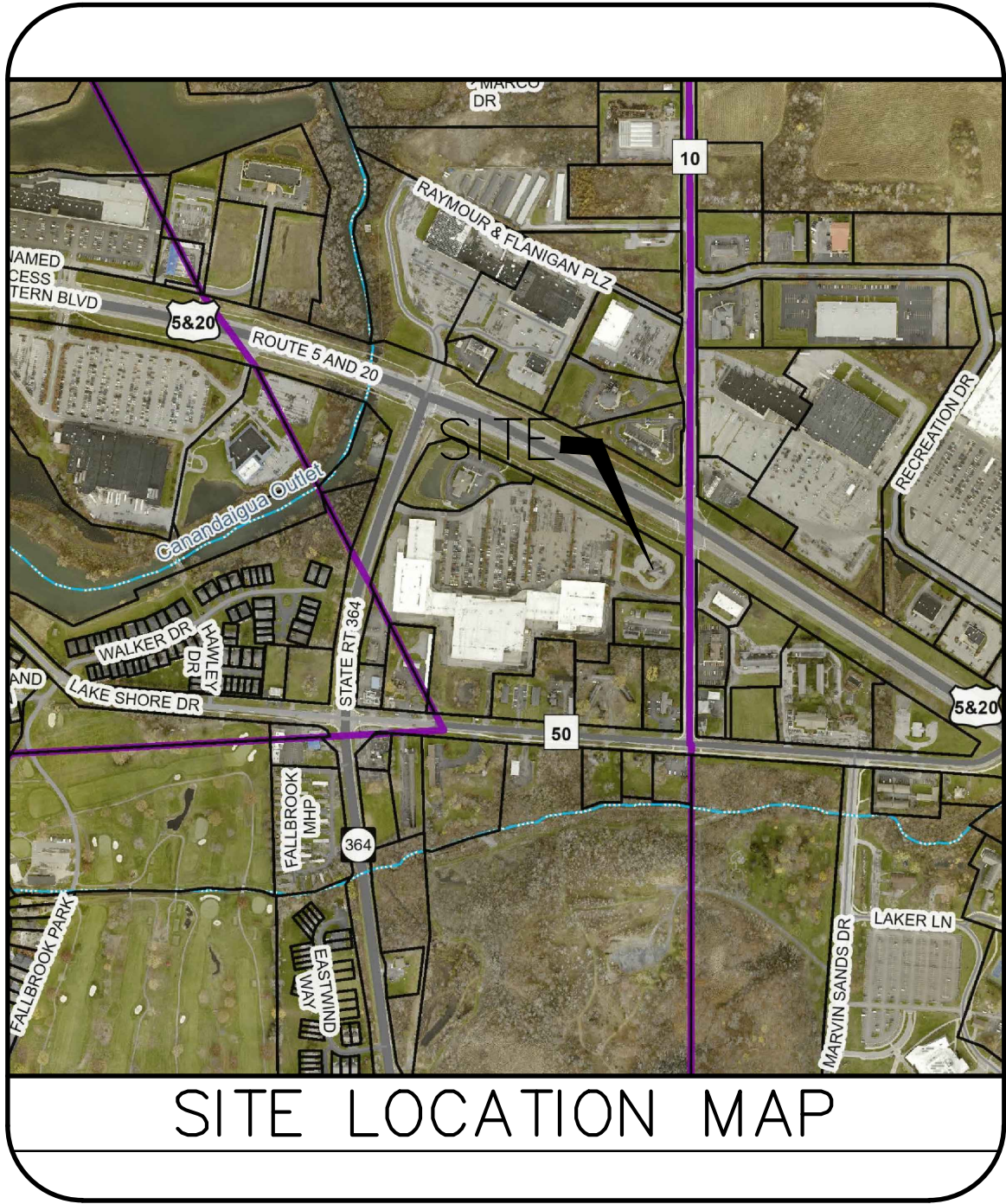


POPEYES LOUISIANA KITCHEN

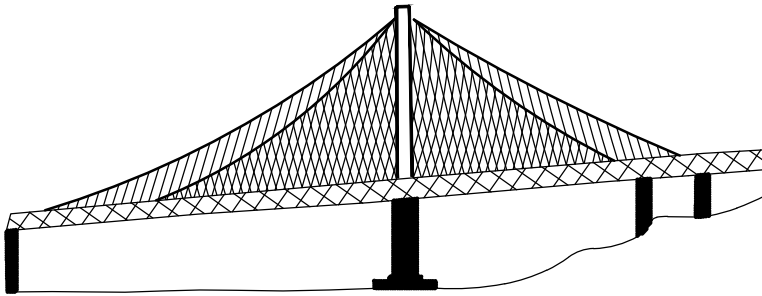
3225 NY-364 * TOWN OF CANANDAIGUA * COUNTY OF ONTARIO



LEGEND	
SHEET	DESCRIPTION
VO1	EXISTING CONDITIONS
X-1	DEMO PLAN
C-1	SITE PLAN
C-2	GRADING PLAN
C-3	UTILITY PLAN
C-4	LANDSCAPING PLAN
D-1	DETAILS



PREPARED BY:
BRETT L. STEENBURGH, P.E. LLC



2832 ROSENDALE ROAD
NISKAYUNA, NY 12309
(518) 365-0675
bsteenburghpe@yahoo.com

CIVIL ENVIRONMENTAL STRUCTURAL

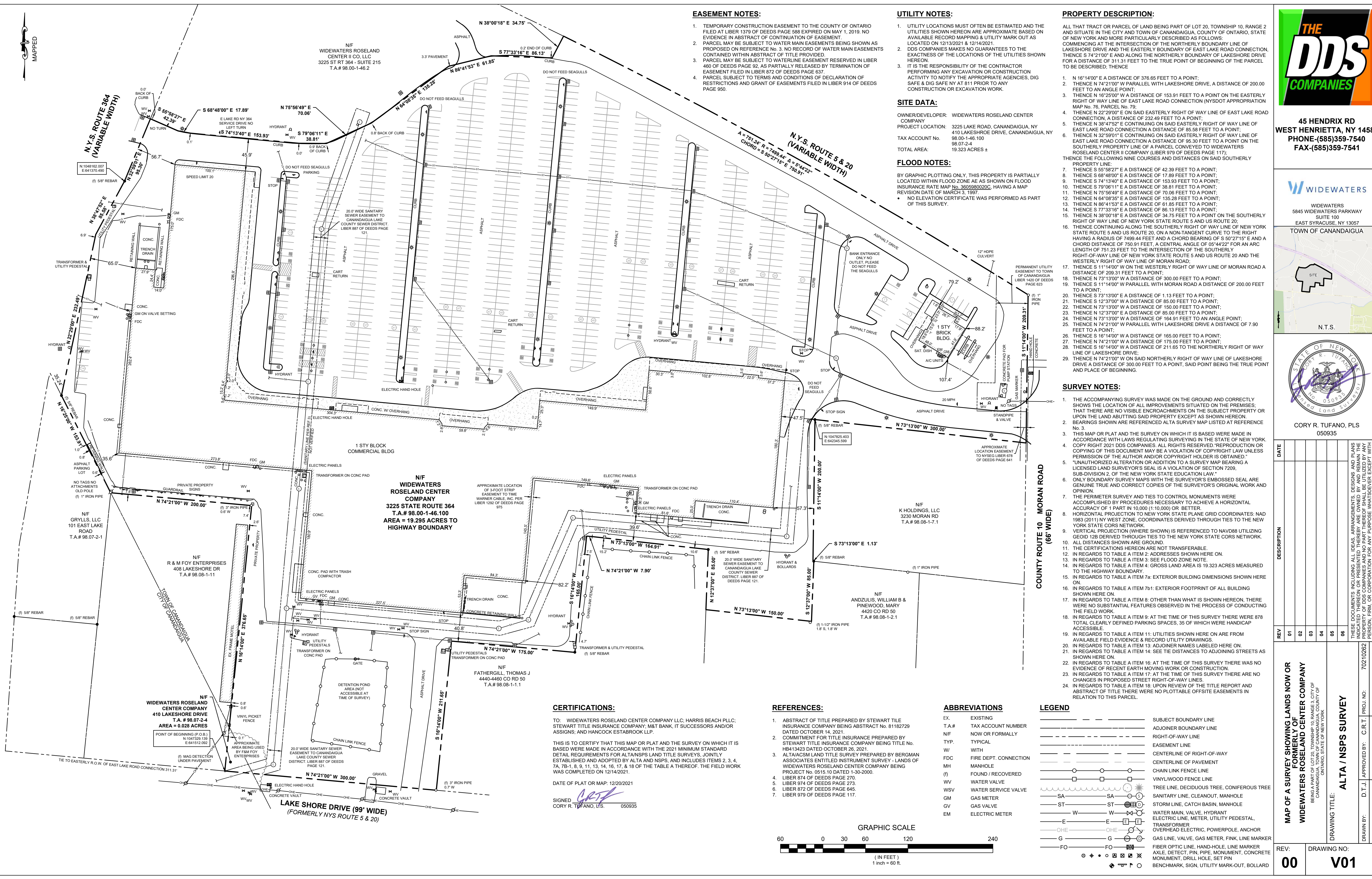


TOWN ENGINEERING _____ DATE _____

HIGHWAY SUPERVISOR _____ DATE _____

PLANNING BOARD CHAIRPERSON _____ DATE _____

APPLICANT:
LIBERTY RESTAURANTS HOLDINGS
252-25 UNION TURNPIKE
BELLROSE, NY 11426



EASEMENT NOTES:

1. TEMPORARY CONSTRUCTION EASEMENT TO THE COUNTY OF ONTARIO FILED AT LIBER 1379 OF DEEDS PAGE 588 EXPIRED ON MAY 1, 2019. NO EVIDENCE IN ABSTRACT OF CONTINUATION OF EASEMENT.
2. PARCEL MAY BE SUBJECT TO WATER MAIN EASEMENTS BEING SHOWN AS PROPOSED ON REFERENCE No. 3. NO RECORD OF WATER MAIN EASEMENTS CONTAINED WITHIN ABSTRACT OF TITLE PROVIDED.
3. PARCEL MAY BE SUBJECT TO WATERLINE EASEMENT RESERVED IN LIBER 460 OF DEEDS PAGE 92, AS PARTIALLY RELEASED BY TERMINATION OF EASEMENT FILED IN LIBER 872 OF DEEDS PAGE 637.
4. PARCEL SUBJECT TO TERMS AND CONDITIONS OF DECLARATION OF RESTRICTIONS AND GRANT OF EASEMENTS FILED IN LIBER 914 OF DEEDS PAGE 950.

UTILITY NOTES:

1. UTILITY LOCATIONS MUST OFTEN BE ESTIMATED AND THE UTILITIES SHOWN HEREON ARE APPROXIMATE BASED ON AVAILABLE RECORD MAPPING & UTILITY MARK OUT AS LOCATED ON 12/13/2021 & 12/14/2021.
2. DDS COMPANIES MAKES NO GUARANTEES TO THE EXACTNESS OF THE LOCATIONS OF THE UTILITIES SHOWN HEREON.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR PERFORMING ANY EXCAVATION OR CONSTRUCTION ACTIVITY TO NOTIFY THE APPROPRIATE AGENCIES, DIG SAFE & DIG SAFE NY AT 811 PRIOR TO ANY CONSTRUCTION OR EXCAVATION WORK.

SITE DATA:

OWNER/DEVELOPER: WIDEWATERS ROSELAND CENTER
PROJECT LOCATION: 3225 LAKE ROAD, CANANDAIGUA, NY
TAX ACCOUNT No. 98.00-1-46.100
TOTAL AREA: 19.323 ACRES ±

FLOOD NOTES:

BY GRAPHIC PLOTTING ONLY, THIS PROPERTY IS PARTIALLY LOCATED WITHIN FLOOD ZONE AE AS SHOWN ON FLOOD INSURANCE RATE MAP No. 300980002C, HAVING A MAP REVISION DATE OF MARCH 3, 1997.
• NO ELEVATION CERTIFICATE WAS PERFORMED AS PART OF THIS SURVEY.

PROPERTY DESCRIPTION:

ALL THAT TRACT OR PARCEL OF LAND BEING PART OF LOT 20, TOWNSHIP 10, RANGE 2 AND SITUATE IN THE CITY AND TOWN OF CANANDAIGUA, COUNTY OF ONTARIO, STATE OF NEW YORK AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE INTERSECTION OF THE NORTHERLY BOUNDARY LINE OF LAKESHORE DRIVE AND THE EASTERLY BOUNDARY OF EAST LAKE ROAD CONNECTION, THENCE S 74°21'00" E AND ALONG THE NORTHERLY BOUNDARY OF LAKESHORE DRIVE FOR A DISTANCE OF 311.31 FEET TO THE TRUE POINT OF BEGINNING OF THE PARCEL TO BE DESCRIBED, THENCE

1. N 16°14'00" E A DISTANCE OF 376.65 FEET TO A POINT;
2. THENCE N 74°21'00" W PARALLEL WITH LAKESHORE DRIVE, A DISTANCE OF 200.00 FEET TO AN ANGLE POINT;
3. THENCE N 16°25'00" W A DISTANCE OF 153.91 FEET TO A POINT ON THE EASTERLY RIGHT OF WAY LINE OF EAST LAKE ROAD CONNECTION (NYSOT APPROPRIATION MAP No. 76, PARCEL No. 79);
4. THENCE N 22°29'00" E ON SAID EASTERLY RIGHT OF WAY LINE OF EAST LAKE ROAD CONNECTION, A DISTANCE OF 232.49 FEET TO A POINT;
5. THENCE N 38°47'52" E CONTINUING ON SAID EASTERLY RIGHT OF WAY LINE OF EAST LAKE ROAD CONNECTION A DISTANCE OF 85.58 FEET TO A POINT;
6. THENCE N 32°59'01" E CONTINUING ON SAID EASTERLY RIGHT OF WAY LINE OF EAST LAKE ROAD CONNECTION A DISTANCE OF 95.30 FEET TO A POINT ON THE SOUTHERLY PROPERTY LINE OF A PARCEL CONVEYED TO WIDEWATERS ROSELAND CENTER II COMPANY (LIBER 979 OF DEEDS PAGE 117);
7. THENCE THE FOLLOWING NINE COURSES AND DISTANCES ON SAID SOUTHERLY PROPERTY LINE:
7. THENCE S 55°58'27" E A DISTANCE OF 42.39 FEET TO A POINT;
8. THENCE S 68°48'00" E A DISTANCE OF 17.89 FEET TO A POINT;
9. THENCE S 74°13'40" E A DISTANCE OF 153.93 FEET TO A POINT;
10. THENCE S 79°08'11" E A DISTANCE OF 38.81 FEET TO A POINT;
11. THENCE N 75°56'49" E A DISTANCE OF 70.06 FEET TO A POINT;
12. THENCE N 64°08'35" E A DISTANCE OF 135.28 FEET TO A POINT;
13. THENCE N 86°41'53" E A DISTANCE OF 61.85 FEET TO A POINT;
14. THENCE S 77°33'18" E A DISTANCE OF 96.13 FEET TO A POINT;
15. THENCE N 38°00'18" E A DISTANCE OF 34.75 FEET TO A POINT ON THE SOUTHERLY RIGHT OF WAY LINE OF NEW YORK STATE ROUTE 5 AND US ROUTE 20;
16. THENCE CONTINUING ALONG THE SOUTHERLY RIGHT OF WAY LINE OF NEW YORK STATE ROUTE 5 AND US ROUTE 20, ON A NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 7498.44 FEET AND A CHORD BEARING OF S 50°27'15" E AND A CHORD DISTANCE OF 751.23 FEET, A CENTRAL ANGLE OF 05°44'22" FOR AN ARC LENGTH OF 751.23 FEET TO THE INTERSECTION OF THE SOUTHERLY RIGHT-OF-WAY LINE OF NEW YORK STATE ROUTE 5 AND US ROUTE 20 AND THE WESTERLY RIGHT OF WAY LINE OF MORAN ROAD;
17. THENCE S 11°14'00" W ON THE WESTERLY RIGHT OF WAY LINE OF MORAN ROAD A DISTANCE OF 209.31 FEET TO A POINT;
18. THENCE N 73°13'00" W A DISTANCE OF 300.00 FEET TO A POINT;
19. THENCE S 11°14'00" W PARALLEL WITH MORAN ROAD A DISTANCE OF 200.00 FEET TO A POINT;
20. THENCE S 73°13'00" E A DISTANCE OF 1.13 FEET TO A POINT;
21. THENCE S 12°37'00" W A DISTANCE OF 85.00 FEET TO A POINT;
22. THENCE N 73°13'00" W A DISTANCE OF 150.00 FEET TO A POINT;
23. THENCE N 12°37'00" E A DISTANCE OF 85.00 FEET TO A POINT;
24. THENCE N 73°13'00" W A DISTANCE OF 164.91 FEET TO AN ANGLE POINT;
25. THENCE N 74°21'00" W PARALLEL WITH LAKESHORE DRIVE A DISTANCE OF 7.90 FEET TO A POINT;
26. THENCE S 16°14'00" W A DISTANCE OF 165.00 FEET TO A POINT;
27. THENCE N 74°21'00" W A DISTANCE OF 175.00 FEET TO A POINT;
28. THENCE S 16°14'00" W A DISTANCE OF 211.65 TO THE NORTHERLY RIGHT OF WAY LINE OF LAKESHORE DRIVE;
29. THENCE N 74°21'00" W ON SAID NORTHERLY RIGHT OF WAY LINE OF LAKESHORE DRIVE A DISTANCE OF 300.00 FEET TO A POINT, SAID POINT BEING THE TRUE POINT AND PLACE OF BEGINNING.

