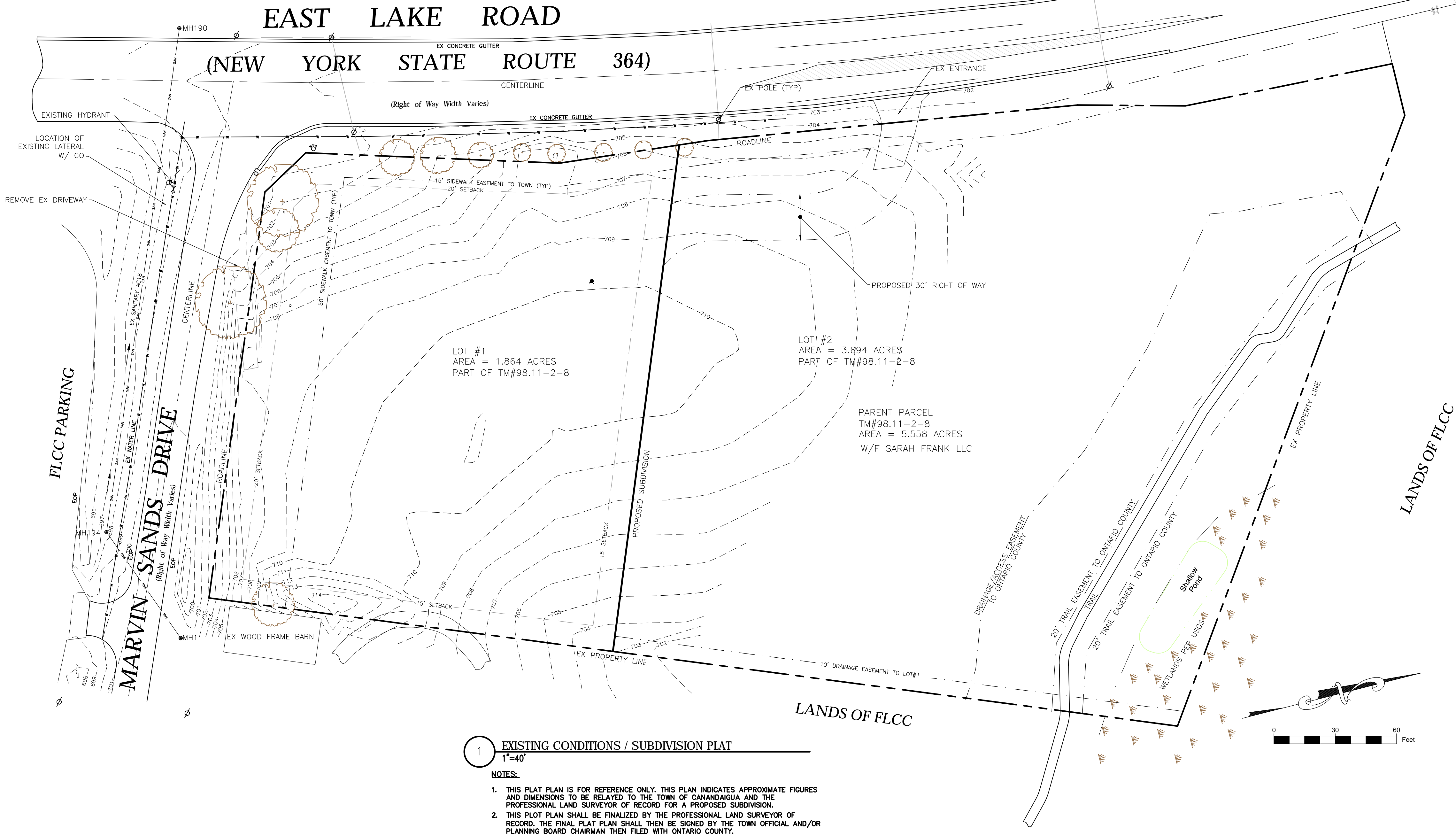
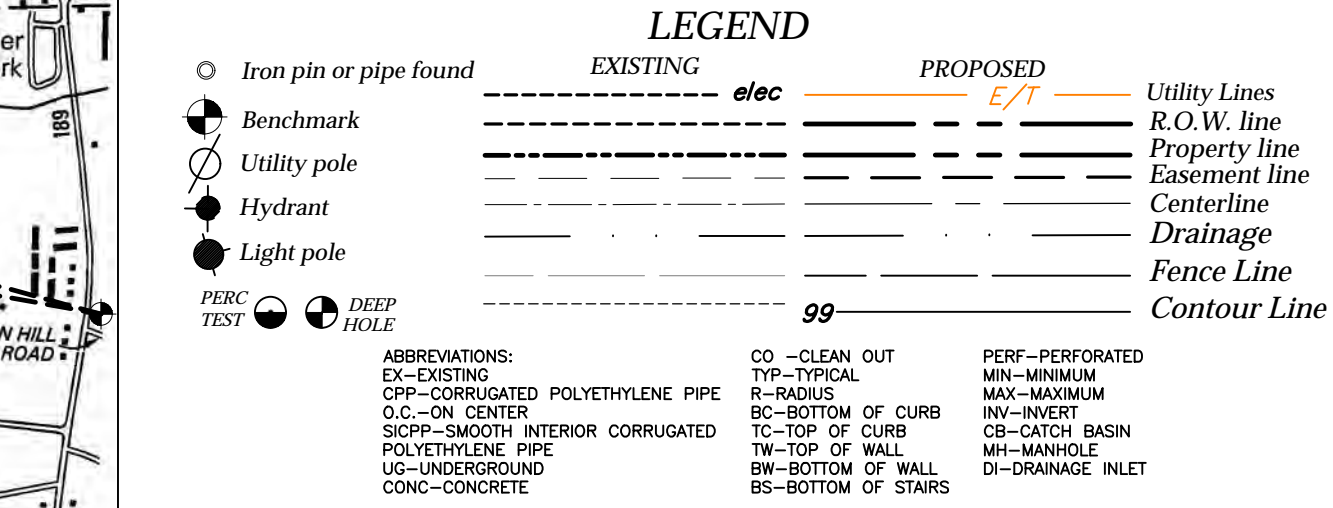


