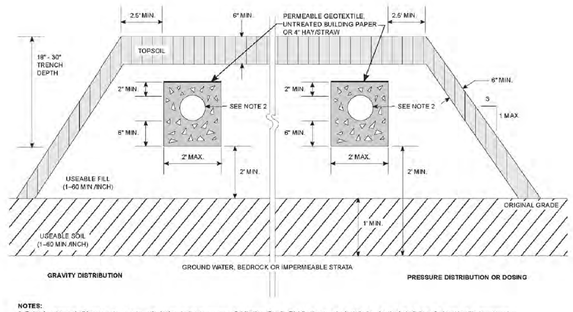


DIVERSION SWALE
NOT TO SCALE



NOTES: 1. There is at least one foot of original soil with faster than 60 minutes percolation rate, above any impermeable soil layer or bedrock, but not more than two feet.
2. The maximum high groundwater level must be at least one foot below the original ground surface.
3. Slopes shall not exceed 15%.
4. Fill material with a percolation rate of between 5 - 30 min/in. with a sand or sandy loam 5 - 10 min/in. preferred.

FIGURE 28: RAISED SYSTEM - TOP VIEW



NOTES:
1. Raised systems shall incorporate an automatic dosing device or pressure distribution. Gravity Distribution may be installed under the jurisdiction of a local health department or other jurisdictional agency with a system design and a construction/inspection certification program.
2. Distribution pipe diameters for dosing shall be in the range of 3 inches to 6 inches maximum. Distribution pipe diameters for pressure distribution shall be in the range of 1 inch minimum to 3 inches maximum. Use 4 inch diameter perforated pipe for gravity distribution.
3. Distance between trenches to be 4 feet minimum edge-to-edge.

FIGURE 29: RAISED SYSTEM - CROSS SECTION FOR GRAVITY DISTRIBUTION, PRESSURE DISTRIBUTION OR DOSING

REVISIONS

NO.	DESCRIPTION	DATE	BY
1	PLANNING BOARD REVIEW COMMENTS	10/02/18	GFT

NOT APPROVED FOR CONSTRUCTION

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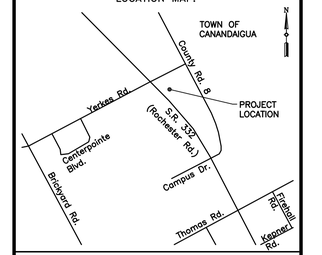
THORNTON ENGINEERING LLP
30 Assembly Drive, Suite 106
Mendon, New York 14506
Consultant Engineers

LICENSED PROFESSIONAL ENGINEER GLENN F. THORNTON No. 055288 STATE OF NEW YORK

LOCATION MAP:



PROJECT NAME:

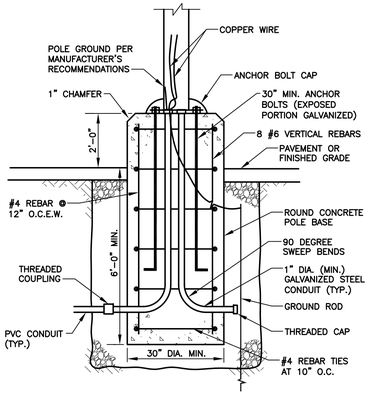
Frontenac Boat Sales

2121 State Route 332
Town of Canandaigua
Ontario County, NY

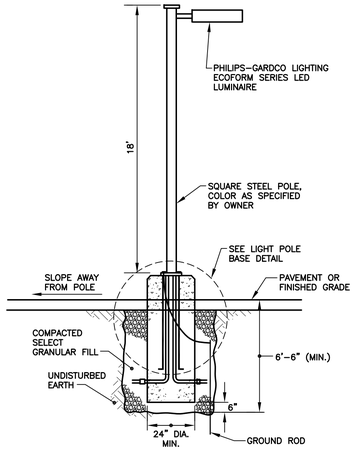
DRAWING TITLE:

Wastewater Treatment System Details

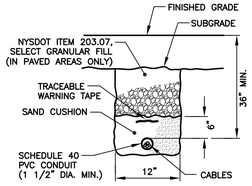
FILE NAME: DETAILS.DWG	DESIGNED BY: GFT
DRAWN BY: HKT	CHECKED BY: GFT
APPROVED BY: GFT	DATE: AUGUST 2018
SCALE: NOT TO SCALE	PROJECT NO.: 18-682
SHEET NO.: 3 OF 7	DRAWING NO.: D-1



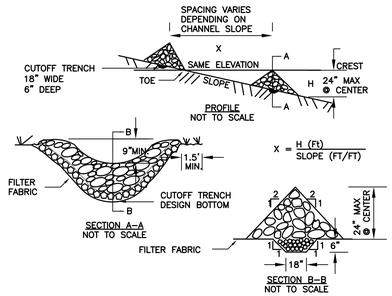
LIGHT POLE BASE
NOT TO SCALE



LIGHT POLE
NOT TO SCALE



CONDUIT INSTALLATION AND TRENCH
NOT TO SCALE

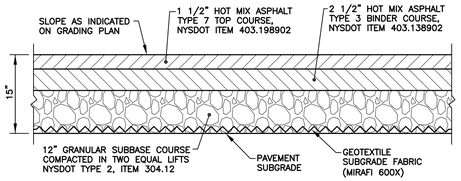


CONSTRUCTION SPECIFICATIONS

1. STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN IN THE PLAN.
2. SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
3. EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
4. PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
5. ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONE.

MAXIMUM DRAINAGE AREA 2 ACRES.

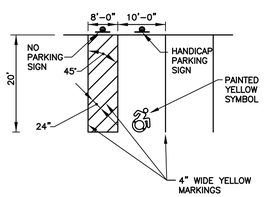
ROCK CHECK DAM
NOT TO SCALE



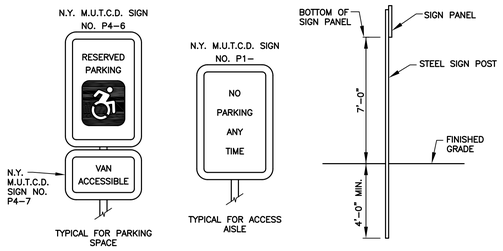
NOTES

1. PAVEMENT SUBGRADE AREAS SHALL BE COMPACTED TO A DEPTH OF SIX INCHES AND TO A DENSITY OF NOT LESS THAN 95% OF THE MAXIMUM DENSITY AS DETERMINED BY ASTM D-1557.
2. EXISTING TOPSOIL (6" MINIMUM THICKNESS) SHALL BE REMOVED FROM ALL PROPOSED PAVEMENT AREAS. AREAS BELOW THE PAVEMENT SUBGRADE SHALL BE FILLED WITH COMPACTED GRANULAR SUBBASE COURSE.