SURVEY NOTES:

1. THE ACCOMPANYING SURVEY WAS MADE ON THE GROUND AND CORRECTLY SHOWS THE LOCATION OF ALL IMPROVEMENTS SITUATED ON THE PREMISES; THAT THERE ARE NO VISIBLE ENCROACHMENTS ON THE SUBJECT PROPERTY OR UPON THE ADJUTING SAID PROPERTY EXCEPT AS SHOWN HEREON.
2. BEARINGS SHOWN ARE REFERENCED ALTA SURVEY MAP LISTED AT REFERENCE No. 3.
3. THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH LAWS REGULATING SURVEYING IN THE STATE OF NEW YORK. COPY RIGHT 2021 DDS COMPANIES. ALL RIGHTS RESERVED. REPRODUCTION OR COPYING OF THIS DOCUMENT MAY BE A VIOLATION OF COPYRIGHT LAW UNLESS PERMISSION OF THE AUTHOR AND/OR COPYRIGHT HOLDER IS OBTAINED.
4. UNAUTHORIZED ALTERATION OR ADDITION TO A SURVEY MAP BEARING A LICENSED LAND SURVEYOR'S SEAL IS A VIOLATION OF SECTION 7209, SUB-DIVISION 2, OF THE NEW YORK STATE EDUCATION LAW.
5. ONLY BOUNDARY SURVEY MAPS WITH THE SURVEYOR'S EMBOSSED SEAL ARE GENUINE TRUE AND CORRECT COPIES OF THE SURVEYOR'S ORIGINAL WORK AND OPINION.
6. THE PERIMETER SURVEY AND TIES TO CONTROL MONUMENTS WERE ACCOMPLISHED BY PROCEDURES NECESSARY TO ACHIEVE A HORIZONTAL ACCURACY OF 1 PART IN 10,000 (1:10,000) OR BETTER.
7. HORIZONTAL PROJECTION TO NEW YORK STATE PLANE GRID COORDINATES, NAD 1983 (2011) NY WEST ZONE, COORDINATES DERIVED THROUGH TIES TO THE NEW YORK STATE CORS NETWORK.
8. VERTICAL PROJECTION (WHERE SHOWN) IS REFERENCED TO NAVD88 UTILIZING GEOID 128 DERIVED THROUGH TIES TO THE NEW YORK STATE CORS NETWORK.
9. ALL DISTANCES SHOWN ARE GROUND.
10. THE CERTIFICATIONS HEREON ARE NOT TRANSFERABLE.
11. IN REGARDS TO TABLE A ITEM 2: ADDRESSES SHOWN HERE ON.
12. IN REGARDS TO TABLE A ITEM 3: SEE FLOOD ZONE NOTE.
13. IN REGARDS TO TABLE A ITEM 4: GROSS LAND AREA IS 19.323 ACRES MEASURED TO THE HIGHWAY BOUNDARY.
14. IN REGARDS TO TABLE A ITEM 7a: EXTERIOR BUILDING DIMENSIONS SHOWN HERE ON.
15. IN REGARDS TO TABLE A ITEM 7b: EXTERIOR FOOTPRINT OF ALL BUILDING SHOWN HERE ON.
16. IN REGARDS TO TABLE A ITEM 8: OTHER THAN WHAT IS SHOWN HEREON, THERE WERE NO SUBSTANTIAL FEATURES OBSERVED IN THE PROCESS OF CONDUCTING THE FIELD WORK.
17. IN REGARDS TO TABLE A ITEM 9: AT THE TIME OF THIS SURVEY THERE WERE 878 TOTAL CLEARLY DEFINED PARKING SPACES, 35 OF WHICH WERE HANDICAP ACCESSIBLE.
18. IN REGARDS TO TABLE A ITEM 11: UTILITIES SHOWN HERE ON ARE FROM AVAILABLE FIELD EVIDENCE & RECORD UTILITY DRAWINGS.
19. IN REGARDS TO TABLE A ITEM 13: ADJOINER NAMES LABELED HERE ON.
20. IN REGARDS TO TABLE A ITEM 14: SEE THE DISTANCES TO ADJOINING STREETS AS SHOWN HERE ON.
21. IN REGARDS TO TABLE A ITEM 16: AT THE TIME OF THIS SURVEY THERE WAS NO EVIDENCE OF RECENT EARTH MOVING WORK OR CONSTRUCTION.
22. IN REGARDS TO TABLE A ITEM 17: AT THE TIME OF THIS SURVEY THERE ARE NO CHANGES IN PROPOSED STREET RIGHT-OF-WAY LINES.
23. IN REGARDS TO TABLE A ITEM 18: UPON REVIEW OF THE TITLE REPORT AND ABSTRACT OF TITLE THERE WERE NO PLOTTABLE OFFSITE EASEMENTS IN RELATION TO THIS PARCEL.

CERTIFICATIONS:

TO: WIDEWATERS ROSELAND CENTER COMPANY LLC; HARRIS BEACH PLLC; STEWART TITLE INSURANCE COMPANY; M&T BANK, IT SUCCESSORS AND/OR ASSIGNS; AND HANCOCK ESTABROOK LLP.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 7A, 7B-1, 8, 9, 11, 13, 14, 16, 17, & 18 OF THE TABLE THEREOF. THE FIELD WORK WAS COMPLETED ON 12/14/2021.

DATE OF PLAT OR MAP: 12/20/2021

SIGNED *Cory R. Tufano*
CORY R. TUFANO, L.S. 050935

REFERENCES:

1. ABSTRACT OF TITLE PREPARED BY STEWART TITLE INSURANCE COMPANY BEING ABSTRACT No. 81182729 DATED OCTOBER 14, 2021.
2. COMMITMENT FOR TITLE INSURANCE PREPARED BY STEWART TITLE INSURANCE COMPANY BEING TITLE No. HB413423 DATED OCTOBER 26, 2021.
3. ALTA/ACSM LAND TITLE SURVEY PREPARED BY BERGMAN ASSOCIATES ENTITLED INSTRUMENT SURVEY - LANDS OF WIDEWATERS ROSELAND CENTER COMPANY BEING PROJECT No. 0515.10 DATED 1-30-2000.
4. LIBER 874 OF DEEDS PAGE 270.
5. LIBER 974 OF DEEDS PAGE 273.
6. LIBER 872 OF DEEDS PAGE 645.
7. LIBER 979 OF DEEDS PAGE 117.

ABBREVIATIONS

EX. EXISTING
T.A.# TAX ACCOUNT NUMBER
N/F NOW OR FORMALLY
TYP. TYPICAL
W/ WITH
FDC FIRE DEPT. CONNECTION
MH MANHOLE
(F) FOUND / RECOVERED
(V) WATER VALVE
WSV WATER SERVICE VALVE
GM GAS METER
GV GAS VALVE
EM ELECTRIC METER

LEGEND

SUBJECT BOUNDARY LINE
ADJOINER BOUNDARY LINE
RIGHT-OF-WAY LINE
EASEMENT LINE
CENTERLINE OF RIGHT-OF-WAY
CENTERLINE OF PAVEMENT
CHAIN LINK FENCE LINE
VINYL/WOOD FENCE LINE
TREE LINE, DECIDUOUS TREE, CONIFEROUS TREE
SANITARY LINE, CLEANOUT, MANHOLE
STORM LINE, CATCH BASIN, MANHOLE
WATER MAIN, VALVE, HYDRANT
ELECTRIC LINE, METER, UTILITY PEDESTAL, TRANSFORMER
GAS LINE, VALVE, GAS METER, FINK, LINE MARKER
FIBER OPTIC LINE, HAND-HOLE, LINE MARKER
AXLE, DETECT, PIN, PIPE, MONUMENT, CONCRETE MONUMENT, DRILL HOLE, SET PIN
BENCHMARK, SIGN, UTILITY MARK-OUT, BOLLARD

45 HENDRIX RD
WEST HENRIETTA, NY 14586
PHONE-(585)359-7540
FAX-(585)359-7541

WIDEWATERS
5845 WIDEWATERS PARKWAY
SUITE 100
EAST SYRACUSE, NY 13057
TOWN OF CANANDAIGUA

N.T.S.

CORY R. TUFANO, PLS
050935

DATE	DESCRIPTION	REV
01		
02		
03		
04		
05		
06		

MAP OF A SURVEY SHOWING LANDS NOW OR FORMERLY OF
WIDEWATERS ROSELAND CENTER COMPANY
BEING PART OF LOT 20, TOWNSHIP 10, RANGE 2, CITY OF CANANDAIGUA, TOWN OF CANANDAIGUA, COUNTY OF ONTARIO, STATE OF NEW YORK

DRAWING TITLE: **ALTA / NSPS SURVEY**

DRAWN BY: D.T.J. APPROVED BY: C.R.T. PROJ. NO: 70210282
CHECKED BY: M.J.G. DATE: 12/20/2021 PAGE SIZE: ANSI D

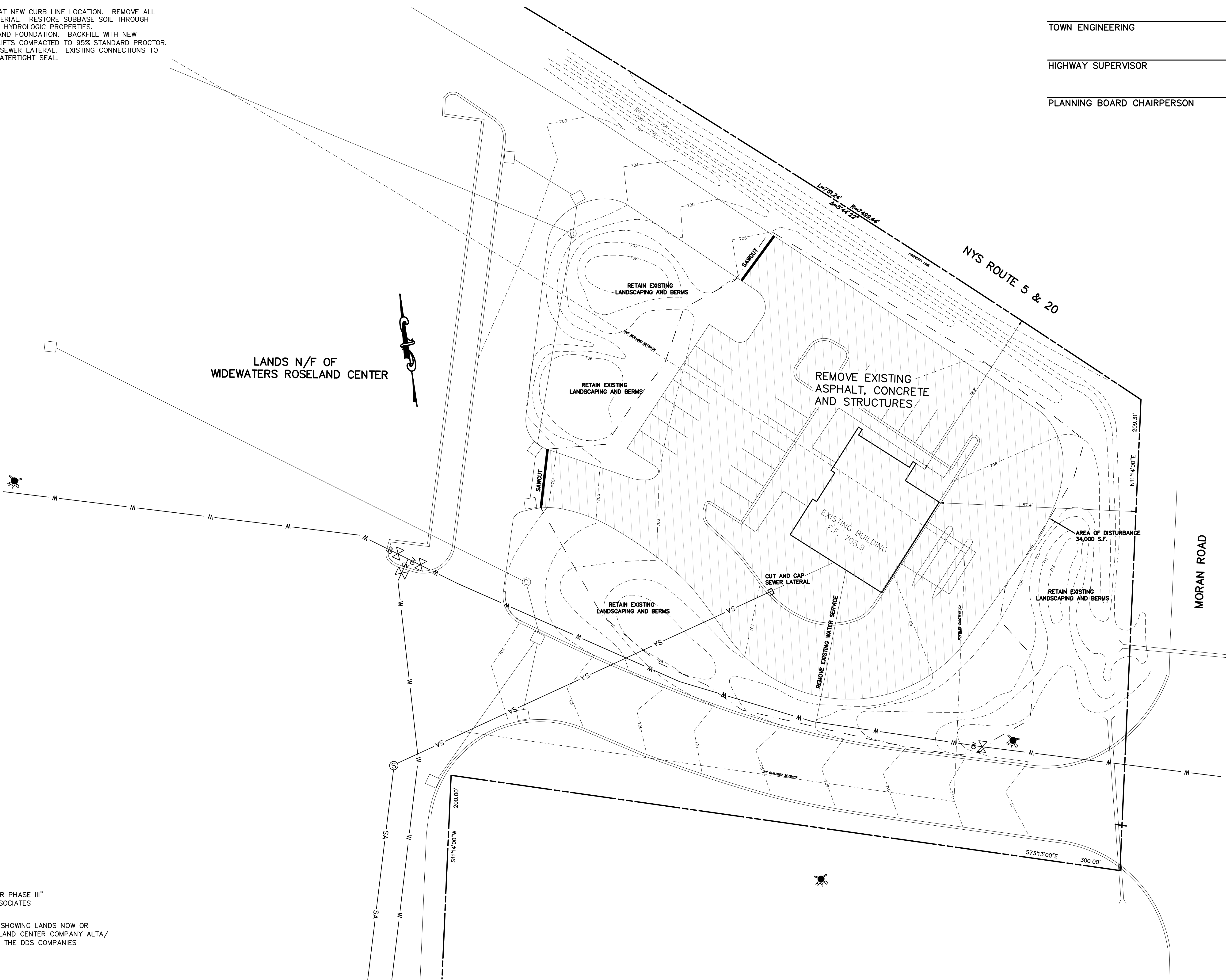
REV: **00** DRAWING NO: **V01**

- DEMOLITION NOTES:
1. SAWCUT EXISTING ASPHALT AT NEW CURB LINE LOCATION. REMOVE ALL ASPHALT AND SUBBASE MATERIAL. RESTORE SUBBASE SOIL THROUGH SCARRIFICATION TO ORIGINAL HYDROLOGIC PROPERTIES.
 2. REMOVE EXISTING BUILDING AND FOUNDATION. BACKFILL WITH NEW GRANULAR MATERIAL IN 6" LIFTS COMPACTED TO 95% STANDARD PROCTOR.
 3. REMOVE EXISTING SANITARY SEWER LATERAL. EXISTING CONNECTIONS TO SHALL BE SEALED WITH A WATERTIGHT SEAL.

TOWN ENGINEERING _____ DATE _____

HIGHWAY SUPERVISOR _____ DATE _____

PLANNING BOARD CHAIRPERSON _____ DATE _____



MAP REFERENCES:
MAP ENTITLED "ROSELAND CENTER PHASE III"
AS PREPARED BY BERGMANN ASSOCIATES
AND DATED 8-9-88

MAP ENTITLED "MAP OF SURVEY SHOWING LANDS NOW OR
FORMERLY OF WIDEWATERS ROSELAND CENTER COMPANY ALTA/
NSPS SURVEY" AS PREPARED BY THE DDS COMPANIES
AND DATED 12/20/2021



Scaling off these drawings shall be done only for review and approval purposes. Contractors are responsible for verifying all electronic data only for layout and construction.