LOCATION MAP
NOT TO SCALE



1 EXISTING CONDITIONS / SUBDIVISION PLAT
1"=40'

NOTES:

- THIS PLAT PLAN IS FOR REFERENCE ONLY. THIS PLAN INDICATES APPROXIMATE FIGURES AND DIMENSIONS TO BE RELAYED TO THE TOWN OF CANANDAIGUA AND THE PROFESSIONAL LAND SURVEYOR OF RECORD FOR A PROPOSED SUBDIVISION.
- THIS PLOT PLAN SHALL BE FINALIZED BY THE PROFESSIONAL LAND SURVEYOR OF RECORD. THE FINAL PLAT PLAN SHALL THEN BE SIGNED BY THE TOWN OFFICIAL AND/OR PLANNING BOARD CHAIRMAN THEN FILED WITH ONTARIO COUNTY.

MarksEngineering
42 BEEMAN STREET
CANANDAIGUA, NY 14424
(585) 905-0360
INFO@MARKSENGINEERING.COM

STATE OF NEW YORK
SEAL OF THE PROFESSIONAL ENGINEER
BRENNAN A. MARKS
13182
STAMP

REVISIONS AND APPROVALS			
NO.	DATE	DESCRIPTION OF REVISION OR APPROVAL	BY
1	06/22/18	PER PRC	MCF
2	07/24/2018	PER TOWN ENGINEERS REVIEW	MCF