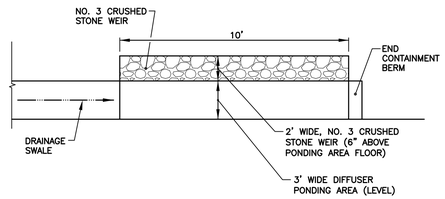
ASPHALT PAVEMENT
NOT TO SCALE



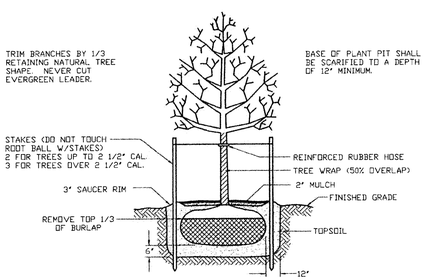
PAVEMENT MARKINGS
NOT TO SCALE



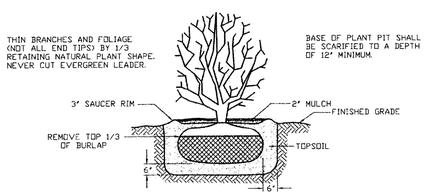
HANDICAP PARKING SIGNS
NOT TO SCALE



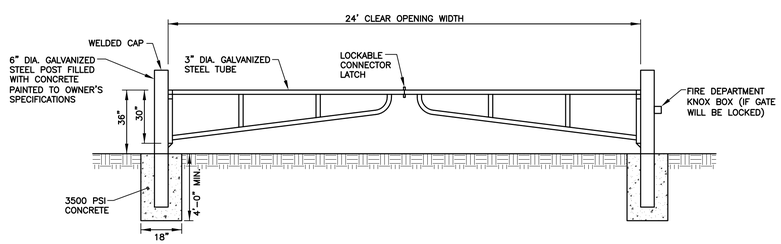
FLOW DIFFUSER
NOT TO SCALE



TYPICAL TREE PLANTING
NOT TO SCALE



TYPICAL SHRUB PLANTING
NOT TO SCALE



SWING GATE
NOT TO SCALE

REVISIONS

NO.	DESCRIPTION	DATE	BY
1	PLANNING BOARD REVIEW COMMENTS	10/02/18	GFT

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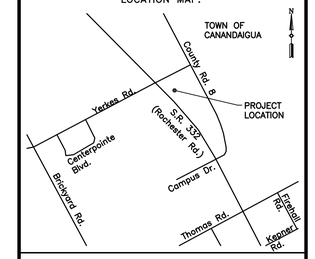


PROJECT NAME:

Frontenac Boat Sales

2121 State Route 332
Town of Canandaigua
Ontario County, NY

DRAWING TITLE:

Miscellaneous Details

FILE NAME: DETAILS.DWG	DESIGNED BY: GFT
DRAWN BY: HKT	CHECKED BY: GFT
APPROVED BY: GFT	DATE: AUGUST 2018
SCALE: NOT TO SCALE	PROJECT NO.: 18-682
SHEET NO.: 4 OF 7	DRAWING NO.: D-2

STANDARD NOTES

1. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE WATER/SEWER AGENCIES, UNLESS OTHERWISE NOTED.

2. A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED TO CONFORM WITH THE LATEST NYSDEC GENERAL PERMIT AND TO THE TOWN REQUIREMENTS REGARDING MAINTENANCE AND CONTROL OF STORM WATER QUALITY AND QUANTITY.

3. ALL SWPPP'S ARE REQUIRED TO BE REVIEWED AND APPROVED BY THE TOWN CEO AND TOWN ENGINEER. THE TOWN MS4 SWPPP ACCEPTANCE FORM IS TO BE SIGNED AND INSERTED INTO THE PROJECT SWPPP PRIOR TO CONSTRUCTION.

4. THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED SWPPP, INCLUDING FILING OF THE "NOTICE OF INTENT" (NOI). A COPY OF THE NYSDEC ACKNOWLEDGEMENT LETTER IS TO BE PROVIDED TO THE TOWN DEVELOPMENT OFFICE AND TOWN ENGINEER PRIOR TO CONSTRUCTION.

5. A COPY OF THE PROJECT SWPPP IS TO BE PROVIDED TO THE TOWN DEVELOPMENT OFFICE, TOWN ENGINEER, AND A COPY IS TO REMAIN ONSITE DURING CONSTRUCTION AT ALL TIMES IN A MARKED AND ACCESSIBLE LOCATION.

6. ANY MODIFICATIONS OR DEVIATIONS FROM THE APPROVED PLANS, CONSTRUCTION SEQUENCE, AND/OR SWPPP, INCLUDING IMPLEMENTATION OF EROSION CONTROL MEASURES AND STORM WATER MANAGEMENT AREAS, SHALL BE APPROVED BY THE TOWN OF CANANDAIGUA AND DOCUMENTED WITHIN THE PROJECT SWPPP.

7. THE OWNER IS REQUIRED TO PROVIDE DAILY ONSITE OBSERVATION BY A LICENSE PROFESSIONAL OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC). ALL SWPPP INSPECTIONS ARE TO BE IN A FORM ACCEPTABLE BY THE TOWN OF CANANDAIGUA AND FORWARDED TO OWNER, THE TOWN CEO, TOWN ENGINEER, AND A COPY PLACED WITHIN THE ONSITE PROJECT SWPPP.

8. THE OWNER IS RESPONSIBLE FOR PROVIDING ONSITE SWPPP INSPECTIONS BY A LICENSE PROFESSIONAL OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC) DURING CONSTRUCTION ONCE PER WEEK (EVERY 7 DAYS) IF UNDER 5-ACRES OF DISTURBANCE AND TWICE PER WEEK (EVERY 7 DAYS) IF 5-ACRES OR MORE WITH RECEIPT OF A 5-ACRE WAIVER FROM THE TOWN OF CANANDAIGUA (MS4).

9. DEVELOPMENT IN THE CANANDAIGUA LAKE WATERSHED DISTURBING MORE THAN 5-ACRES AT ONE TIME, IS REQUIRED TO COORDINATE THE REGULAR SWPPP OBSERVATIONS REQUIRED BY THE LATEST GENERAL PERMIT WITH THE CANANDAIGUA LAKE WATERSHED INSPECTOR, THE WATERSHED PROGRAM MANAGER AND THE TOWN CODE ENFORCEMENT OFFICER.

10. CONSTRUCTION SEQUENCE - ALL PLANS ARE TO BE PROVIDED WITH A DETAILED CONSTRUCTION SEQUENCE. THE CONTRACTOR SHALL COMPLETE CONSTRUCTION AND INSTALL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE APPROVED CONSTRUCTION SEQUENCE UNLESS SPECIFIED OTHERWISE ON THE APPROVED DESIGN PLANS OR AT THE PRE-CONSTRUCTION MEETING.

11. DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE TOWN OF CANANDAIGUA.

12. THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION AND UNTIL THE SITE IS FULLY STABILIZED, INSPECTED BY THE TOWN OF CANANDAIGUA, AND ISSUANCE OF THE NOTICE OF TERMINATION (NOT) HAS BEEN PROVIDED TO NYSDEC.