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BRETT L. STEENBURGH, P.E. PLLC

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bsteenburghpe@gmail.com

**ENGINEERING THAT TRANSFORMS
IMAGINATION INTO REALITY**

COUNTY OF ONTARIO		STATE OF NEW YORK	
DRAWN BY: BLS	CHECKED BY:	SCALE: 1" = 20'	SHEET X-1
CADD FILE:	JOB NO.	DATE:	

ZONE: COMMUNITY COMMERCIAL - MIXED USE OVERLAY
 PERMITTED USE: RESTAURANT
 SPECIAL USE PERMIT REQ: FAST FOOD RESTAURANT
 MINIMUM LOT SIZE: 1.0 ACRES
 MINIMUM LOT WIDTH: 175 FT
 MAXIMUM BUILDING HEIGHT: 35 FT
 MINIMUM FRONT YARD (STATE ROUTE): 100 FT
 MINIMUM FRONT YARD (COUNTY ROUTE): 75 FT
 MINIMUM FRONT YARD (LOCAL ROUTE): 60 FT
 MINIMUM SIDE YARD: 20 FT
 MINIMUM REAR YARD: 40 FT
 MAXIMUM BUILDING COVERAGE: 35%

ADDRESS: 3225 STATE ROUTE 364
CANANDAIGUA, NY 14424
SBL: 98.00-1-46.100

OWNER: WIDEWATERS ROSELAND CENTER CO
DEWITT, NY 13214

APPLICANT: LIBERTY RESTAURANTS DEVELOPMENT
252-25 UNION TURNPIKE
BELLROSE, NY 11426

LOT AREA = 19.30 ACRES (ENTIRE SHOPPING CENTER)
USE: FAST FOOD RESTAURANT W/ DRIVE-THRU (2,532 SF)
PARKING REQ = 1 SPACE PER 3 SEATS PLUS 8 EMPLOYEE SPACES
TOTAL REQUIRED = 16 SPACES
PARKING PROVIDED = 22 SPACES
BUILDING HEIGHT = 19'
EXISTING FRONT YARD SETBACK STATE ROUTE 5 & 20 = 78.8'
PROPOSED FRONT YARD SETBACK STATE ROUTE 5 & 20 = 79.6'
AREA VARIANCE REQUIRED
FRONT YARD SETBACK COUNTY ROUTE 10 = 80.3'
MIN. SIDE YARD SETBACK = 83.7'
EXISTING GREEN SPACE = 0.794± AC.
PROPOSED GREEN SPACE = 0.813± AC.

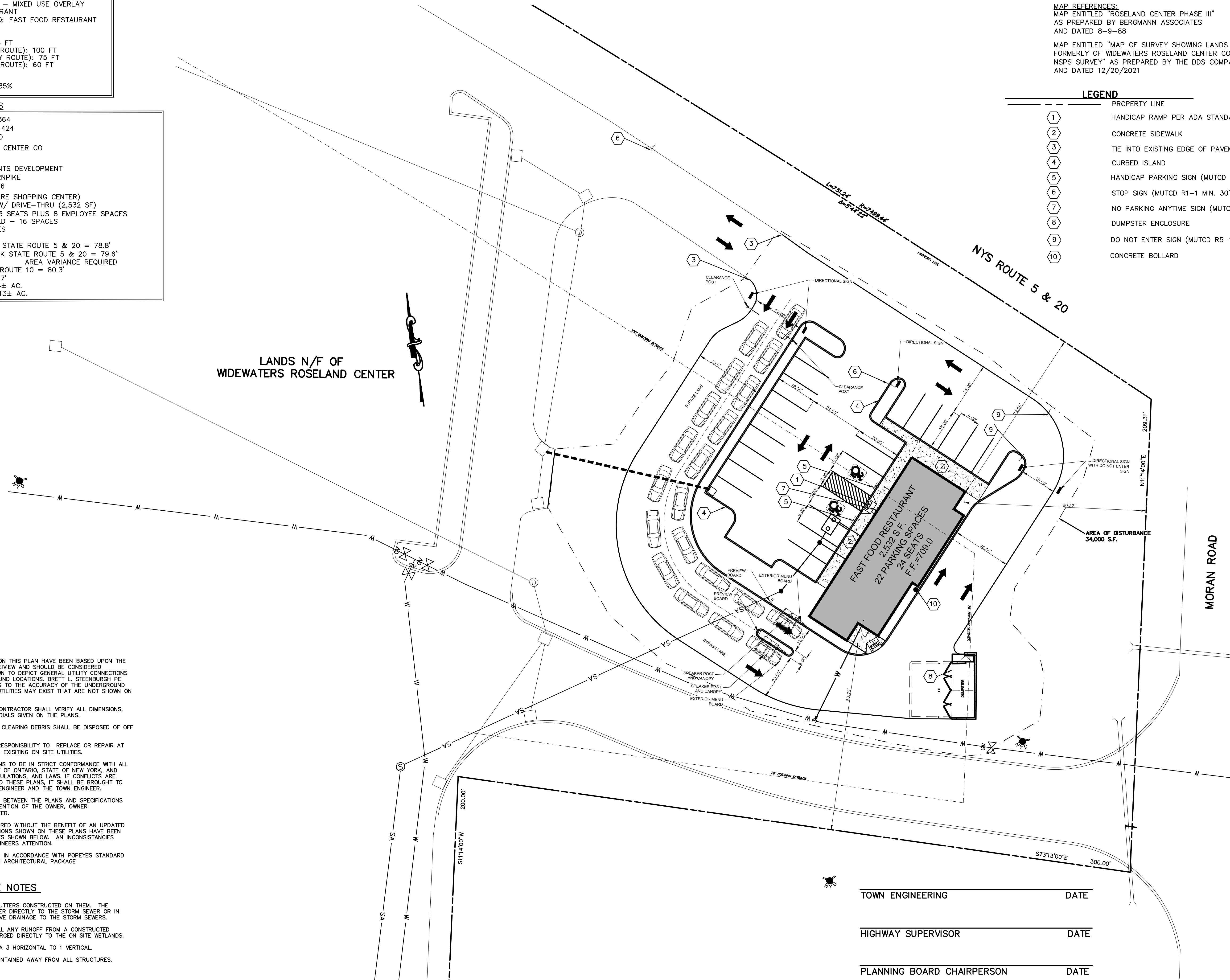
1. UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN BASED UPON THE MAP REFERENCE AND A FIELD REVIEW AND SHOULD BE CONSIDERED SCHEMATIC ONLY AND ARE NOT SHOWN TO DEPICT GENERAL UTILILITY LOCATIONS RATHER THAN EXACT UNDERGROUND LOCATIONS. BRETT L. STEENBURGH PE PL/C MCAE HAS NO CERTIFICATION AS TO THE ACCURACY OF THE UNDERGROUND UTILITY LOCATIONS AND OTHER UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.
2. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES, ELEVATIONS, AND MATERIALS GIVEN ON THE PLANS.
3. EXCESS BUILDING MATERIAL AND CLEARING DEBRIS SHALL BE DISPOSED OF OFF SITE.
4. IT SHALL BE THE CONTRACTOR RESPONSIBILITY TO REPLACE OR REPAIR AT HIS/ HER COST ANY DAMAGE TO EXISTING ON SITE UTILITIES.
5. IT IS THE INTENT OF THESE PLANS TO BE IN STRICT CONFORMANCE WITH ALL TOWN OF CANADAWAGA, COUNTY OF ONTARIO, STATE OF NEW YORK, AND APPLICABLE FEDERAL AND LOCAL ORDINANCES AND LAWS. IF CONFLICTS ARE NOTED BETWEEN THE ABOVE, AND THESE PLANS, IT SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEER AND THE TOWN ENGINEER.
6. CONFLICTS SHOWN ON PLANS OR BETWEEN THE PLANS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER, OWNER REPRESENTATIVE AND/OR ENGINEER.
7. THESE PLANS HAVE BEEN PREPARED WITHOUT THE BENEFIT OF AN UPDATED FIELD SURVEY. EXISTING CONDITIONS SHOWN ON THESE PLANS HAVE BEEN TAKEN FROM THE MAP REFERENCE AND TOWN AND LAWS. ANY INCONSISTENCIES SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION.
8. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH POPEYES STANDARD SPECIFICATIONS AS WELL AS THE ARCHITECTURAL PACKAGE.

1. ALL STRUCTURES SHALL HAVE GUTTERS CONSTRUCTED ON THEM. THE GUTTERS SHALL DISCHARGE EITHER DIRECTLY TO THE STORM SEWER OR IN SUCH A WAY TO PROVIDE POSITIVE DRAINAGE TO THE STORM SEWERS.
2. UNDER NO CIRCUMSTANCES SHALL ANY RUNOFF FROM A CONSTRUCTED IMPERVIOUS SURFACE BE DISCHARGED DIRECTLY TO THE ON SITE WETLANDS.
3. THE MAXIMUM SLOPE SHALL BE A 3 HORIZONTAL TO 1 VERTICAL.
4. A POSITIVE SLOPE SHALL BE MAINTAINED AWAY FROM ALL STRUCTURES.

MAP ENTITLED "ROSELAND CENTER PHASE III"
AS PREPARED BY BERGMANN ASSOCIATES
AND DATED 8-9-88

MAP ENTITLED "MAP OF SURVEY SHOWING LANDS NOW OR
FORMERLY OF WIDEWATERS ROSELAND CENTER COMPANY ALTA/
NSPS SURVEY" AS PREPARED BY THE DDS COMPANIES
AND DATED 12/20/2021

	PROPERTY LINE
1	HANDICAP RAMP PER ADA STANDARDS
2	CONCRETE SIDEWALK
3	TIE INTO EXISTING EDGE OF PAVEMENT
4	CURBED ISLAND
5	HANDICAP PARKING SIGN (MUTCD R7-8 W. R7-8P)
6	STOP SIGN (MUTCD R1-1 MIN. 30" X 30")
7	NO PARKING ANYTIME SIGN (MUTCD R7-1)
8	DUMPSTER ENCLOSURE
9	DO NOT ENTER SIGN (MUTCD R5-1)
10	CONCRETE BOLLARD



BRETT L. STEENBURGH, P.E. PLLC

SITE PLAN
LIBERTY RESTAURANTS
3225 NY-364, SUITE 5

COUNTY OF ONTARIO

TOWN OF CANANDAIGUA

STATE OF NEW YORK

CHECKED BY: _____

DRAWN BY: BLS

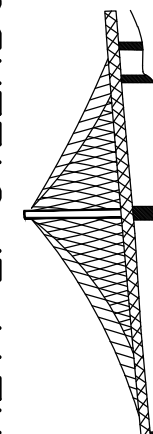
DATE: _____

SCALE: 1" = 20'



ENGINEERING THAT TRANSFORMS
IMAGINATION INTO REALITY

bsteenburgpe@gmail.com



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Niskayuna, NY 12309
(518) 365-0675

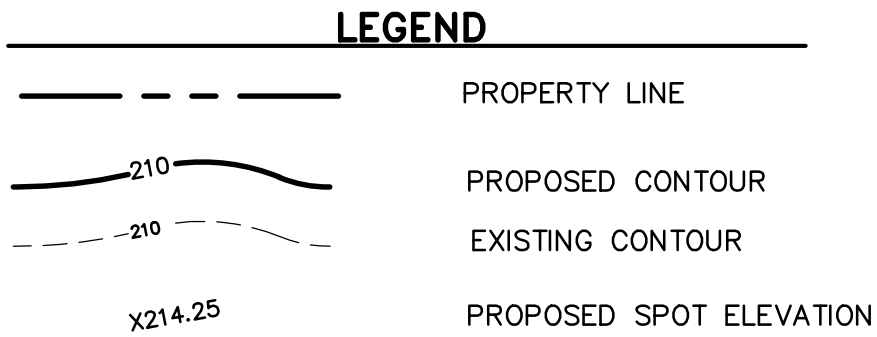


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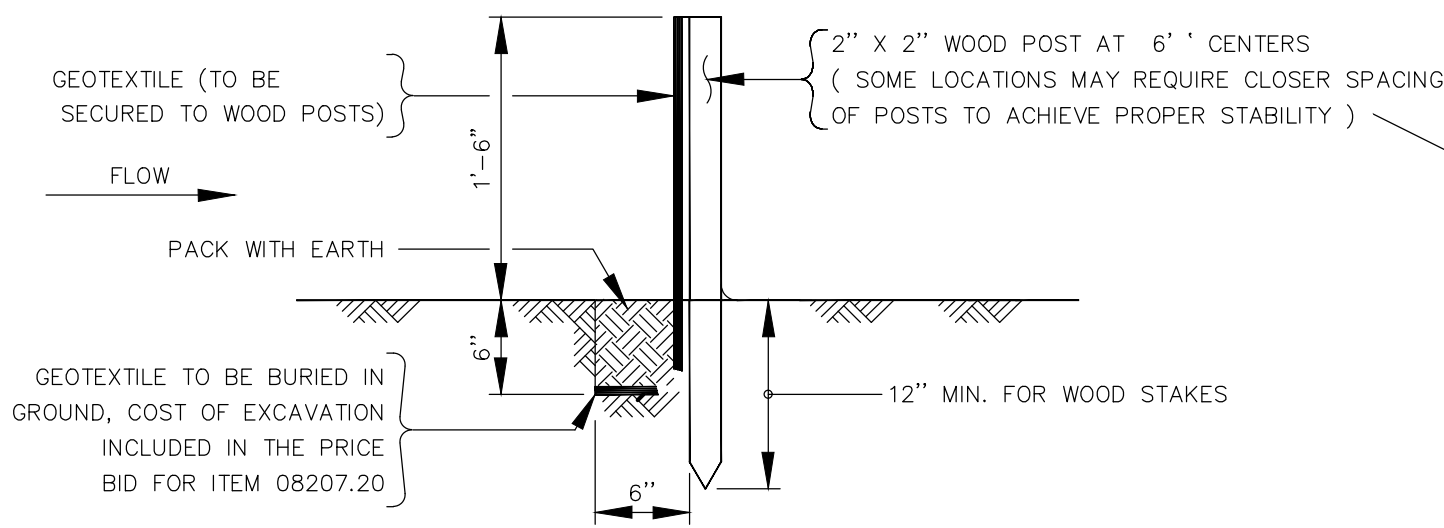


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EROSION AND SEDIMENT CONTROL NOTES:

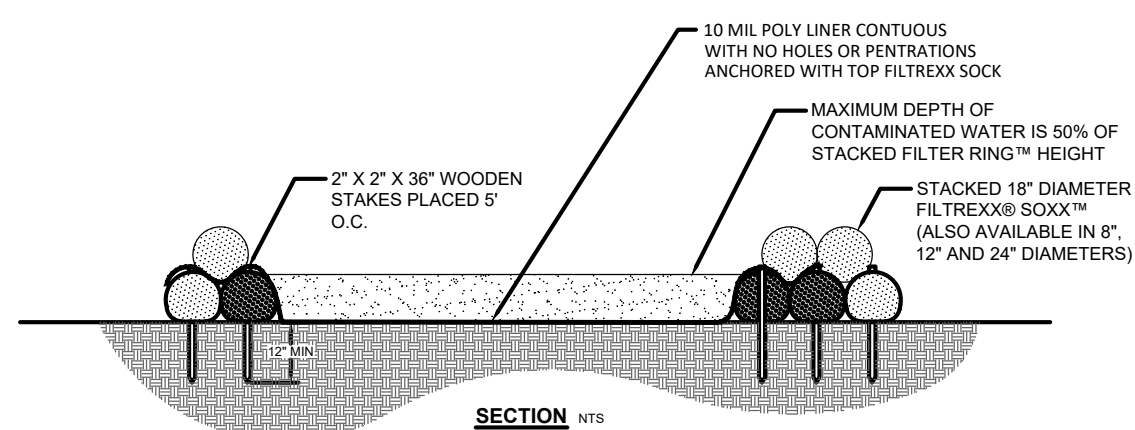
1. A PRE-CONSTRUCTION MEETING MUST BE HELD WITH THE SITE CONTRACTOR, SWPPP INSPECTOR, PROPERTY OWNER AND THE CITY PRIOR TO ISSUANCE OF A BUILDING PERMIT.
2. ESTABLISH A PERMANENT TRAFFIC CORRIDOR FOR ALL TRAFFIC DURING CONSTRUCTION. A STONE STABILIZED CONSTRUCTION ENTRANCE MUST BE INSTALLED AND INSPECTED AND APPROVED BY THE THE STORMWATER OFFICE PRIOR TO ISSUANCE OF A BUILDING PERMIT. TRAFFIC SHALL NOT CROSS OR OPERATE UNNECESSARILY WITHIN WATERWAYS OR DRAINAGE DITCHES.
3. IF REQUESTED BY THE TOWN OR ENGINEER, ADDITIONAL SILT FENCE MUST BE INSTALLED A MINIMUM OF 6 INCHES INTO THE GROUND SURFACE.
4. ANY SOILS TRACKED INTO PUBLIC ROADS MUST BE SWEEPED UP IMMEDIATELY.
5. CONCRETE POURING MAY NOT TAKE PLACE UNTIL A CONCRETE WASHOUT AREA IS INSTALLED.
6. ANY PUMPING OF STORMWATER ON SITE MUST BE DISCHARGED THROUGH A FILTER AND/OR STONE.
7. A FINAL GRADING INSPECTION IS REQUIRED WITH THE STORMWATER OFFICE PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY. ALL EXPOSED SOILS MUST BE STABILIZED AND APPROVED. IF THE C.O. IS NEEDED DURING NON GROWING MONTHS, THE OWNER MUST PROVIDE A GRADING ESCROW TO THE STORMWATER OFFICE FOR THE OUTSTANDING WORK TO BE COMPLETED DURING THE GROWING MONTHS.
8. TOTAL AREA OF DISTURBANCE IS APPROXIMATELY 30,000 S.F.
9. ALL EROSION AND CONTROL MEASURES SHALL BE IMPLEMENTED PRIOR TO SOIL DISTURBANCE.