FINAL SITE PLAN FOR:
STAR CIDER
NEW RESEARCH & TASTING FACILITY
3385 EAST LAKE RD
TOWN OF CANANDAIGUA

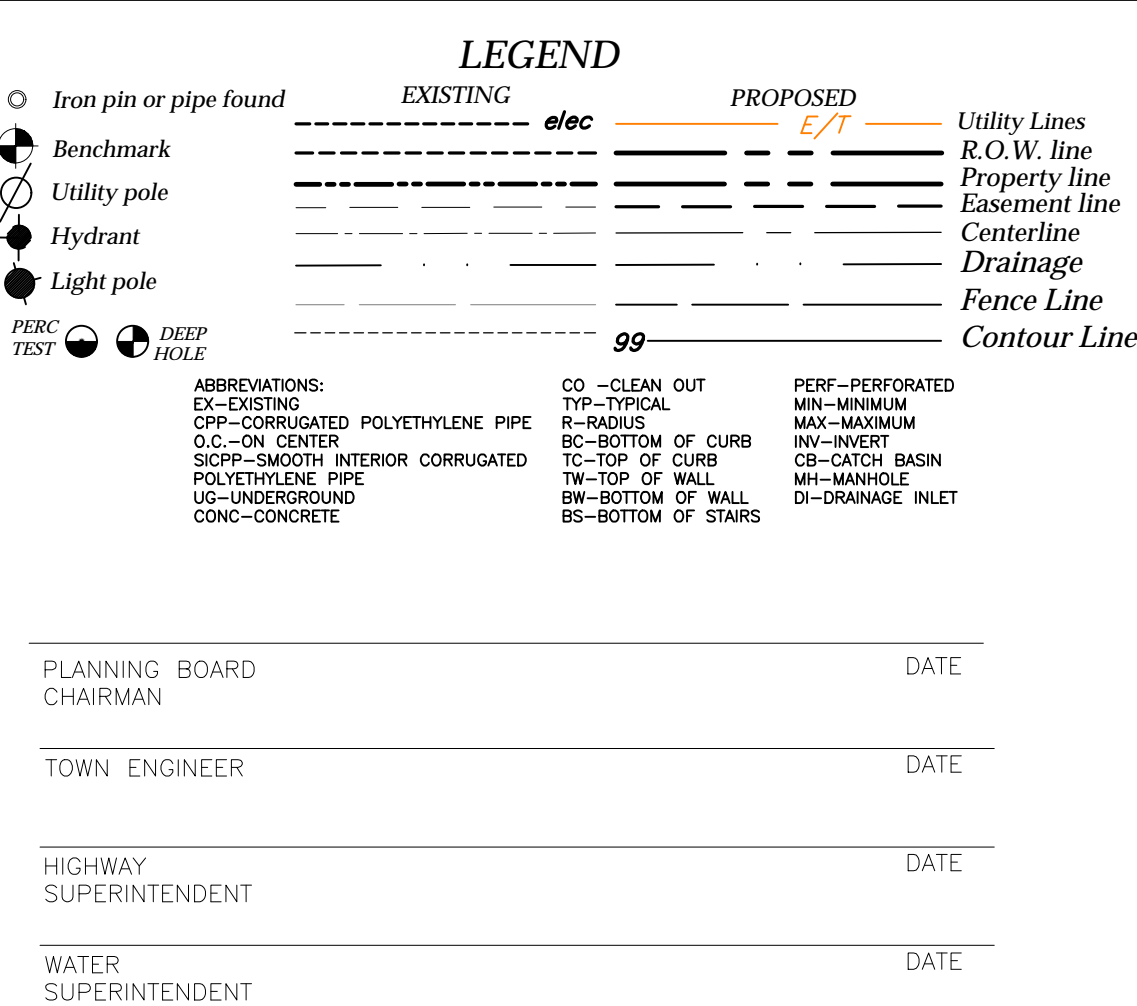
COUNTY OF ONTARIO

STATE OF NEW YORK

DRAWING TITLE:
EXISTING CONDITIONS /
SUBDIVISION PLAT

DRAWN BY:	MCF
DESIGNED BY:	BAM
CHECKED BY:	BAM
SCALE:	AS NOTED
JOB NO.:	16-073
DATE:	06/15/2018
TAX MAP#:	98.11-2-8.000

EX100



NOT TO SCALE

SITE DATA			
	REQUIRED	PROPOSED	SITE
ZONING/USE – PRINCIPAL	R-1-20	MUO-X	BREWERY
ZONING/USE – ACCESSORY	NA	NA	NA
PRINCIPAL BUILDING SQUARE FOOTAGE			5000
FRONT SETBACK	100'	20'	144.6'
SIDE SETBACK	20'	15'	40.2'
REAR SETBACK	40'	15'	90'
BUILDING HEIGHT	35'	35'	28
BLDG LOT COVERAGE	35.00%	60%	5.50%
PARKING	1 PER 25SF (RESTAURANTS)	1 PER 25SF (OVERFLOW)**	37
ADA PARKING	4 PER 100	4 PER 100	2

** 1 PER 25SF PER REQUIREMENTS (TOTALING 20) MET WITH OVERFLOW PARKING WITHIN 500' OF FRONT DOOR.

- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE WATER/SEWER AGENCIES, UNLESS OTHERWISE NOTED.
2. A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED TO CONFORM WITH THE LATEST NYSDEC GENERAL PERMIT AND TO THE TOWN REQUIREMENTS REGARDING MAINTENANCE AND AND CONTROL OF STORM WATER QUALITY AND QUANTITY.
3. ALL SWPPP'S ARE REQUIRED TO BE REVIEWED AND APPROVED BY THE TOWN CEO AND TOWN ENGINEER. THE TOWN MS4 SWPPP ACCEPTANCE FORM IS TO BE SIGNED AND INSERTED INTO THE PROJECT SWPPP PRIOR TO CONSTRUCTION.
4. THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED SWPPP, INCLUDING FILING OF THE "NOTICE OF INTENT" (NOI). A COPY OF THE NYSDEC ACKNOWLEDGEMENT LETTER IS TO BE PROVIDED TO THE TOWN DEVELOPMENT OFFICE AND TOWN ENGINEER PRIOR TO CONSTRUCTION.
5. A COPY OF THE PROJECT SWPPP IS TO BE PROVIDED TO THE TOWN DEVELOPMENT OFFICE, TOWN ENGINEER, AND A COPY IS TO REMAIN ONSITE DURING CONSTRUCTION AT ALL TIMES IN A MARKED AND ACCESSIBLE LOCATION.
6. ANY MODIFICATIONS OR DEVIATIONS FROM THE APPROVED PLANS, CONSTRUCTION SEQUENCE, AND/OR SWPPP, INCLUDING IMPLEMENTATION OF EROSION CONTROL MEASURES AND STORM WATER MANAGEMENT AREAS, SHALL BE APPROVED BY THE TOWN OF CANANDAIGUA AND DOCUMENTED WITHIN THE PROJECT SWPPP.
7. THE OWNER IS REQUIRED TO PROVIDE DAILY ONSITE OBSERVATION BY A LICENSE PROFESSIONAL OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC). ALL SWPPP INSPECTIONS ARE TO BE IN A FORM ACCEPTABLE BY THE TOWN OF CANANDAIGUA AND FORWARDED TO OWNER, THE TOWN CEO, TOWN ENGINEER, AND A COPY PLACED WITHIN THE ONSITE PROJECT SWPPP.
8. THE OWNER IS RESPONSIBLE FOR PROVIDING ONSITE SWPPP INSPECTIONS BY A LICENSE PROFESSIONAL OR CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC) DURING CONSTRUCTION ONCE PER WEEK (EVERY 7 DAYS) IF UNDER 5-ACRES OF DISTURBANCE AND TWICE PER WEEK (EVERY 7 DAYS) IF 5-ACRES OR MORE WITH RECEIPT OF A 5-ACRE WAIVER FROM THE TOWN OF CANANDAIGUA (MS4).