14. ROOF LEADERS SHOULD BE CONNECTED TO STORM SEWERS WHERE POSSIBLE, UNLESS OTHERWISE SPECIFIED ON THE APPROVED PLANS AND WITHIN THE PROJECT SWPPP.

15. NO SITE PREPARATION SHALL COMMENCE UNTIL A VISUAL INSPECTION BY THE TOWN OF CANANDAIGUA, CONFIRMS THE INSTALLATION OF PERIMETER SEDIMENT CONTROLS AND THE STABILIZED CONSTRUCTION ENTRANCE.

16. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF VEGETATION, THE STORM WATER MANAGEMENT FACILITIES SHALL BE CLEANED OF ACCUMULATED SILT.

17. ALL SITE STABILIZATION IS TO BE IN ACCORDANCE WITH THE LATEST VERSIONS OF THE NYSDEC STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL AND THE NYSDEC GENERAL PERMIT REQUIREMENTS (WHERE APPLICABLE).

18. ADDITIONAL TEMPORARY AND PERMANENT SEEDING AND SITE STABILIZATION REQUIREMENTS:

    A. ALL DISTURBED AREAS INCLUDING TOPSOIL STOCKPILES AND STORMWATER MANAGEMENT FACILITIES ARE TO BE STABILIZED WITHIN SEVEN (7) DAYS AFTER COMPLETION.

    B. TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:

    - THE SURFACE TWO INCHES OF SOIL SHOULD BE LOOSENED BY DISKING, RAKING, OR BACK-BLADING WITH A BULLDOZER.
    - FERTILIZE WITH 300 POUNDS PER ACRE (OR 7 POUNDS PER 1,000 SQUARE FEET).
    - NO PHOSPHORUS SHALL BE USED UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY HORTICULTURAL TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHORUS DEFICIENCY THAT IS HARMFUL, OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.
    - IF SOIL TESTS INDICATE A PHOSPHORUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHORUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYSDEC REGULATIONS.
    - THE FOLLOWING SEED MIX SHALL BE USED:

SPRING/SUMMER/EARLY FALL	LBS/ACRE	LBS/1,000 SQ. ACRE
ANNUAL RYE GRASS	30	0.7
PERENNIAL RYEGRASS	30	0.7
LATE FALL/EARLY WINTER		
CEREAL RYE	100	2.5

    - SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85 PERCENT AND MINIMAL INERT MATERIAL.

    C. DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEEDING MIX UPON COMPLETION OF GRADING AND CONSTRUCTION:

	LBS/ACRE	LBS/1,000 SQ. ACRE
BIRDSFOOT TREFOIL OR COMMON WHITE CLOVER	8 OR 8	0.20 OR 0.20
TALL FESCUE	20	0.45
REDTOP OR RYEGRASS (PERENNIAL)	2 OR 5	0.05 OR 0.10

    - SEEDING RATE: 6.0 POUNDS PER 1,000 SQUARE FEET
    - MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYRDO SEEDING METHOD AT TWO TONS PER ACRE WITH TACKIFIER.
    - FOR FALL OR EARLY WINTER, SEED WITH CERTIFIED "AROOSTOCK" WINTER RYE (CEREAL RYE) AT 100 POUNDS PER ACRE.
    - PERMANENT STABILIZATION FOR STEEP SLOPES GREATER THAN 3:1 SHALL INCLUDE JUTE MESH BLANKET AND CROWN VETCH SEED WITH PERENNIAL RYEGRASS.

19. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.

20. EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CALL THE DIG SAFELY NEW YORK (UFPO) HOTLINE AT 1-800-962-7962 FOR STAKEOUT OF EXISTING UTILITIES. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET THE EXISTING CONDITIONS.

21. THE HOMEBUILDER WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING INDIVIDUAL LOT EROSION & SEDIMENT CONTROL MEASURES, DURING HOUSE CONSTRUCTION. MEASURES TO BE MAINTAINED UNTIL FINAL LOT LAWN GRADING AND SITE IS FULLY STABILIZED AND INSPECTED BY THE TOWN OF CANANDAIGUA.

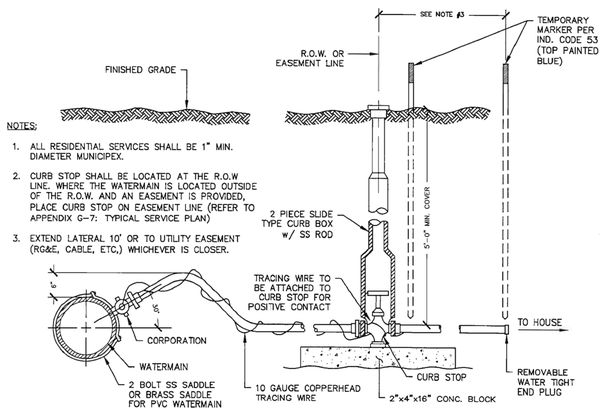
22. ANY ADDITIONAL EROSION OR SEDIMENT CONTROL MEASURES DEEMED NECESSARY BY THE TOWN OF CANANDAIGUA OR A REPRESENTATIVE THEREOF SHALL BE PROVIDED BY THE OWNER AND INSTALLED BY THE CONTRACTOR.

23. SEDIMENT CONTROL MEASURES ARE TO BE ESTABLISHED PRIOR TO COMMENCING EARTHWORK. SEDIMENT CONTROL MEASURES ARE TO BE MAINTAINED BY THE CONTRACTOR UNTIL UPSTREAM GROUND COVER HAS BEEN ESTABLISHED AND REMOVAL IS APPROVED BY THE TOWN OF CANANDAIGUA.

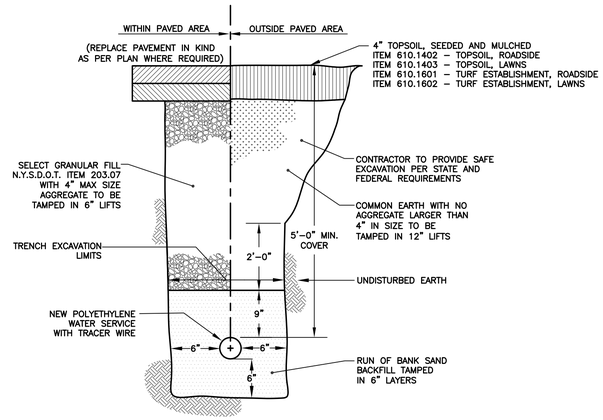
24. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, REPLACING AND SUBSEQUENTLY REMOVING TEMPORARY EROSION & SEDIMENT CONTROL DEVICES.

25. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ADJOINING PROPERTIES, ROADWAYS, DRAINAGE WAYS AND SINKS OF SILT ACCUMULATION AS NEEDED AND AS DETERMINED/REQUESTED BY THE TOWN OF CANANDAIGUA.

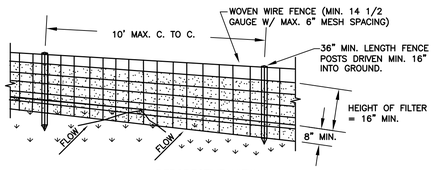
26. ANY FINAL GRADE DEVIATIONS OF HOUSE PAD ELEVATIONS MORE THAN 12 INCHES SHALL BE APPROVED BY THE PLANNING BOARD.