SILT FENCE DETAIL

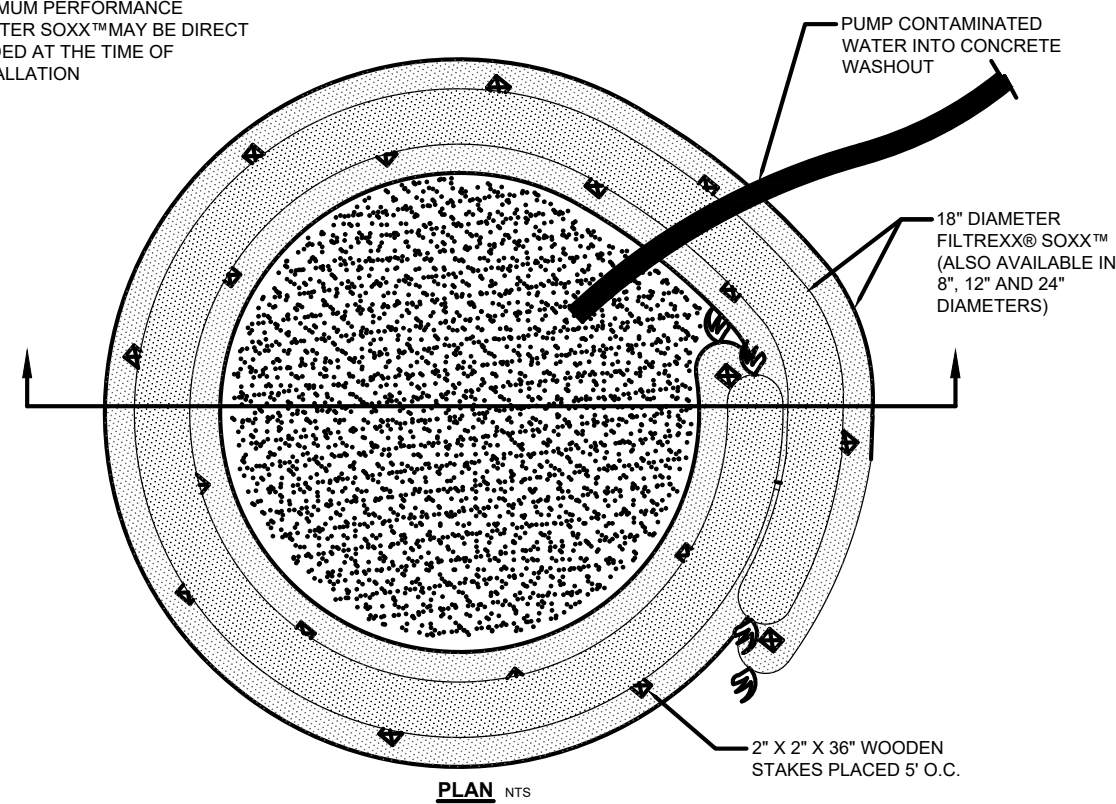
(NOT TO SCALE)

- CONSTRUCTION NOTES FOR FABRICATED SILT FENCE
1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES.
 2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION.
 3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED.
 4. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.
- POSTS: STEEL EITHER "T" OR "U" TYPE OR 2" HARDWOOD
- FENCE: WOVEN WIRE, 14 6" MAX. MESH OPENING
- FILTER CLOTH: FILTER X, MIRAFI 100X, STABILINKA T140N OR APPROVED EQUAL
- PREFABRICATED UNIT: GEOFAB, ENVIROFENCE, OR APPROVED EQUAL.



NOTES:

1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE
2. FILTER SOCK™ MAY BE DIRECT SEED AT THE TIME OF INSTALLATION



FILTREXX® CONCRETE WASHOUT

NTS

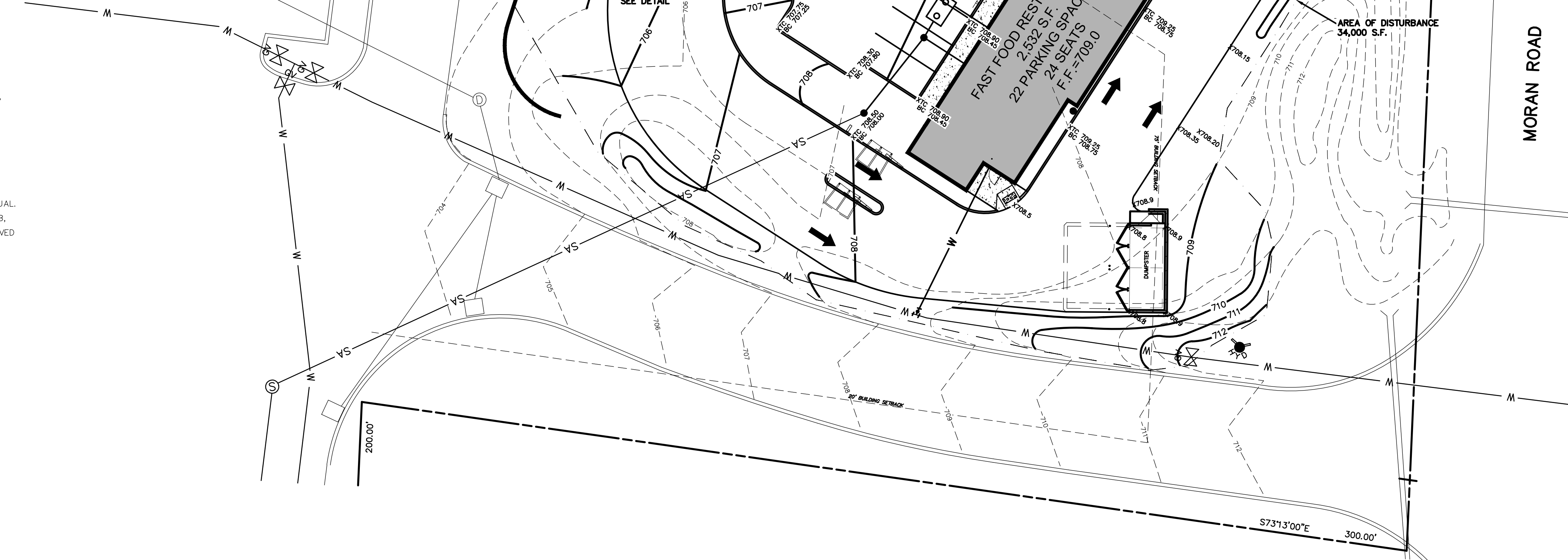
MAP REFERENCES:
MAP ENTITLED "ROSELAND CENTER PHASE III"
AS PREPARED BY BERGMANN ASSOCIATES
AND DATED 8-9-88

MAP ENTITLED "MAP OF SURVEY SHOWING LANDS NOW OR FORMERLY OF WIDEWATERS ROSELAND CENTER COMPANY ALTA/ NSPS SURVEY" AS PREPARED BY THE DDS COMPANIES AND DATED 12/20/2021

GRADING & DRAINAGE NOTES

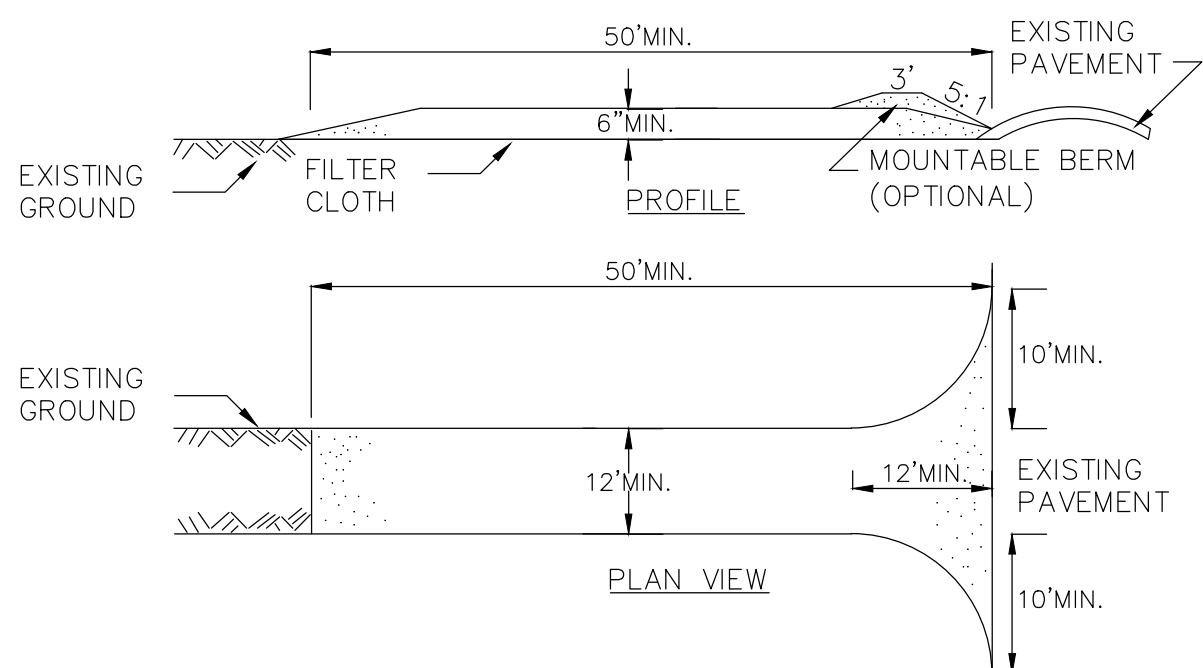
1. ALL STRUCTURES SHALL HAVE GUTTERS CONSTRUCTED ON THEM. THE GUTTERS SHALL DISCHARGE EITHER DIRECTLY TO THE STORM SEWER OR IN SUCH A WAY TO PROVIDE POSITIVE DRAINAGE TO THE STORM SEWERS.
2. UNDER NO CIRCUMSTANCES SHALL ANY RUNOFF FROM A CONSTRUCTED IMPERVIOUS SURFACE BE DISCHARGED DIRECTLY TO THE ON SITE WETLANDS.
3. THE MAXIMUM SLOPE SHALL BE A 3 HORIZONTAL TO 1 VERTICAL.
4. A POSITIVE SLOPE SHALL BE MAINTAINED AWAY FROM ALL STRUCTURES.

LANDS N/F OF
WIDEWATERS ROSELAND CENTER



CONSTRUCTION SPECIFICATIONS

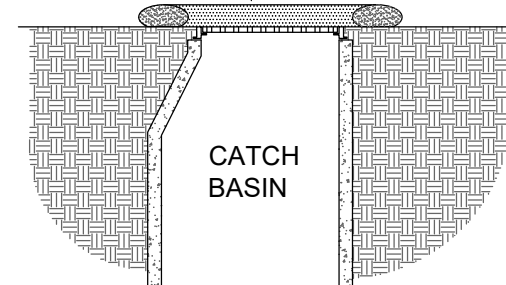
1. STONE SIZE - USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.
10. CONSTRUCTION ACCESS ALONG FEURA BUSH ROAD SHALL BE CONSTRUCTED IN COMPLIANCE WITH THESE PLANS AND NYSDOT STANDARD SHEET 209.05



STABILIZED CONSTRUCTION ENTRANCE DETAIL

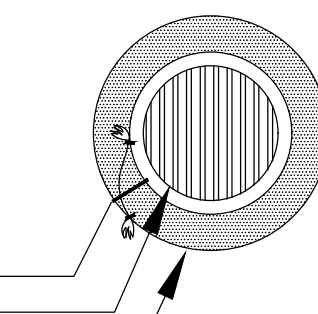
(NOT TO SCALE)

FILTREXX® 8" SOXX™



DRAIN INLET SECTION

WIRE TIES, (TYP.)
STORM GRATE
FILTREXX® 8" SOXX™



NOTES:

1. ALL MATERIAL TO MEET FILTREXX® SPECIFICATIONS.
2. FILTER MEDIA™ FILL TO MEET APPLICATION REQUIREMENTS.
3. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY ENGINEER.

FILTREXX® INLET PROTECTION

NTS

TOWN ENGINEERING

DATE

HIGHWAY SUPERVISOR

DATE

PLANNING BOARD CHAIRPERSON

DATE



Scaling off these drawings shall be done only for review and approval purposes. Contractors shall not scale drawings for layout and construction.

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**ENGINEERING THAT TRANSFORMS
IMAGINATION INTO REALITY**

GRADING & ESC PLAN
LIBERTY RESTAURANTS
3225 NY-364, SUITE 5

COUNTY OF ONTARIO
TOWN OF CANANDAIGUA
STATE OF NEW YORK

DRAWN BY: BLS
CHECKED BY: JCB
CADD FILE:
DATE:

SCALE: 1" = 20'

SHEET C-2

STANDARD NOTES

- "ALL UTILITIES TO BE INSTALLED IN ACCORDANCE WITH TOWN OF CANANDAIGUA STANDARDS AND SPECIFICATIONS. PRIOR TO CONSTRUCTION,
- "ALL ELEVATIONS SHOWN ARE ON USGS ELEVATION BASE."
- "PRIOR TO ANY WORK ON SANITARY SEWER AND WATER, THE CONTRACTOR SHALL OBTAIN THE NECESSARY PERMITS FROM THE TOWN OF CANANDAIGUA."
- "ALL CONTROLLED FILL SHALL BE CERTIFIED BY A LICENSED SOILS ENGINEER, THAT PLACEMENT OF THE MATERIAL WAS DONE IN A MANNER SUITABLE FOR THE CONSTRUCTION OF THE ROAD AND THE INSTALLATION OF WATERMAIN, STORM SEWERS, AND SANITARY SEWERS. TO THIS END, NO FILL SHALL BE PLACED IN AREAS IDENTIFIED ON THESE PLANS AS CONTROLLED FILL AREAS UNTIL THE CERTIFYING SOILS ENGINEER HAS BEEN CONSULTED."