9. DEVELOPMENT IN THE CANANDAIGUA LAKE WATERSHED DISTURBING MORE THAN 5-ACRES AT ONE TIME, IS REQUIRED TO COORDINATE THE REGULAR SWPPP OBSERVATIONS REQUIRED BY THE LATEST GENERAL PERMIT WITH THE CANANDAIGUA LAKE WATERSHED INSPECTOR, THE WATERSHED PROGRAM MANAGER AND THE TOWN CODE ENFORCEMENT OFFICER.
10. CONSTRUCTION SEQUENCE - ALL PLANS ARE TO BE PROVIDED WITH A DETAILED CONSTRUCTION SEQUENCE. THE CONTRACTOR SHALL COMPLETE CONSTRUCTION AND IMPLEMENT EROSION CONTROL MEASURES IN ACCORDANCE WITH THE APPROVED CONSTRUCTION SEQUENCE UNLESS SPECIFIED OTHERWISE ON THE APPROVED DESIGN PLANS OR AT THE PRE -CONSTRUCTION MEETING.
11. DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE TOWN OF CANANDAIGUA.
12. THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION AND UNTIL THE SITE IS FULLY STABILIZED, INSPECTED BY THE TOWN OF CANANDAIGUA, AND ISSUANCE OF THE NOTICE OF TERMINATION (NOT) HAS BEEN PROVIDED TO NYSDEC.
14. ROOF LEADERS SHOULD BE CONNECTED TO STORM SEWERS WHERE POSSIBLE, UNLESS OTHERWISE SPECIFIED ON THE APPROVED PLANS AND WITHIN THE PROJECT SWPPP.
15. NO SITE PREPARATION SHALL COMMENCE UNTIL A VISUAL INSPECTION BY THE TOWN OF CANANDAIGUA, CONFIRMS THE INSTALLATION OF PERIMETER SEDIMENT CONTROLS AND THE STABILIZED CONSTRUCTION ENTRANCE.
16. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF VEGETATION, THE STORM WATER MANAGEMENT FACILITIES SHALL BE CLEANED OF ACCUMULATED SILT.