TYPICAL WATER SERVICE



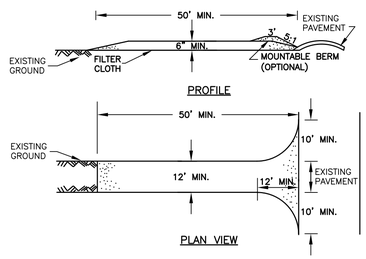
TYPICAL WATER SERVICE TRENCH - PRIVATE PORTION
NOT TO SCALE



CONSTRUCTION SPECIFICATIONS

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY 6" AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

SILT FENCE
NOT TO SCALE



CONSTRUCTION SPECIFICATIONS

1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50' (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30' MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN 6".
4. WIDTH - 12' MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. 24' IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE

REVISIONS

NO.	DESCRIPTION	DATE	BY
1	PLANNING BOARD REVIEW COMMENTS	10/02/18	GFT

NOT APPROVED FOR CONSTRUCTION

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Consultant Engineers

LICENSED PROFESSIONAL ENGINEER
GLENN F. THORNTON
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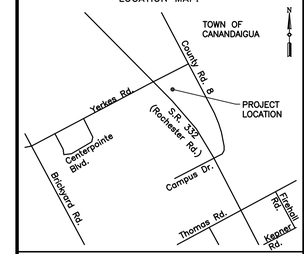


PROJECT NAME:

Frontenac Boat Sales

2121 State Route 332
Town of Canandaigua
Ontario County, NY

DRAWING TITLE:

Miscellaneous Details

FILE NAME:	DESIGNED BY:
DETAILS.DWG	GFT
DRAWN BY:	CHECKED BY:
HKT	GFT
APPROVED BY:	DATE:
GFT	AUGUST 2018
SCALE:	PROJECT NO.:
NOT TO SCALE	18-682
SHEET NO.:	DRAWING NO.:
5 OF 7	D-3

LEGEND

Existing	Proposed	
		Property Line/R.O.W.
○I.P.		Iron Pin
△ Conc. Mon.		Concrete Monument
-776-	776	Ground Contour
Hyd.		Hydrant
W		Watermain
	WS	Water Service
	FM	Force Main
U.P.		Utility Pole
OHW		Overhead Wire
	UGE	Underground Electric
		Asphalt Pavement
	L.P.	Light Pole
		Exterior Overhead Door
		Exterior Man Door
		Tree/Evergreen
		Tree/Evergreen to be Removed

APPLICANT INFORMATION

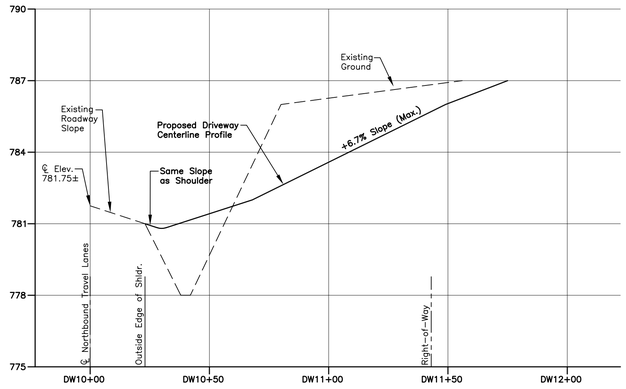
Kevin Degraw
Frontenac Holdings
21 Basin Street
Union Springs, NY 13160
636-236-7607

SURVEY AND MAP NOTES

1. This plan was prepared using a survey map entitled "Topographic and Boundary Survey of Lands of Michael Wagner" prepared by Freeland-Parrinello Land Surveyors dated January 10, 2014. Vertical datum is approximate North American Vertical Datum 1988 (NAVD88).

DESIGNER CONTACT STATEMENT

Thornton Engineering LLP is responsible for the design of this project. Glenn F. Thornton, P.E. is the designer and is familiar with NYSDOT standards and requirements and shall be contacted at 585-624-4810 to resolve issues or problems during construction. All revisions, including revisions necessary due to field conditions, shall be approved by the NYSDOT.



DRIVEWAY PROFILE

SCALE: 1" = 30' H.
1" = 3' V.