WATER SUPPLY NOTES

- ALL WATER LINES SHALL BE CLASS 52 DUCTILE IRON PIPE WITH PUSH ON JOINTS. ALL FITTINGS SHALL HAVE A PRESSURE RATING OF 250 PSI. ALL MAINS SHALL BE SLEEVED IN A 3 MIL. POLY CORROSION BARRIER
- THE WATERMAIN SHALL BE PRESSURE TESTED AT 150 PSI FOR 2 HOURS. THE ALLOWABLE LEAKAGE FOR 18 FT. OF LAYING LENGTH OF PIPE IS 0.74 GAL/2 HOURS/1000 FT. OF PIPE.
- THE WATERMAIN SHALL BE DISINFECTED WITH A WATER AND CHLORINE SOLUTION WITH A MINIMUM OF 50PPM CHLORINE. THE CHLORINE RESIDUAL IS TO BE A MINIMUM OF 25PPM AFTER 24 HOURS. THE WATERMAIN SHALL THEN BE FLUSHED AND A SAMPLE TAKEN FOR BACTERIA TESTING PRIOR TO BEING PLACED IN SERVICE. DISINFECTION SHALL BE PERFORMED IN ACCORDANCE WITH AWWA C651-99 CONTINUOUS FEED METHOD PROCEDURE IN AWWA C651 STANDARDS REQUIRED FOR POTABLE WATER SHALL BE MET. CHLORINATION AFTER A 24 HOUR HOLDING PERIOD IN THE MAIN SHALL HAVE A FREE CHLORINE RESIDUAL OF NOT LESS THAN 10 MG/L.
- WATERMAINS AND SEWERS SHALL BE LOCATED SUCH THAT AN 18 INCH VERTICAL SEPARATION IS MAINTAINED AT POINTS WHERE THEY CROSS. ALSO, A 10 FT. HORIZONTAL DISTANCE BETWEEN THE TWO MUST BE MAINTAINED IN AREAS WHERE THEY RUN PARALLEL. AT CROSSINGS, ONE FULL LENGTH OF WATER PIPE SHALL BE LOCATED SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE.
- WATERWORKS ARE TO BE CONSTRUCTED IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL STANDARDS AND SPECIFICATIONS.
- MATERIALS SHALL COMPLY WITH THE FOLLOWING:
D.I.P. - AWWA C151/A21.51-02
FITTINGS - AWWA C104/A21.4-03
VALVES - AWWA C500-02
FIRE HYDRANTS - AWWA C502-94
- PRESSURE AND LEAKAGE TESTS MUST BE PERFORMED ON THE WATER SYSTEM, AND RESULTS MUST CONFORM TO AWWA C600 STANDARDS. PRESSURE DURING THE TEST SHALL NOT VARY BY MORE THAN 5 PSI. THE MAXIMUM ALLOWABLE LEAKAGE FOR EACH TEST SECTION OF D.I.P. IS DETERMINED BY THE FORMULA $L = \frac{[SD \text{ sqft} P]}{[133.200]}$ (WHERE L=LEAKAGE (GAL/HR), S=LENGTH (FT), D=PIPE DIA. (IN) P=AVERAGE TEST PRESSURE (PSI))
- ALL WATERMAIN INSTALLATION SHALL COMPLY WITH AWWA C600-99
- ALL WATER SERVICES SHALL COMPLY WITH FEDERAL, STATE AND LOCAL BUILDING CODES
- ALL WATER SERVICES SHALL BE METERED. METERS SHALL BE PROVIDED BY THE TOWN OF WATERTOWN AT THE DEVELOPERS COST.
- IF CONTAMINATED GROUNDWATER IS ENCOUNTERED ANY TIME DURING THE CONSTRUCTION, NON PERMIABLE PIPE, JOINTS, HYDRANTS AND AND SERVICE CONNECTIONS SHALL BE USED IN THE AREA OF CONTAMINATION.
- SAMPLING REQUIREMENTS
1ST DAY - TOTAL COLIFORM AND HETATROPHIC
2ND DAY - TOTAL COLIFORM
- WATER MAINS SHALL NOT BE BROUGHT INTO SERVICE UNTIL THE COMPLETED WORKS IS ISSUED.

SANITARY SEWER NOTES

- INSTALLATION:
- ALL GRAVITY SEWER PIPE SHALL BE SDR-26 P.V.C.
- INSTALLATION SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND ALL APPLICABLE MANUFACTURERS SPEC.
- CONNECTION TO EXISTING MANHOLE SHALL BE ACCOMPLISHED USING A "KOR-N-SEAL".
- BEDDING AND BACKFILL MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE STANDARD PROCTOR DENSITY.

SANITARY SEWER TESTING

AIR TEST:

AIR TEST ALL SEWER PIPE, INCLUDING LATERALS, IN CONFORMANCE WITH ASTM F1417.

TEST PRESSURES SPECIFIED SHALL BE COMMENSURATELY INCREASED FOR GROUNDWATER ELEVATION ABOVE THE PIPE, IN ACCORDANCE WITH UNI-B-6 BY UNI-BELL PLASTIC PIPE ASSOCIATION.

METHOD:

- CLEAN AND WET THOROUGHLY THE INSIDE OF THE PIPE BEFORE TEST IS PERFORMED.
- INSERT TEST PLUGS IN ENDS OF PIPE TO BE TESTED.
- SLOWLY FILL THE PIPE WITH AIR TO A PRESSURE OF 4 PSIG.
- MAINTAIN PRESSURE BETWEEN 4 AND 3.5 PSIG FOR AT LEAST TWO MINUTES FOR TEMPERATURES STABILIZATION.
- CHECK ALL PLUGS FOR TIGHTNESS.
- WITH A PRESSURE OF APPROXIMATELY 4 PSIG IN PIPE, DISCONNECT AIR SUPPLY.
- ALLOW PRESSURE TO DECREASE TO 3.5 PSIG.
- DETERMINE ELAPSED TIME FOR PRESSURE DROP FROM 3.5 PSIG TO 2.5 PSIG.

THE LINE IS CONSIDERED ACCEPTABLE IF THE TIME FOR THE PRESSURE TO DECREASE FROM 3.5 PSIG TO 2.5 PSIG IS NOT LESS THAN THE AMOUNT DETERMINED BY THE FOLLOWING TABLE EXCEPT THAT REINFORCED CONCRETE PIPE SHALL BE HALF THIS DURATION.

PIPE DIAMETER (IN.)	MINIMUM TIME (MIN:SEC)	LENGTH FOR MINIMUM TIME (FT.)	TIME FOR LONGER LENGTH (SEC.)
4	3:46	577	0.380 L
6	5:40	389	0.854 L
8	7:34	298	1.520 L
10	9:26	239	2.374 L
12	11:20	194	3.418 L

WHERE L IS THE EXCESS TEST LENGTH BEYOND THE LENGTH FOR MINIMUM TIME.

IF THE LEAKAGE IN THE SECTION TESTED EXCEEDS THE SPECIFIED AMOUNT, THE CONTRACTOR SHALL MAKE THE NECESSARY REPAIRS OR REPLACEMENTS REQUIRED TO REDUCE THE LEAKAGE TO WITHIN THE SPECIFIED LIMITS AND THE TEST SHALL BE REPEATED UNTIL THE LEAKAGE REQUIREMENTS ARE MET.

THE CONTRACTOR MAY AT HIS OPTION, INFILTRATION/EXFILTRATION TEST ALL SEWER PIPE IN LIEU OF AIR TEST.

DEFLECTION TESTING SHALL BE PERFORMED IN ACCORDANCE WITH SECTION 33.85 OF THE "TEN STATES STANDARDS"

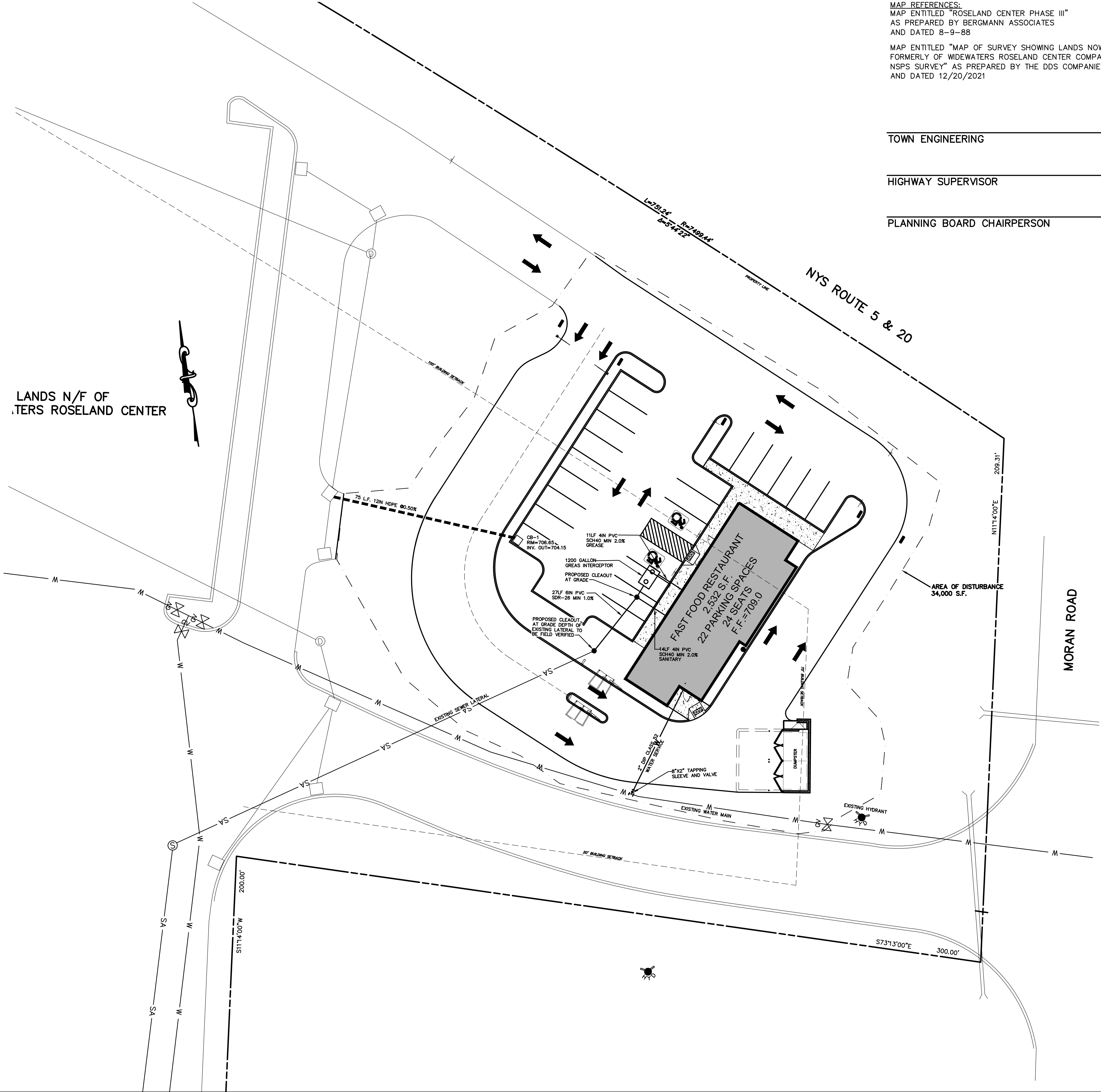
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TOWN ENGINEERING DATE

HIGHWAY SUPERVISOR DATE

PLANNING BOARD CHAIRPERSON DATE



UTILITY PLAN
LIBERTY RESTAURANTS
3225 NY-364, SUITE 5

COUNTY OF ONTARIO
DRAWN BY: BLS
CADD FILE:
DATE:

TOWN OF CANANDAIGUA
STATE OF NEW YORK
SCALE: 1" = 20'
SHEET C-3

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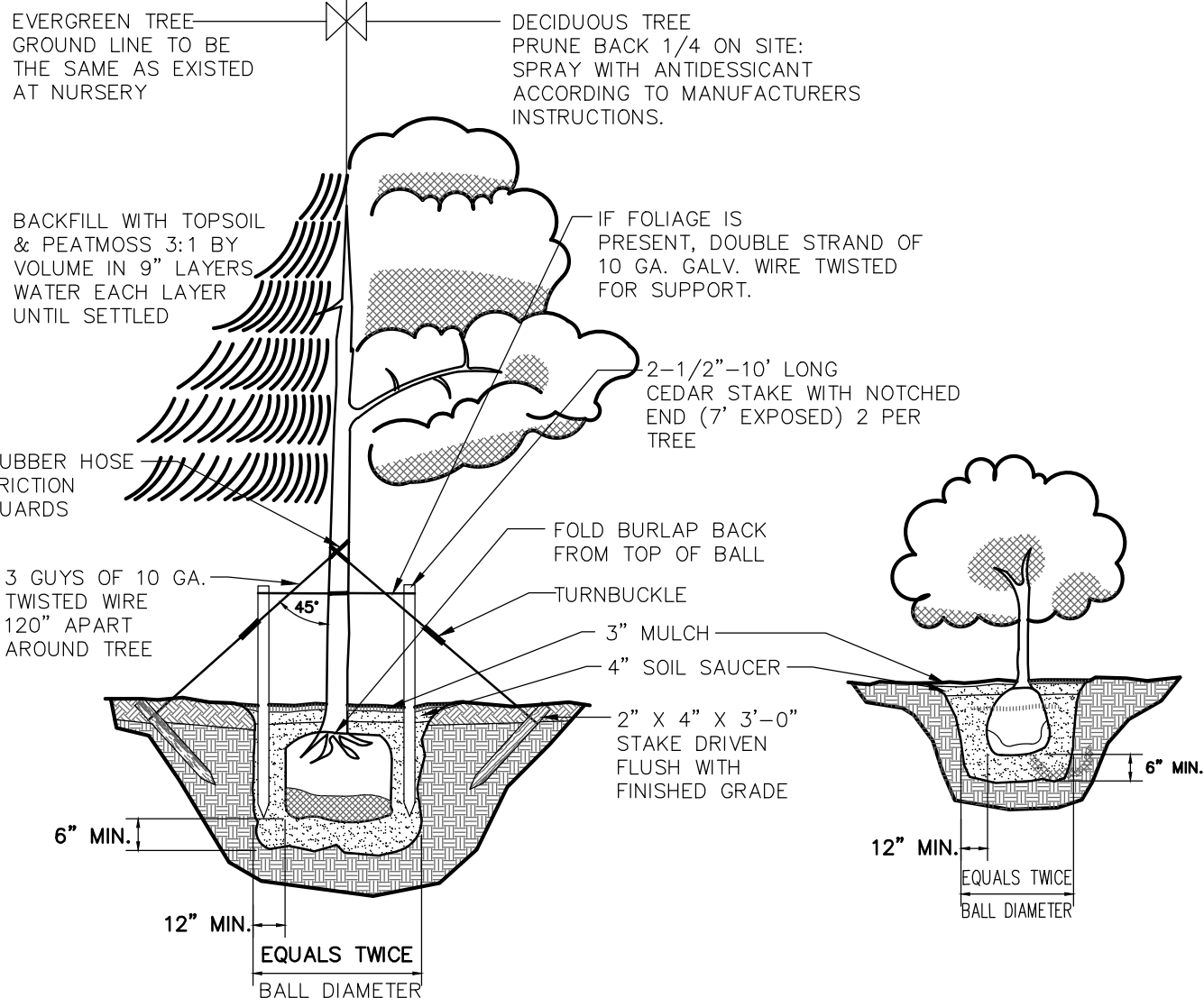
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NO. DATE: REVISIONS BY:



TYPICAL PLANTING DETAIL

N.T.S.