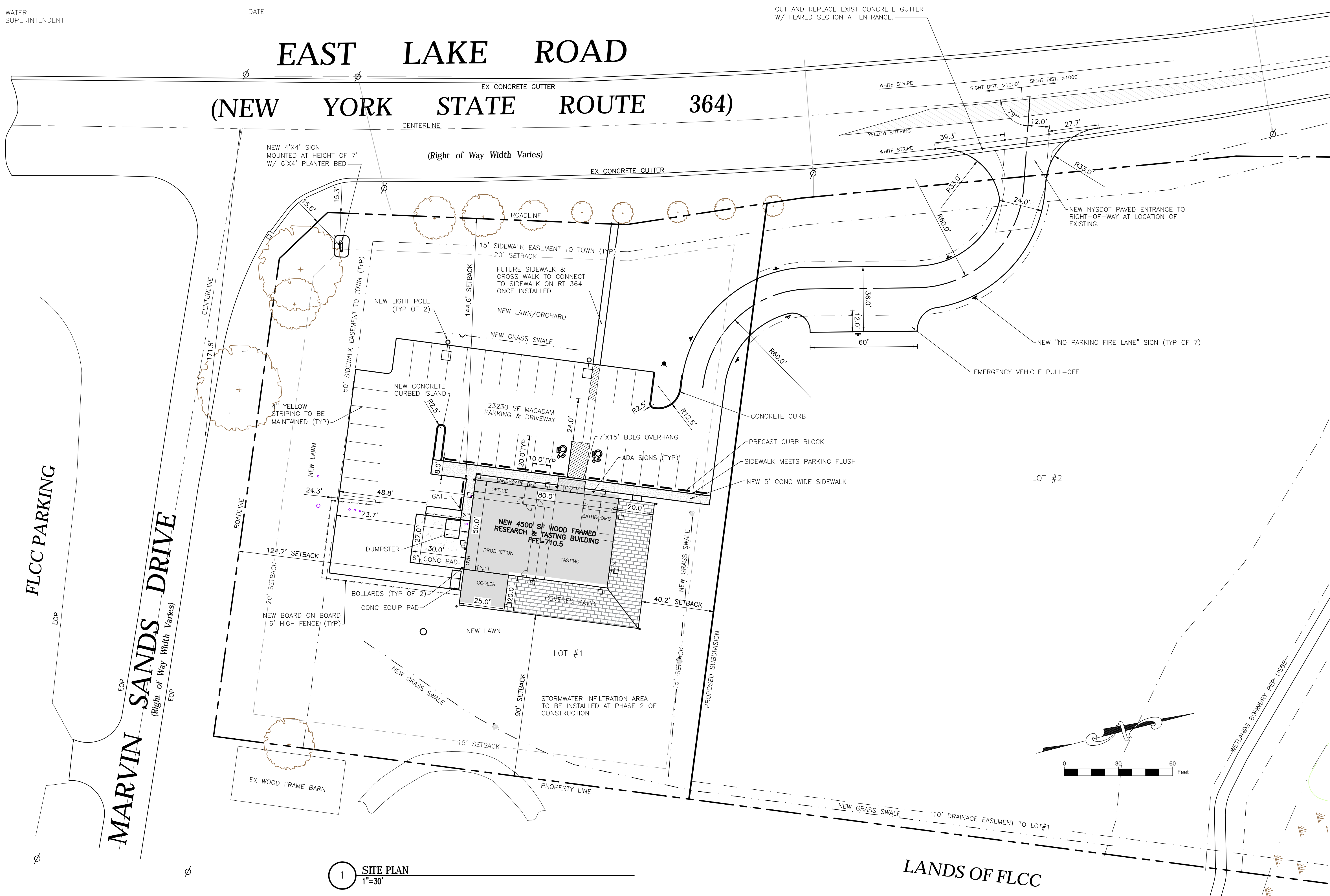
1. THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES AND PROPERTY MARKERS. IT IS THE NYS LAW TO CALL NYS DIG SAFE FOR UFPO (811) PRIOR TO ANY EXCAVATION.
2. THE ROADWAY SHALL BE KEPT FREE OF DEBRIS DURING CONSTRUCTION.
3. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY CONTROL DEVICES. SUCH DEVICES INCLUDE SIGNS, FLAGMEN, AND BARRIERS TO BE IMPLEMENTED TO MINIMIZE RISK OF INJURY TO PEDESTRIANS AND WORKERS. CONSTRUCTION ACTIVITY SHALL BE CONDUCTED WITHIN COMPLIANCE WITH OSHA GUIDELINES.
4. PLANS ARE GRAPHIC REPRESENTATIONS OF WORK TO BE PERFORMED. THESE PLANS ARE TO INTENDED TO CONVEY ENGINEERING INFORMATION ONLY.
5. CONTRACTOR TO VERIFY ALL PROPERTY LINES, LOCATIONS, GRADES AND INVERTS PRIOR TO BEGINNING OF ANY DISPOSED OR CONSTRUCTION PART OF WORK.
6. ALL SPECIFIED MATERIALS ARE TO BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS OR INDUSTRY STANDARD.
7. ENGINEER DOES NOT HOLD ANY LIABILITY FOR SYSTEM FAILURE. ANY SYSTEM MODIFICATIONS OR DEVIATIONS FROM THE APPROVED PLANS, NYS BUILDING CODES, AND/OR LOCAL REGULATIONS REQUIRED BY SITE CONSTRAINTS, UNFORESEEN OBSTACLES OR OTHER CHANGES TO THE PROJECT SHALL BE APPROVED BY THE CLIENT.
8. ALL CONSTRUCTION SHALL COMPLY WITH CURRENT NYS AND LOCAL BUILDING CODES AS WELL AS NATIONAL ELECTRIC CODE.