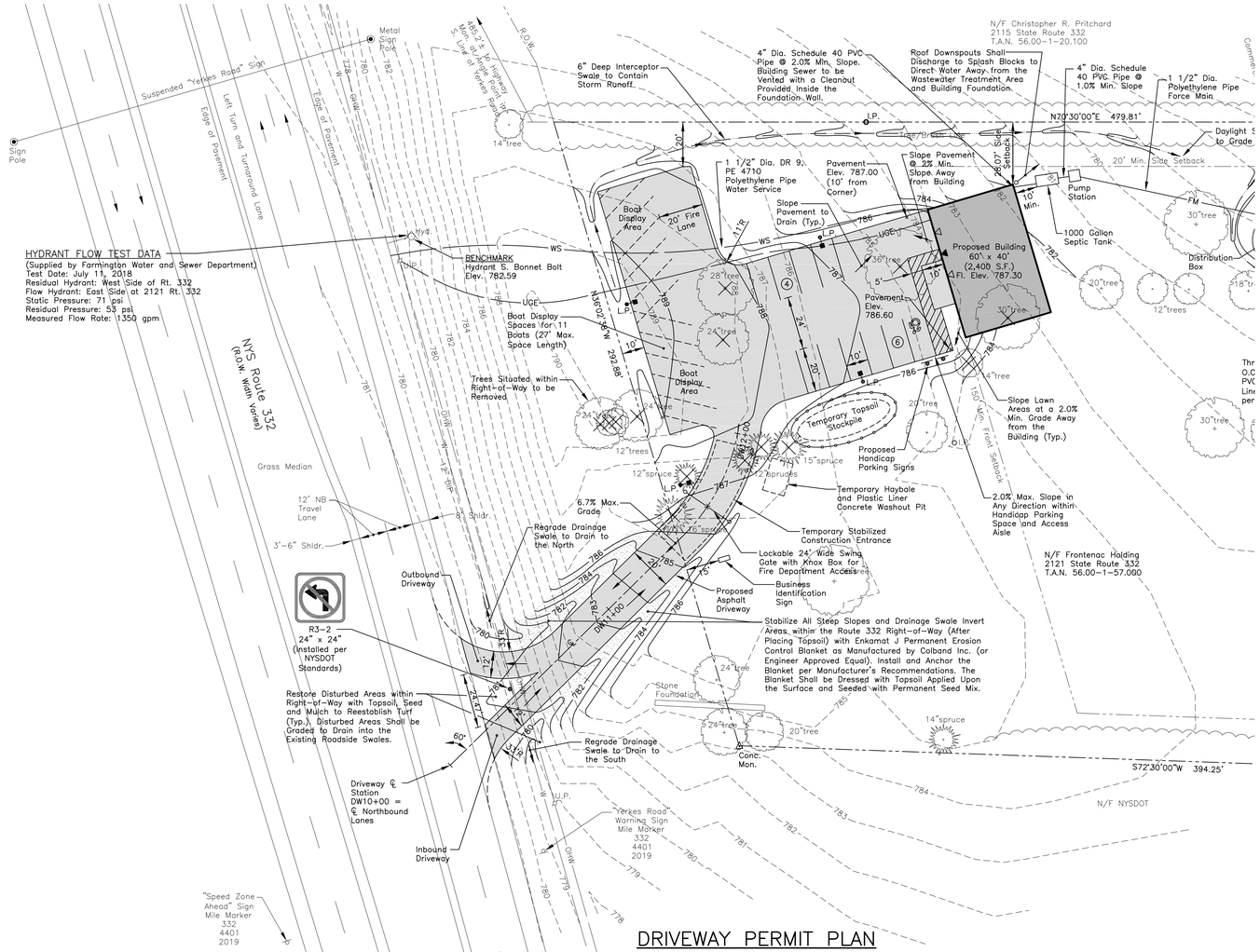
Standard General Plan Notes

1. ROAD TO BE KEPT CLEAN OF MUD AND DEBRIS AT ALL TIMES.
2. ROADSIDE DRAINAGE TO BE MAINTAINED AT ALL TIMES.
3. MATERIALS, EQUIPMENT AND VEHICLES ARE NOT TO BE STORED OR PARKED WITHIN THE NEW YORK STATE RIGHT-OF-WAY.
4. MAINTENANCE AND PROTECTION OF TRAFFIC MUST COMPLY WITH THE CURRENT NATIONAL MUTCD WITH NYS SUPPLEMENT, SECTION 619 OF THE CURRENT NYSDOT STANDARD SPECIFICATIONS, THESE PLANS AND AS ORDERED BY THE ASSISTANT RESIDENT ENGINEER. ON A NYSDOT CONSTRUCTION PROJECT, MAINTENANCE AND PROTECTION OF TRAFFIC MUST COMPLY WITH THESE PLANS AND BE IN ACCORDANCE WITH THE NYSDOT CONTRACT DOCUMENTS AS DEEMED NECESSARY BY THE NYS ENGINEER-IN-CHARGE.
5. NOTIFY THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION'S ASSISTANT RESIDENT ENGINEER AT THE APPROPRIATE NUMBER, AS NOTED BELOW, THREE (3) WORK DAYS PRIOR TO WORKING WITHIN THE STATE RIGHT-OF-WAY.

GENESEE CO.	**- DAN STAHLEY (585) 343-0502**	**LIVINGSTON CO.**	**- ADAM KISIAH (585) 346-3036**
MONROE CO.	**- WEST OF GENESEE RIVER MARK ELLSWORTH (585) 352-3471**	**MONROE CO.**	**- EAST OF GENESEE RIVER ALLISON MCNAMARA (585) 586-4514**
ONTARIO CO.	**- GREG TROST (585) 396-4955**	**ORLEANS CO.**	**- KEVIN KEISER (585) 589-6655**
WAYNE CO.	**- JEFF JONES (315) 332-4000**	**WYOMING CO.**	**- KEN BITTNER (585) 786-3310**

THE PERMITTEE IS ADVISED THAT THE NYSDOT IS NOW REVIEWING ALL LANE CLOSURES ON THE PRIORITY NETWORK FOR IMPACT ON TRAFFIC OPERATIONS IN REAL-TIME. THE PRIORITY NETWORK CONSISTS OF INTERSTATES 390, 490 AND 590 AND STATE ROUTES 390, 590, 104 (FROM NY 390 TO WAYNE COUNTY), US 20, NY 63 (FROM STEUBEN COUNTY TO I 90) AND NY 77 IN GENESEE COUNTY. THE CLOSURE WILL BE EVALUATED IN THE LIGHT OF WHAT IS HAPPENING AT THAT TIME ON THE HIGHWAY. INCIDENTS, CONFLICTING WORK ZONES OR OTHER UNPLANNED EVENTS THAT RENDER THE HIGHWAY UNAVAILABLE FOR THE CLOSURE MAY RESULT IN A SHORT-TERM DISAPPROVAL OF THE CLOSURE UNTIL THE SITUATION HAS BEEN RESOLVED. EVALUATION PROCEDURES ARE AVAILABLE FOR REVIEW AT THE REGIONAL TRAFFIC OPERATIONS CENTER, 1155 SCOTTSVILLE ROAD, ROCHESTER, NY.

6. NOTIFY THE NYSDOT SIGNAL MAINTENANCE FACILITY AT (585) 753-7780 5 DAYS PRIOR TO WORKING WITHIN 350' OF A SIGNALIZED INTERSECTION. NOTIFY DIG SAFELY NEW YORK 2 WORK DAYS PRIOR TO DIGGING, DRILLING OR BLASTING AT 811 FOR A UTILITY STAKE-OUT.
7. ALL MATERIALS USED WITHIN THE STATE RIGHT-OF-WAY MUST COMPLY WITH THE CURRENT NEW YORK STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS ALONG WITH ANY APPROPRIATE CURRENT NYS DEPARTMENT OF TRANSPORTATION'S STANDARD SHEETS.
8. QUALITY CONTROL OF ASPHALT CONCRETE SHALL MEET THE REQUIREMENTS OF SECTION 401 OF THE STANDARD SPECIFICATIONS. ALL ASPHALT PRODUCED AS PART OF SECTION 401 WILL BE PAID AT A FINAL QUANTITY ADJUSTMENT FACTOR OF 1.0. ASPHALT COURSE DEPTHS SHOWN ON THE PLANS ARE COMPACTED DEPTHS.
9. NO NIGHT WORK SHALL BE ALLOWED UNLESS APPROVED PRIOR TO START OF PROJECT. ADDITIONAL MAINTENANCE AND PROTECTION OF TRAFFIC MAY BE REQUIRED INCLUDING THE ADDITION OF REFLECTIVE MATERIALS AND LIGHTING.
10. HAZARDOUS WASTE NOTIFICATION - THE PERMITTEE ACCEPTS THE RIGHT-OF-WAY OF THE STATE HIGHWAY IN ITS "AS IS" CONDITION. THE DEPARTMENT OF TRANSPORTATION MAKES NO REPRESENTATION AS TO THE ABSENCE OF UNDERGROUND TANKS, STRUCTURES, FEATURES OR SIMILAR IMPEDIMENTS TO THE COMPLETION OF THE WORK PERMITTED HEREUNDER. SHOULD PERMITTEE FIND SOME PREVIOUSLY UNKNOWN UNDERGROUND IMPEDIMENTS TO ITS WORK, THE DEPARTMENT OF TRANSPORTATION SHALL HAVE NO OBLIGATION TO CURE, REMOVE, REMEDY OR OTHERWISE DEAL WITH SUCH PREVIOUSLY UNKNOWN UNDERGROUND IMPEDIMENTS. THE PERMITTEE IS REQUIRED TO REMOVE, MODIFY OR OTHERWISE DEAL WITH SUCH UNDERGROUND TANKS, STRUCTURES, FEATURES OR IMPEDIMENTS IN A MANNER WHICH MEETS ACCEPTABLE ENGINEERING PRACTICE AND IS APPROVED BY THE DEPARTMENT OF TRANSPORTATION.
11. ADA COMPLIANCE - ALL WORK ON PEDESTRIAN FACILITIES SHALL BE COMPLIANT WITH THE AMERICANS WITH DISABILITIES ACT (ADA). 12/2015