SEEDING MIX				
PRIMARY SEED MIX: 130 lbs/acre				
AMT. BY WEIGHT	SPECIES OR VARIETY	PURITY	MIN. % GERM.	
55%	KENTUCKY BLUE GRASS BLEND	95%	80%	
25%	RED FESCUE	97%	85%	
20%	PERENNIAL RYE	98%	90%	
100%				
TEMPORARY COVER SEED MIX: 30 lbs/acre				
AMT. BY WEIGHT	SPECIES OR VARIETY	PURITY	MIN. % GERM.	
90%	ANNUAL RYE GRASS	98%	90%	
10%	ORGANIC MATERIAL			
100%				

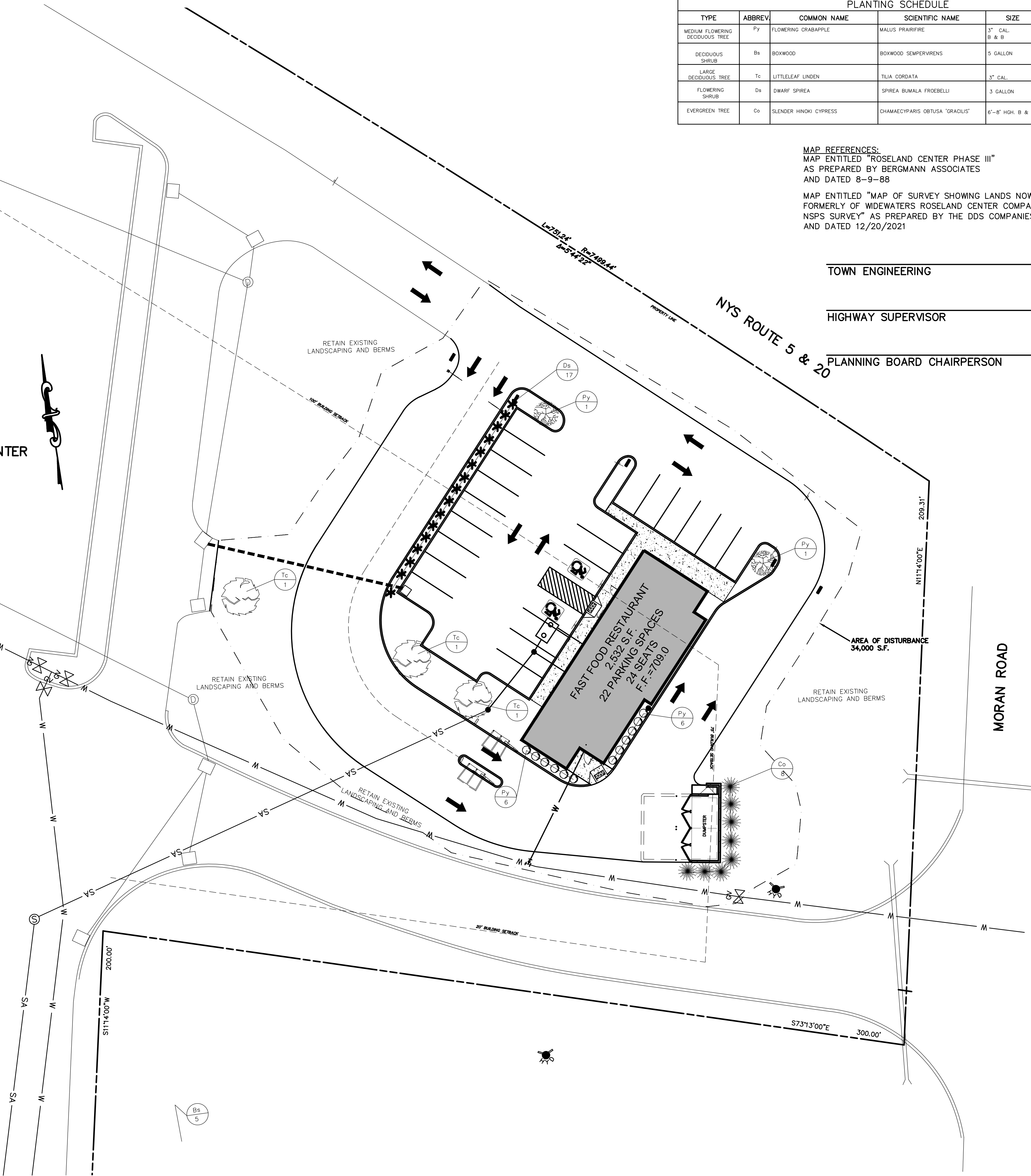
SITE PREPARATION:
1. SEEDBED PREPARATION - SCARIFY IF COMPACTED. REMOVE DEBRIS AND OBSTACLES SUCH AS ROCKS AND STUMPS.
2. SOIL AMENDMENTS:
A. LIME TO A PH OF 6.0
B. FERTILIZE WITH 600LBS OF 5-10-10 OR EQUIV. PER ACRE (14LBS/1000 S.F.)
3. POST SEEDING FERTILIZATION AND WATERING IS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL ACCEPTED BY THE OWNER AS DESCRIBED IN THE PROJECT SPECIFICATIONS

PLANTING SCHEDULE					
TYPE	ABBREV	COMMON NAME	SCIENTIFIC NAME	SIZE	QUANTITY
MEDIUM FLOWERING DECIDUOUS TREE	Py	FLOWERING CRABAPPLE	MALUS PRAIRIFIRE	3" CAL. B & B	2
DECIDUOUS SHRUB	Bs	BOXWOOD	BOXWOOD SEMPERVIRENS	5 GALLON	12
LARGE DECIDUOUS TREE	Tc	LITTLELEAF LINDEN	TILIA CORDATA	3" CAL.	3
FLOWERING SHRUB	Ds	DWARF SPIREA	SPIREA BUMALA FROEBELII	3 GALLON	17
EVERGREEN TREE	Co	SLENDER HINOKI CYPRESS	CHAMAECYPARIS OBUSA 'GRACILIS'	6"-8" HOH. B & B	8

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TOWN ENGINEERING _____ DATE _____
HIGHWAY SUPERVISOR _____ DATE _____
PLANNING BOARD CHAIRPERSON _____ DATE _____

LANDS N/F OF
ROSELAND CENTER



TOWN OF CANANDAIGUA APPROVAL

LANDSCAPING PLAN

LIBERTY RESTAURANTS

3225 NY-364, SUITE 5

COUNTY OF ONTARIO

TOWN OF CANANDAIGUA

STATE OF NEW YORK

CHECKED BY: _____

CADD FILE: _____

DATE: _____

2832 Rosendale Road

Niskayuna, NY 12309

(518) 365-0875

bsteenburgp@bsteenburg.com

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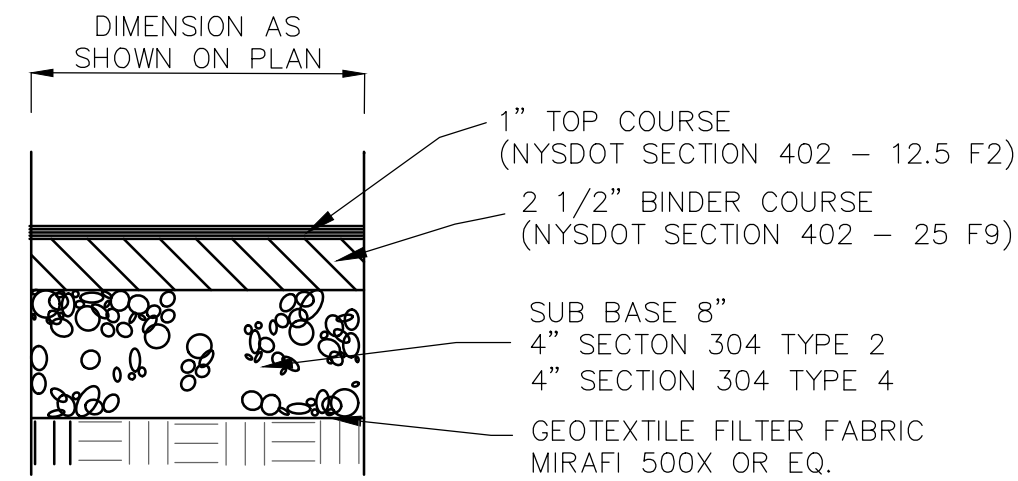
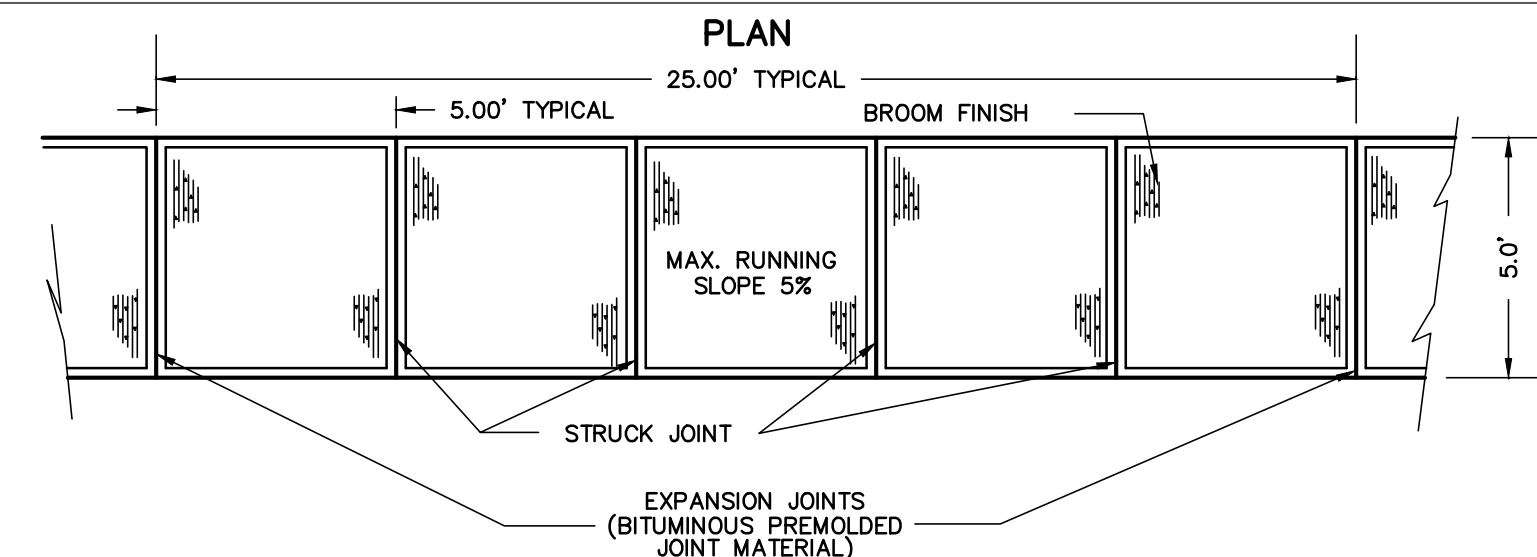
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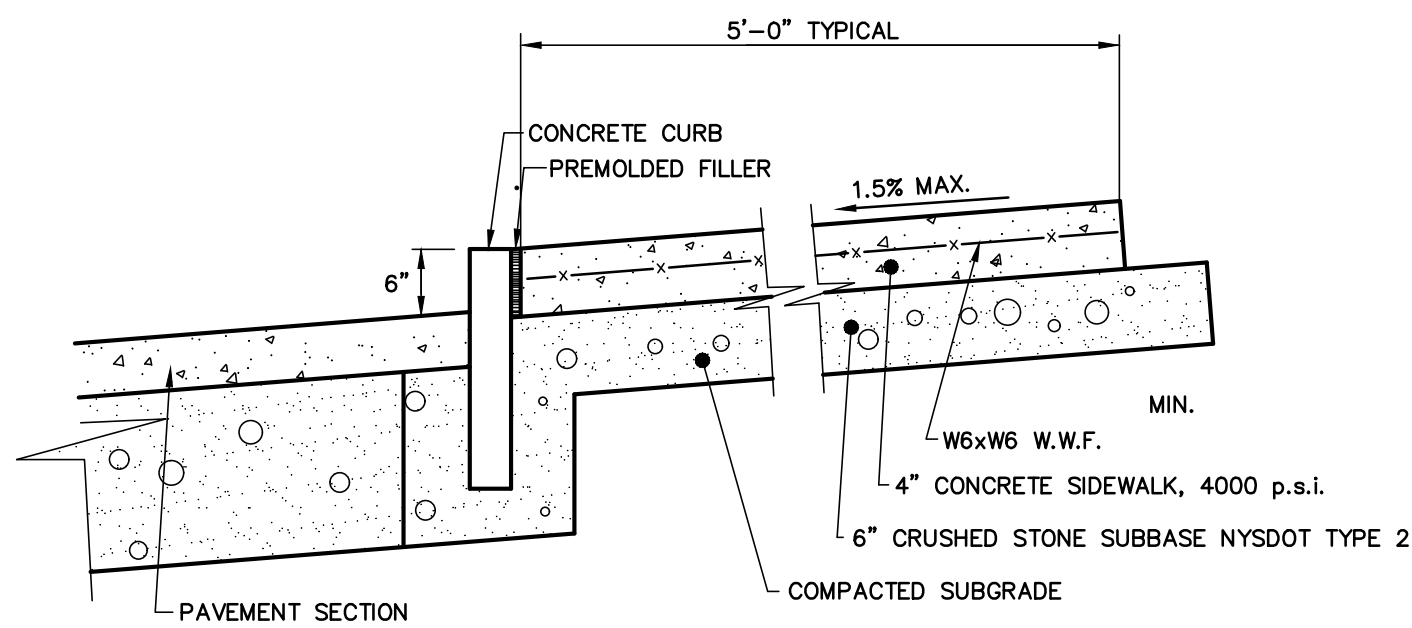
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REVISIONS