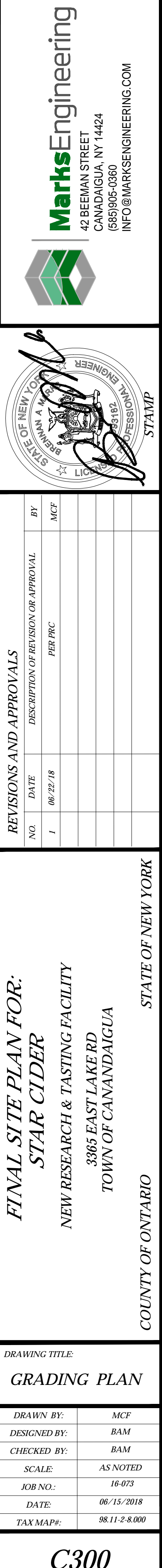
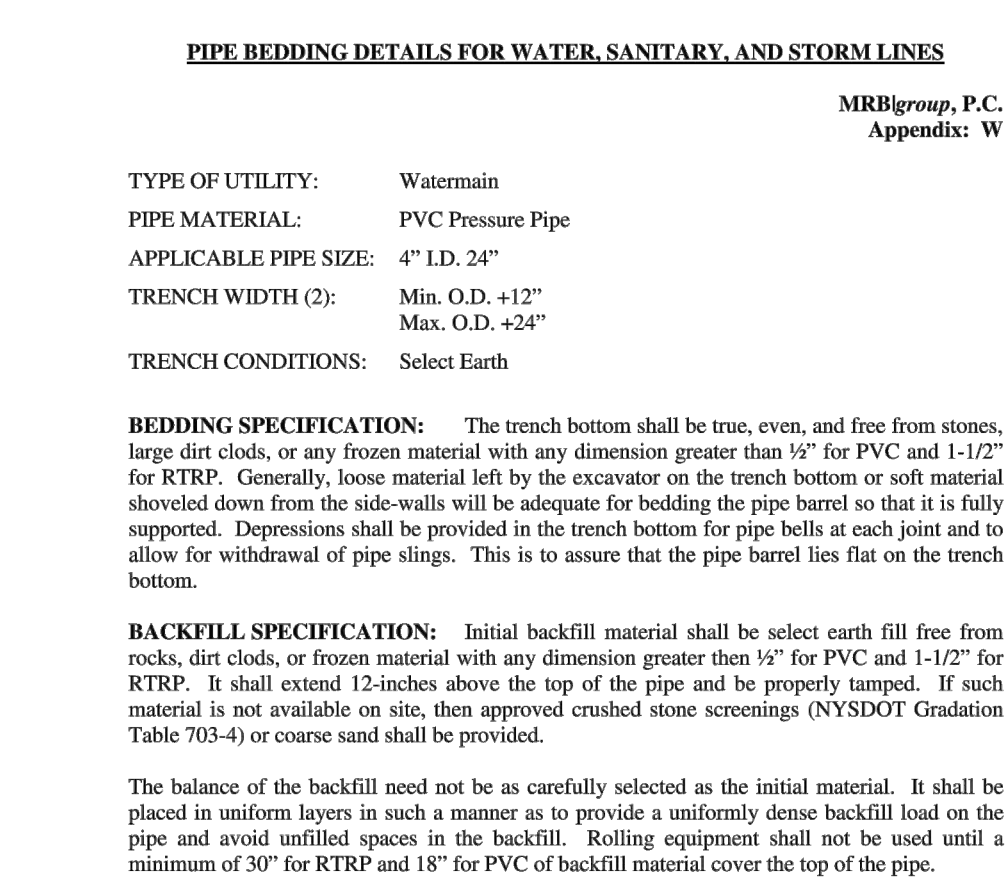