DRIVEWAY PERMIT PLAN

SCALE: 1" = 30'

SCALE (FEET)
0 30 60

REVISIONS

NO.	DESCRIPTION	DATE	BY
1	PLANNING BOARD REVIEW COMMENTS	10/02/18	GFT

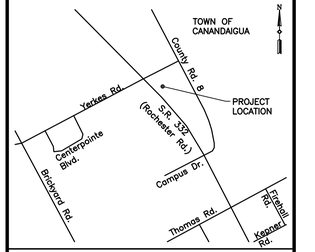
NOT APPROVED FOR CONSTRUCTION

It is a violation of New York State Education Law Article 145 Section 7209 for any person, unless he or she is acting under the direction of a licensed professional engineer or land surveyor, to alter an item in any way. If an item bearing the seal of an engineer or land surveyor is altered, the altering engineer or land surveyor shall affix to the item his or her seal and the notation "altered by" followed by his or her signature and the date of such alteration, and a specific description of the alteration.

THORNTON ENGINEERING LLP
30 Assembly Drive, Suite 106
Mendon, New York 14506
Consultant Engineers

LICENSED PROFESSIONAL ENGINEER GLENN F. THORNTON No. 055288 STATE OF NEW YORK

LOCATION MAP:



PROJECT NAME:

Frontenac Boat Sales

2121 State Route 332
Town of Canandaigua
Ontario County, NY

DRAWING TITLE:

Driveway Permit Plan and Profile

FILE NAME: DOTPLAN.DWG	DESIGNED BY: GFT
DRAWN BY: HKT	CHECKED BY: GFT
APPROVED BY: GFT	DATE: AUGUST 2018
SCALE: AS NOTED	PROJECT NO.: 18-682
SHEET NO.: 6 OF 7	DRAWING NO.: DOT-1

WORK ZONE TRAFFIC CONTROL NOTES

General Notes

1. The typical details depicted on the standard sheets and in the MUTCD, reflect the minimum requirements.
2. The Contractor must submit to the Engineer, in writing, proposed revisions to the traffic control plan for review and approval by the regional director or his/her designee five (5) work days prior to the planned implementation of such proposed revisions, except for changes that alter the scope of the traffic control plan. Such changes in scope must be submitted to the Engineer for approval by the regional director or his/her designee thirty (30) working days prior to implementation of such revisions.
3. The Contractor shall provide the Engineer, in writing, with the names, addresses, and telephone numbers of staff who are authorized to secure labor, materials, and equipment for emergency repairs outside normal working hours. The Engineer will provide the submitted information to regional management, the New York State police, the resident Engineer, and the local police.

Activity Area

1. The Contractor shall maintain a minimum 500' longitudinal distance between construction operations on alternate sides of the roadway, unless otherwise approved by the Engineer.
2. When two or more areas are adjacent, overlap, or are in close proximity, the Contractor shall ensure there are no conflicting signs and that lane continuity is maintained throughout all work areas.

Signs

1. The locations of the signs shown on the work zone traffic control plans and details may be adjusted based on sight distance and other considerations. The final locations of signs are subject to approval of the Engineer.
2. Any existing signs, including overhead signs, which conflict with the temporary traffic control sign layout shall be covered, removed, stored or reset, as approved by the Engineer. All appropriate existing signs shall be restored to their original condition and/or location unless otherwise replaced in this contract.
3. Signs at or near intersections shall be placed so that they do not obstruct a motorist's line of sight.
4. All warning and regulatory signs shall be posted on both sides of multi–lane divided highways, multi–lane ramps, and one–way streets. In cases where lane restrictions reduce the travel lane to one lane, signs shall be posted on the right side of the active travel lane, unless otherwise authorized by the Engineer.
5. Signs mounted on the median of divided highways where median barrier is in place may be mounted on the barrier with a saddle type bracket. Laying the sign down in a horizontal position is not permitted.
6. The dimensions of work zone traffic control signs are described in the MUTCD. Any changes to the dimensions shall be approved by the regional director or by his/her designee.
7. NYR9–12 may be used in place of NYR9–11.

Channelizing Devices

1. Where possible all channelizing and guiding devices are to be placed so as to provide a minimum 2' lateral clearance to the traveled way.

Public Access

1. Property owners whose driveways will be made inaccessible shall be notified by the Contractor at least 24 hours prior to restricting use of the driveway. For multiple access properties, at least one driveway shall be open at all times. Access shall be restored to all driveways as soon as possible.
2. Suitable ramps shall be installed to maintain smooth transitions from residential and commercial driveways to and from the work area.