BY: _____

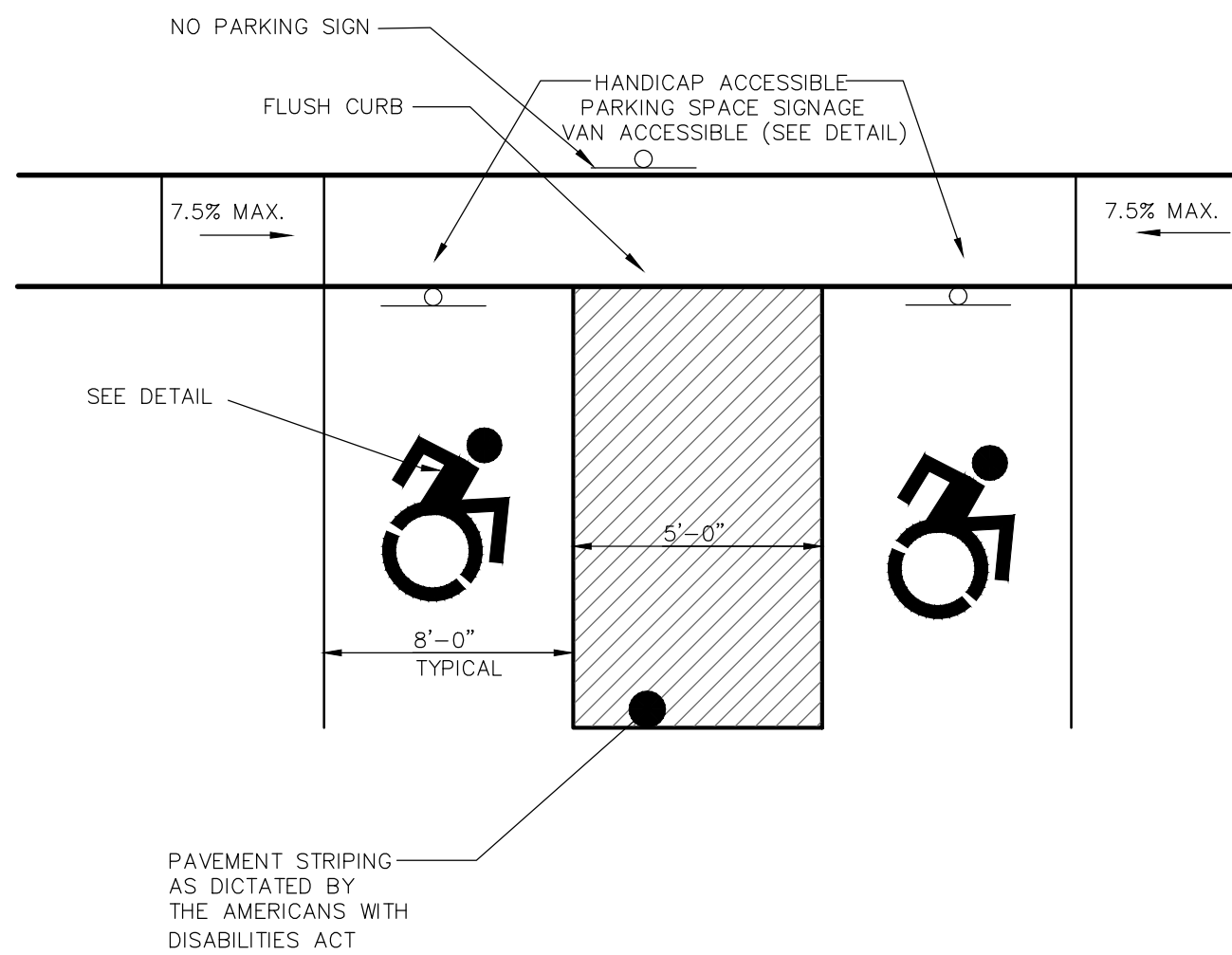


ASPHALT PAVEMENT SECTION
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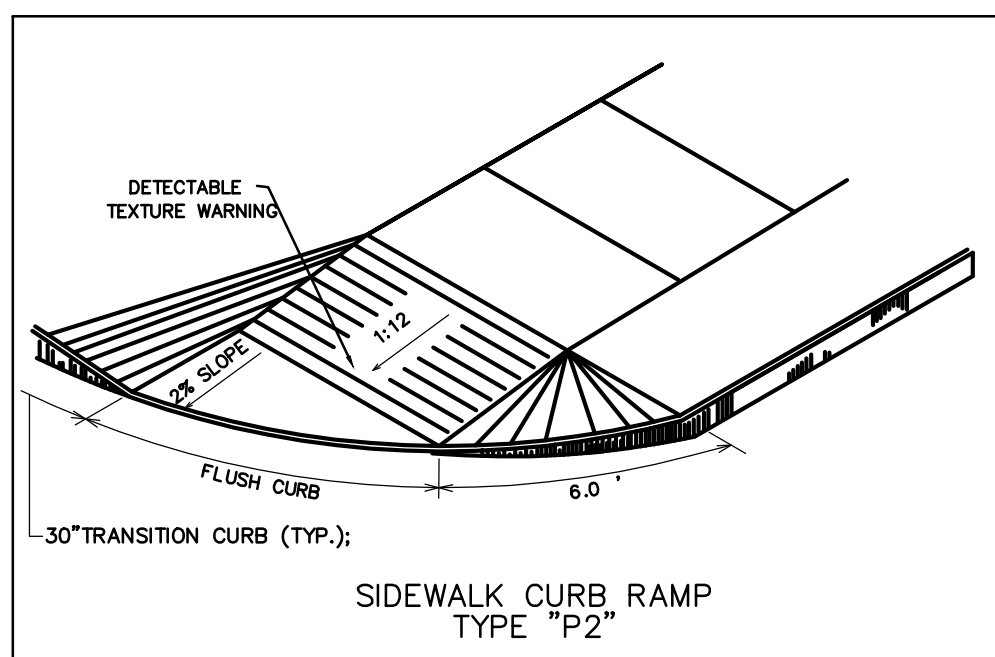
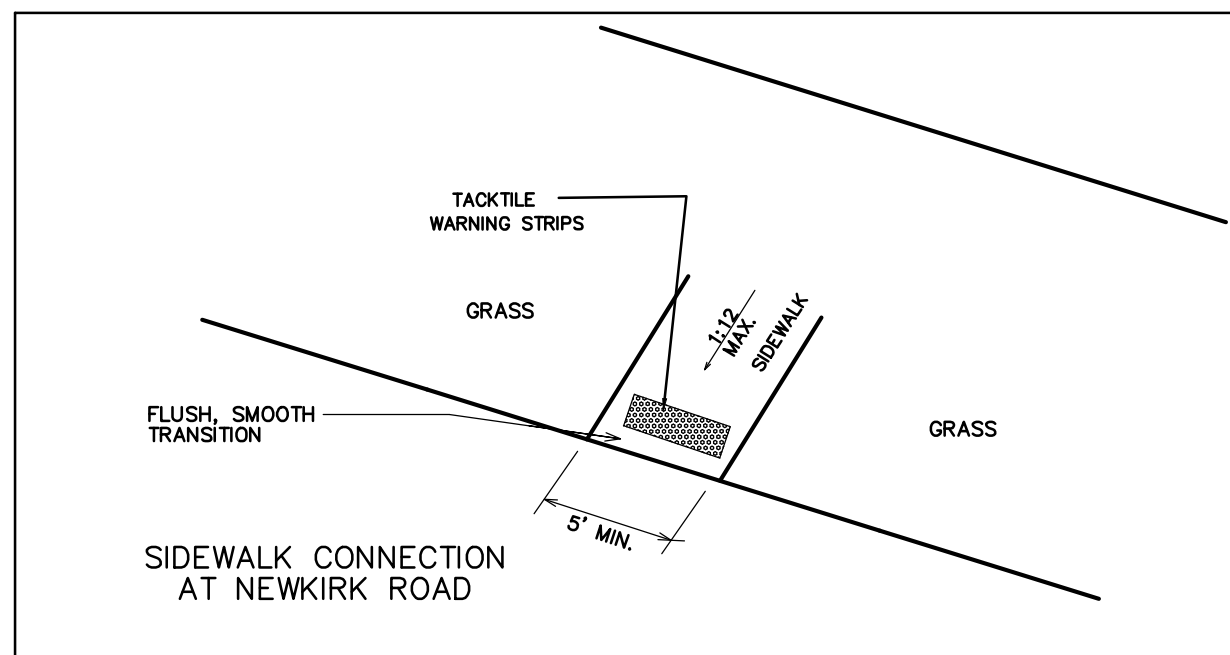


- NOTES:
1. SEE SIDEWALK JOINTS DETAIL FOR JOINT SIZE AND SPACING
 2. EXPOSED CONCRETE SURFACE TO HAVE LIGHT BROOM FINISH

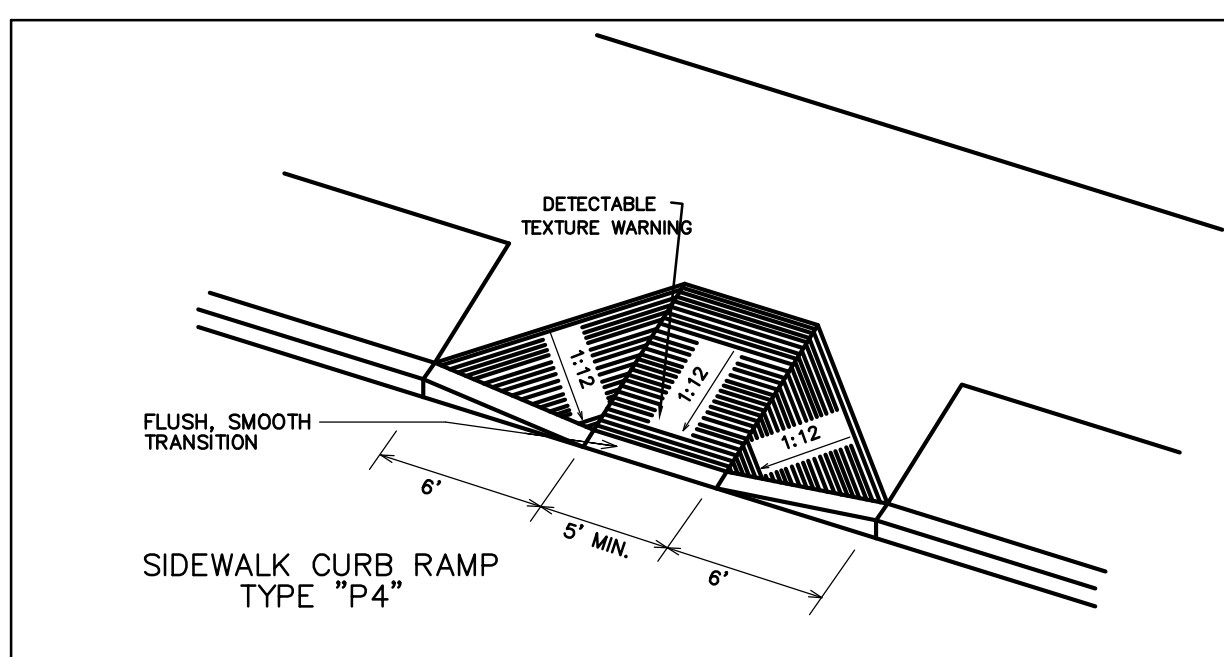
CONCRETE SIDEWALK DETAIL
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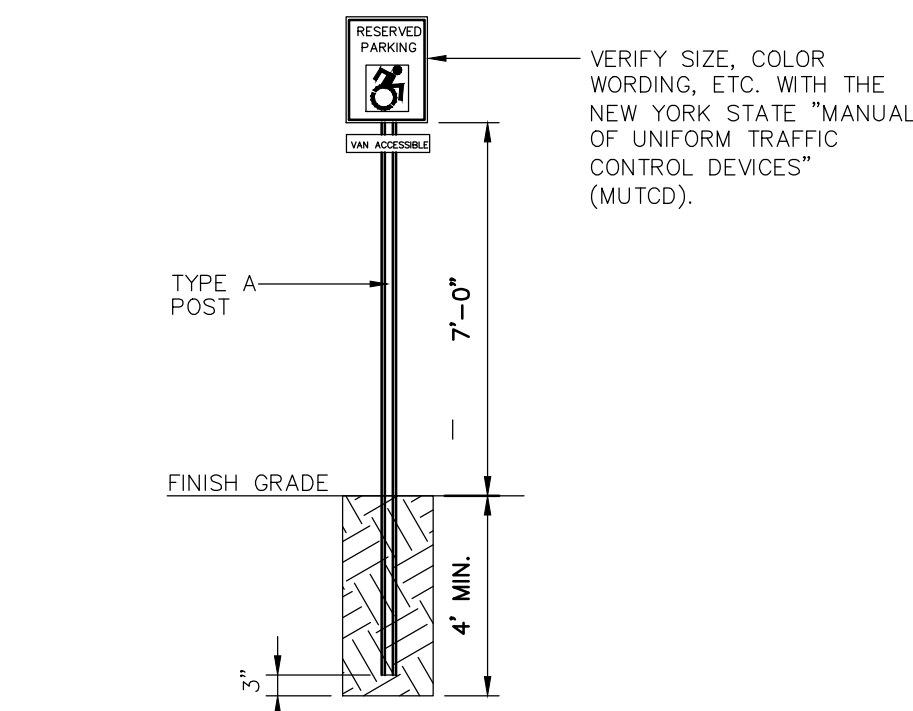
ACCESSIBLE PARKING LAYOUT
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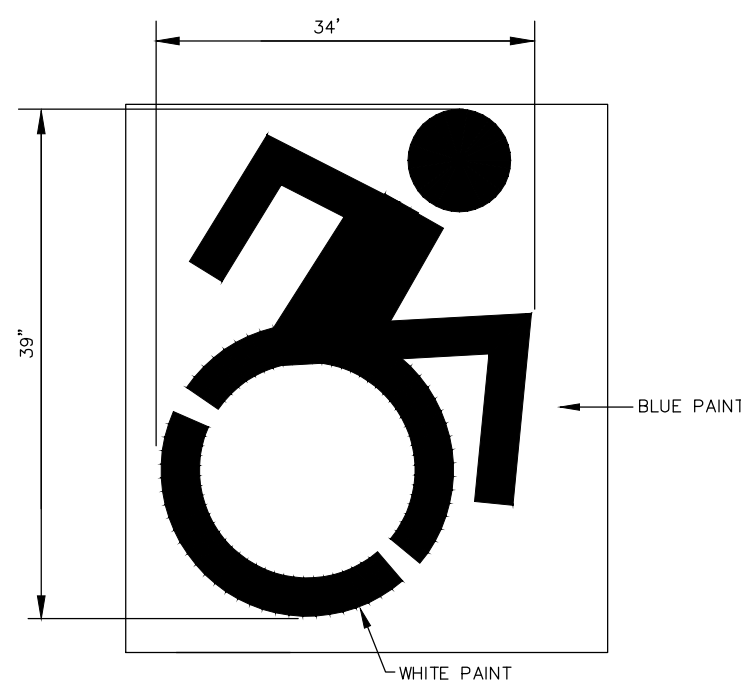
ACCESSIBLE PARKING DETAILS