Lane Closures

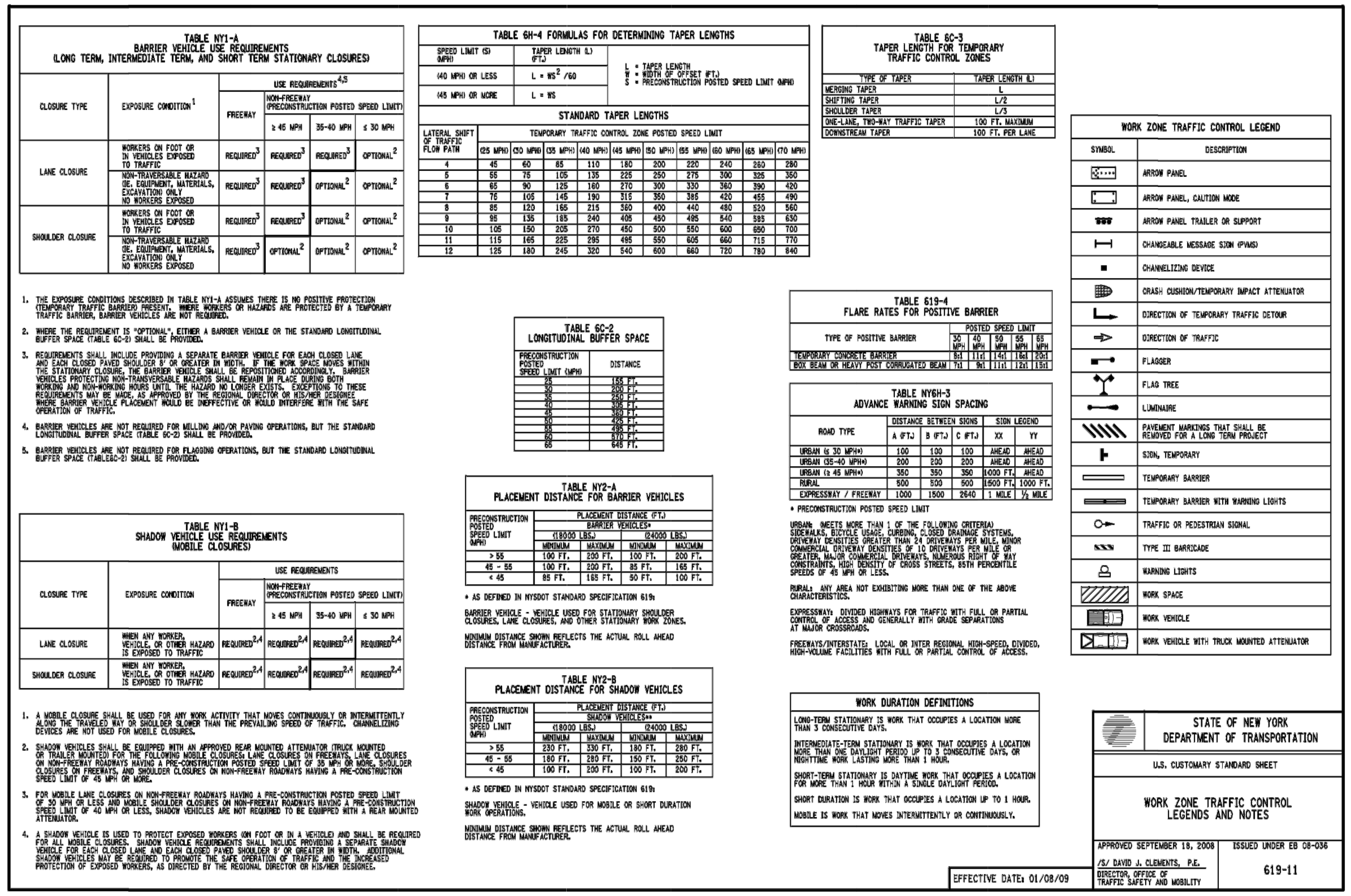
1. The Contractor shall locate lane closures to provide optimum visibility, i.e. before curves and crests, to the extent conditions permit.
2. The Engineer may require that all lanes be re–opened at any time if the route is needed for emergency purposes. This could include incidents at locations outside the contract limits.

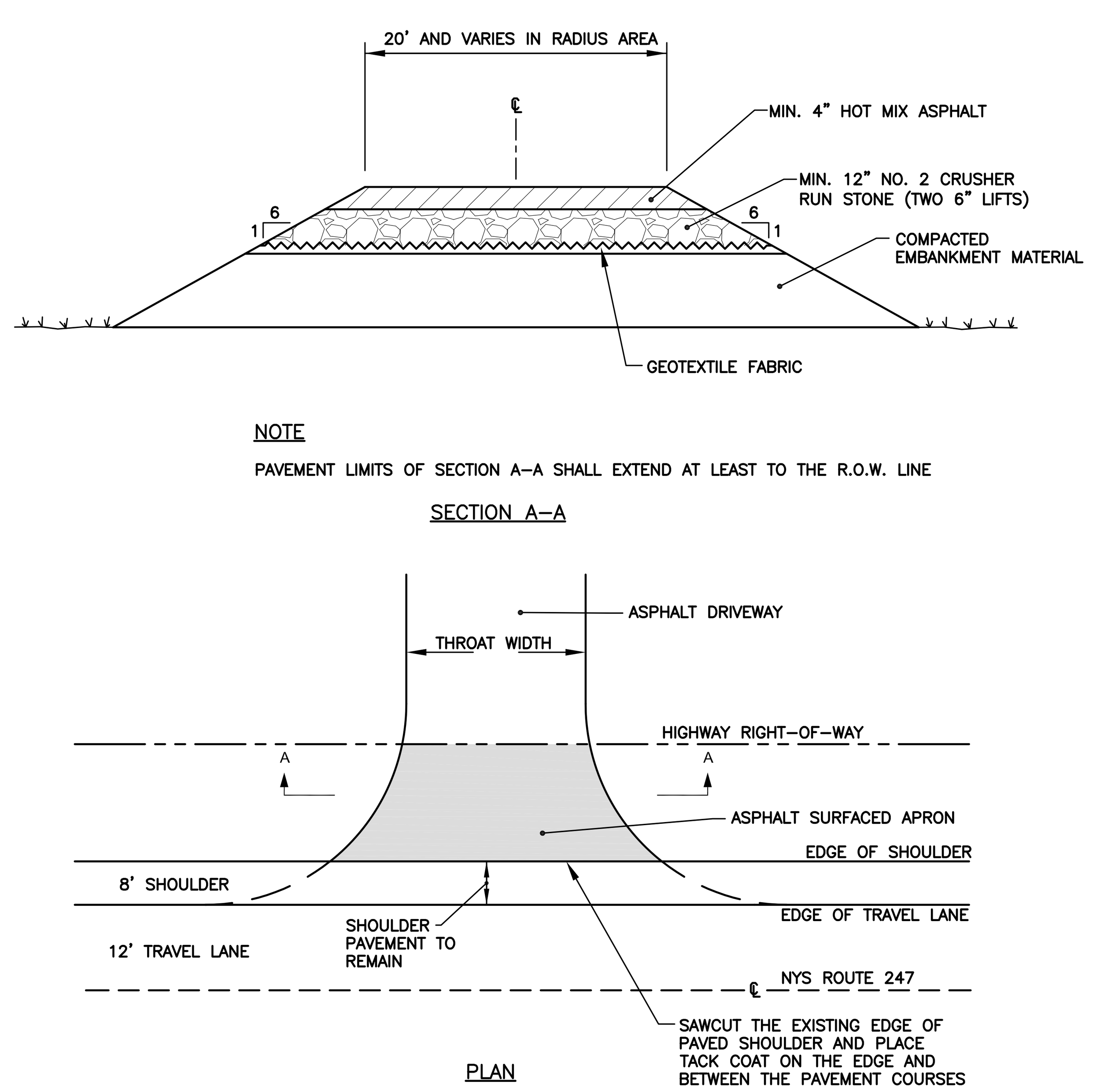
Lane Widths

1. Unless authorized by the Engineer, the minimum lane widths for work zone travel lanes shall be as follows: freeways and/or expressways is 11'. The minimum lane width for all other types of roadways is 10'.
2. The Contractor shall provide a written notice to the Engineer, a minimum of 21 calendar days in advance of performing any work that results in the reduced width of an existing roadway, so that the Engineer may notify the regional permit engineer in a timely manner.

Barrier/Shadow Vehicles

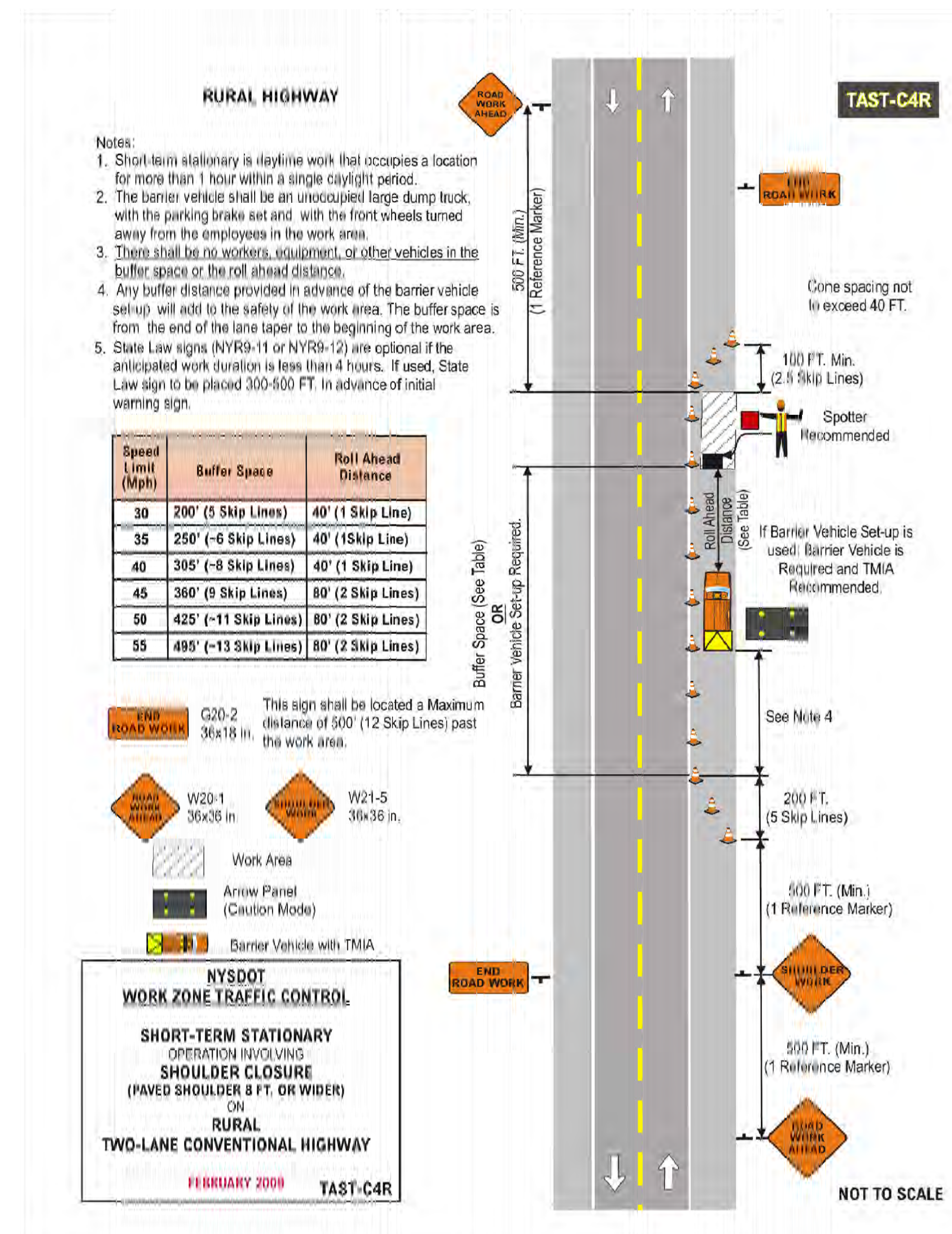
1. Barrier and shadow vehicles shall be required as per standard sheet titled "Work Zone Traffic Control Legends and Notes".
2. No work activity, equipment, vehicles and/or materials shall be located between the barrier or shadow vehicle and the active work area (roll ahead distance).
3. The Contractor may be required to provide a barrier vehicle in conjunction with police presence in the work zone, to be included in the unit bid price for basic work zone traffic control.





DRIVEWAY APRON

NOT TO SCALE



SHOULDER CLOSURE

NOT TO SCALE

REVISIONS			
NO.	DESCRIPTION	DATE	BY
1	PLANNING BOARD REVIEW COMMENTS	10/02/18	GFT

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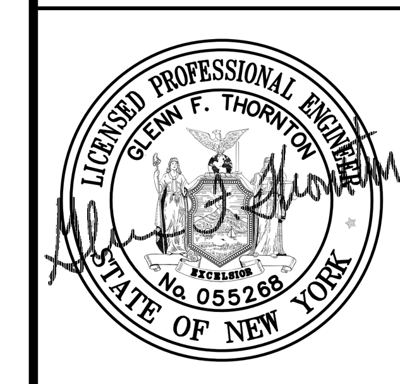
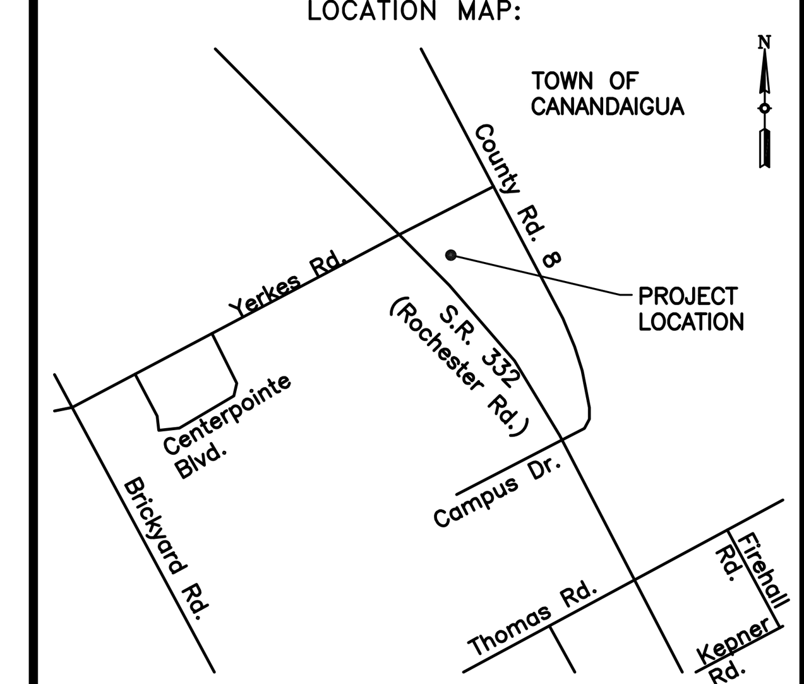


LOCATION MAP:



PROJECT NAME:

Frontenac Boat Sales

2121 State Route 332
Town of Canandaigua
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DRAWING TITLE:

Driveway Construction Notes and Details

FILE NAME: DOTPLAN.DWG	DESIGNED BY: GFT
DRAWN BY: HKT	CHECKED BY: GFT
APPROVED BY: GFT	DATE: AUGUST 2018
SCALE: AS NOTED	PROJECT NO.: 18–682
SHEET NO.: 7 OF 7	DRAWING NO.: DOT-2