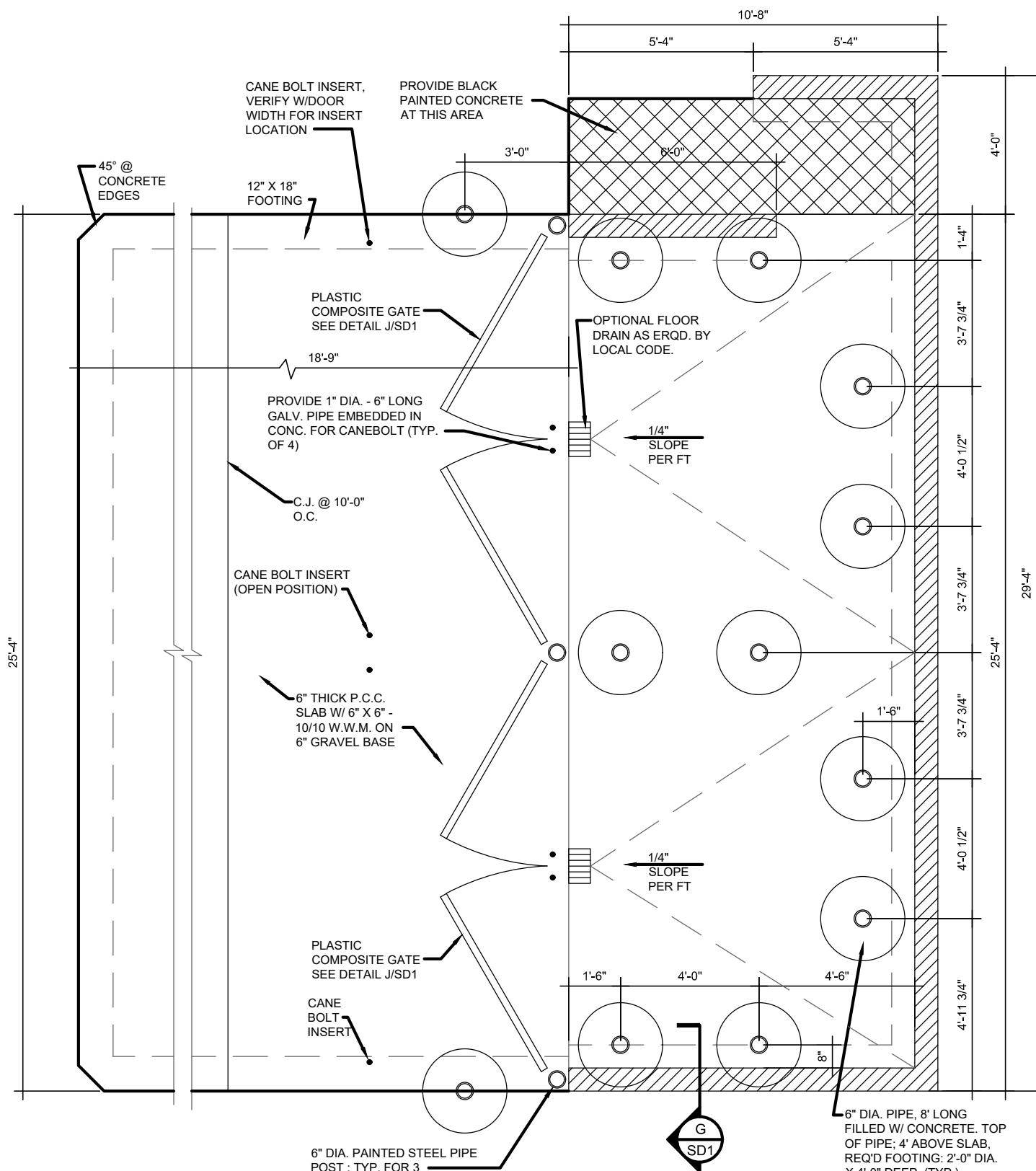
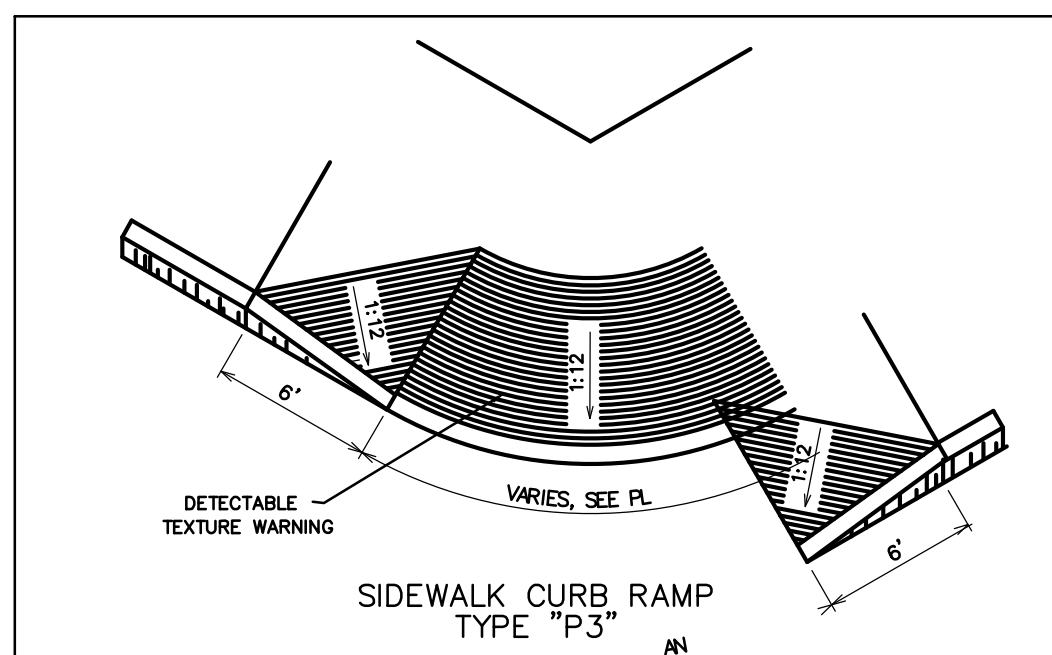
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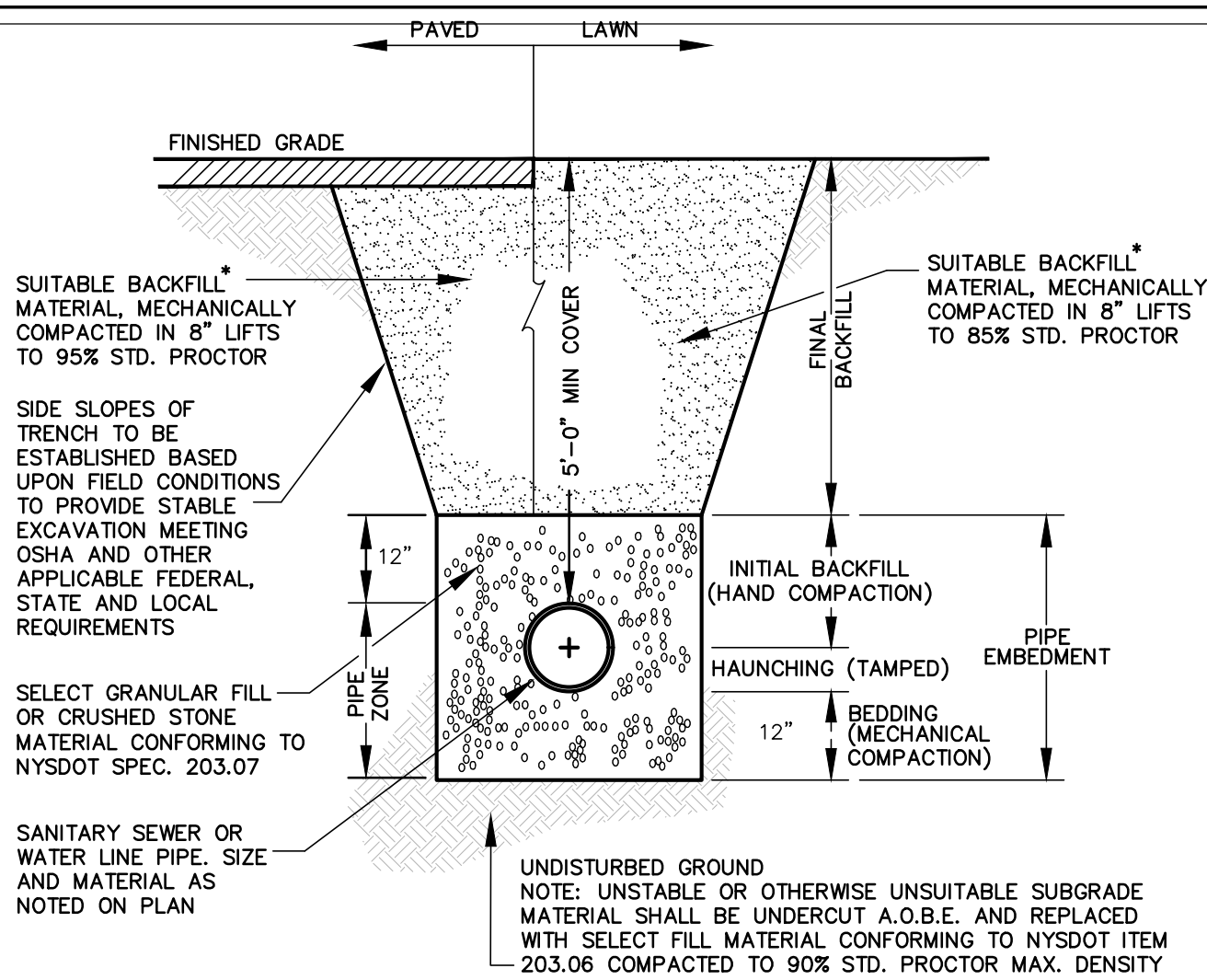
ACCESSIBLE PARKING SIGN DETAIL
N.T.S.



ACCESSIBLE PARKING SPACE DETAIL
N.T.S.



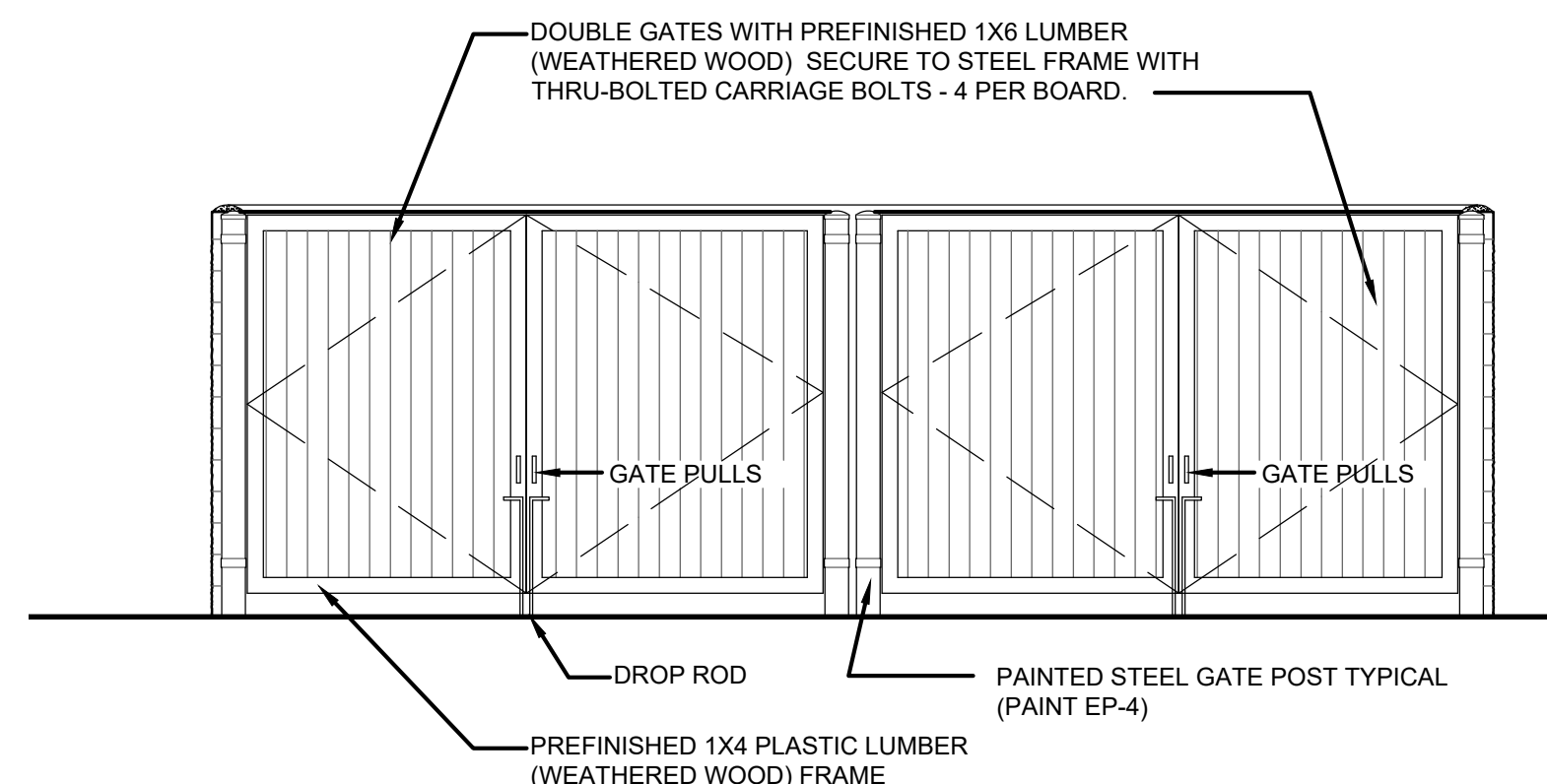
DUMPSTER ENCLOSURE DETAIL



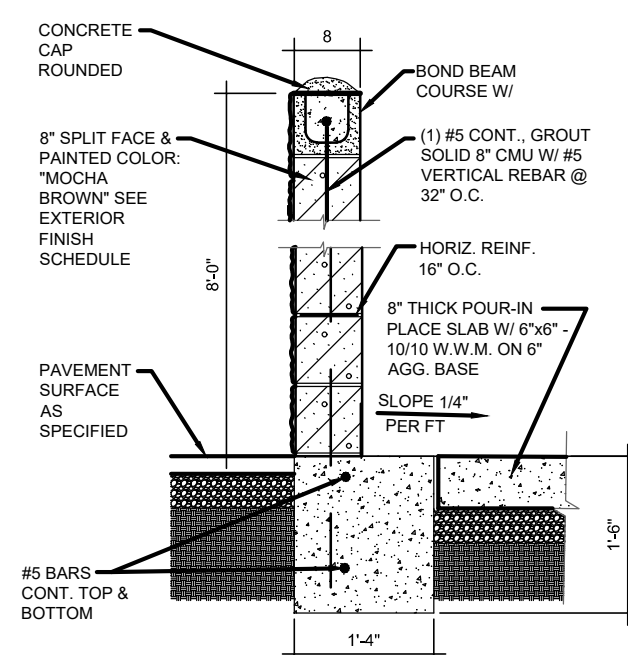
SANITARY SEWER & WATER LINE TRENCH AND BACKFILL DETAIL
N.T.S.

- * NOTE
- SUITABLE BACKFILL MATERIAL FOR FINAL BACKFILL SHALL BE FREE OF DEBRIS, FOREIGN MATERIAL, LARGE STONES, TREES, ORGANIC MATTER AND OTHER DELETERIOUS MATER AND CONFORMS WITH ASTM D 2487 SOIL GROUPS GW, GP, GM, SM, SW, AND SP.

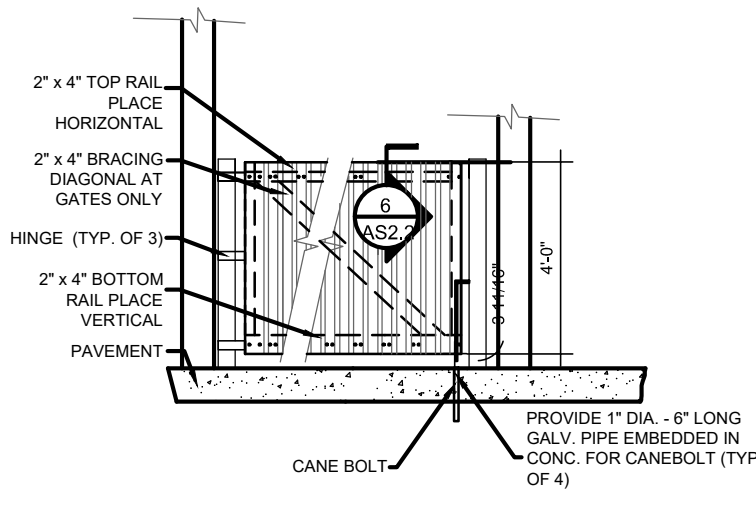
BEDDING AND BACKFILL NOTES:
THE ALL BEDDING, BACKFILL AND HAUNCHING SHALL COMPLY WITH THE TEN STATES STANDARDS SECTION 33.83 AND 33.84.
BEDDING CLASSES A, B, C OR CURSHED STONE AS DESCRIBED IN ASTM C 12 SHALL BE USED AND CAREFULLY COMPACTED FOR ALL RIGID PIPE.
EMBEDMENT MATERIALS FOR BEDDING AND INTIAL BACKFILL, CLASSES I, II OR III AS DESCRIBED IN ASTM 2321 SHALL BE USED AND CAREFULLY COMPACTED FOR ALL FLEXIBLE PIPE.
FINAL BACKFILL SHALL BE OF A SUITABLE MATERIAL REMOVED FROM EXCAVATION EXCEPT WHERE OTHER MATERIAL IS SPECIFIED. DEBRIS, FROZEN MATERIAL, LARGE CLOUDS OR STONES, ORGANIC MATTER AND OTHER UNSTABLE MATERIALS SHALL BE USED FOR FINAL BACKFILL WITHIN 2 FEET OF THE TOP OF PIPE.



DUMPSTER ENCLOSURE & GATE EXT. ELEV.



DUMPSTER WALL SECTION DETAIL



GATE DETAIL AT REAR ENCLOSURE

TOWN ENGINEERING DATE

HIGHWAY SUPERVISOR DATE

PLANNING BOARD CHAIRPERSON DATE

NO.	DATE	REVISIONS	BY



Scaling off these drawings shall be done only for review and approval purposes. Contractors shall use dimensions and electronic data only for layout and construction.

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ENGINEERING THAT TRANSFORMS
IMAGINATION INTO REALITY

DETAILS
LIBERTY RESTAURANTS
3225 NY-364, SUITE 5
TOWN OF CANANDAIGUA
STATE OF NEW YORK

COUNTY OF ONTARIO
DRAWN BY: BLS
CHECKED BY: JBS
DATE: 10/20/2021

SCALE: 1" = 20'
SHEET D-1