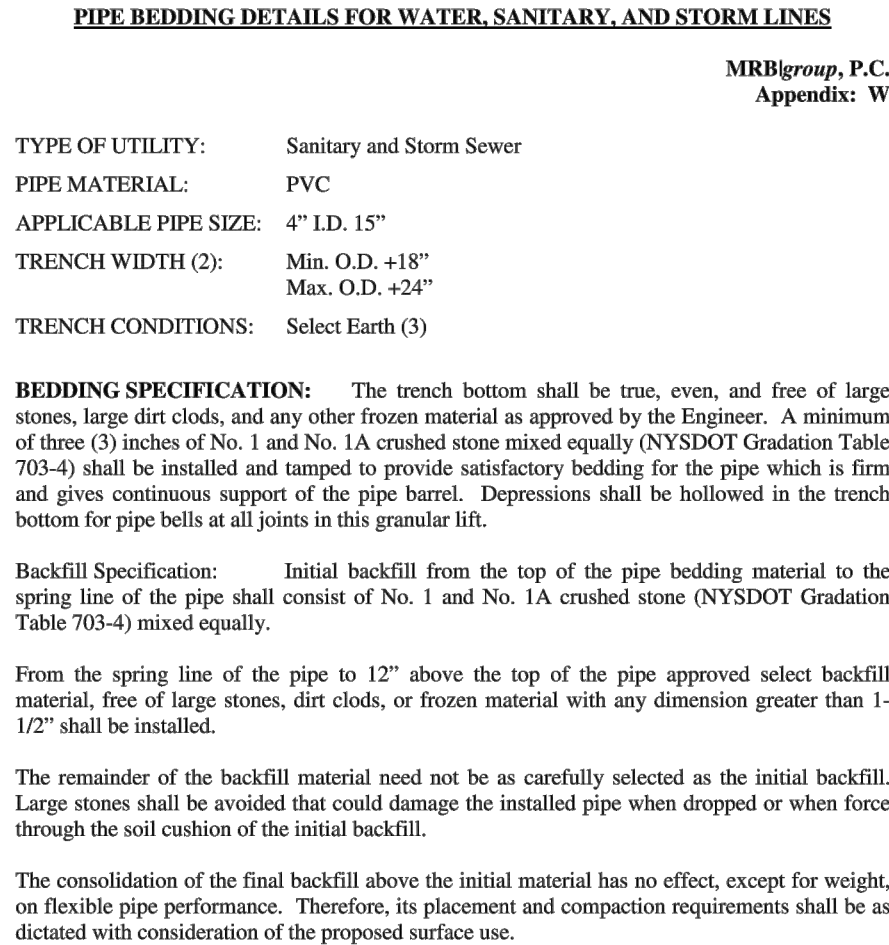
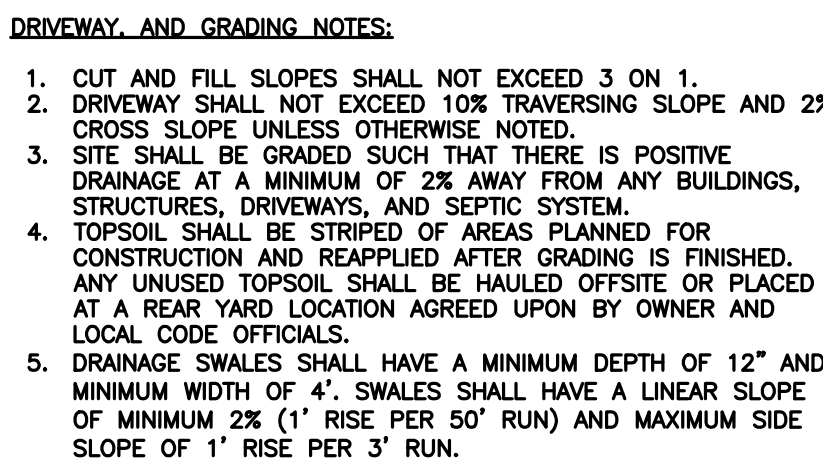
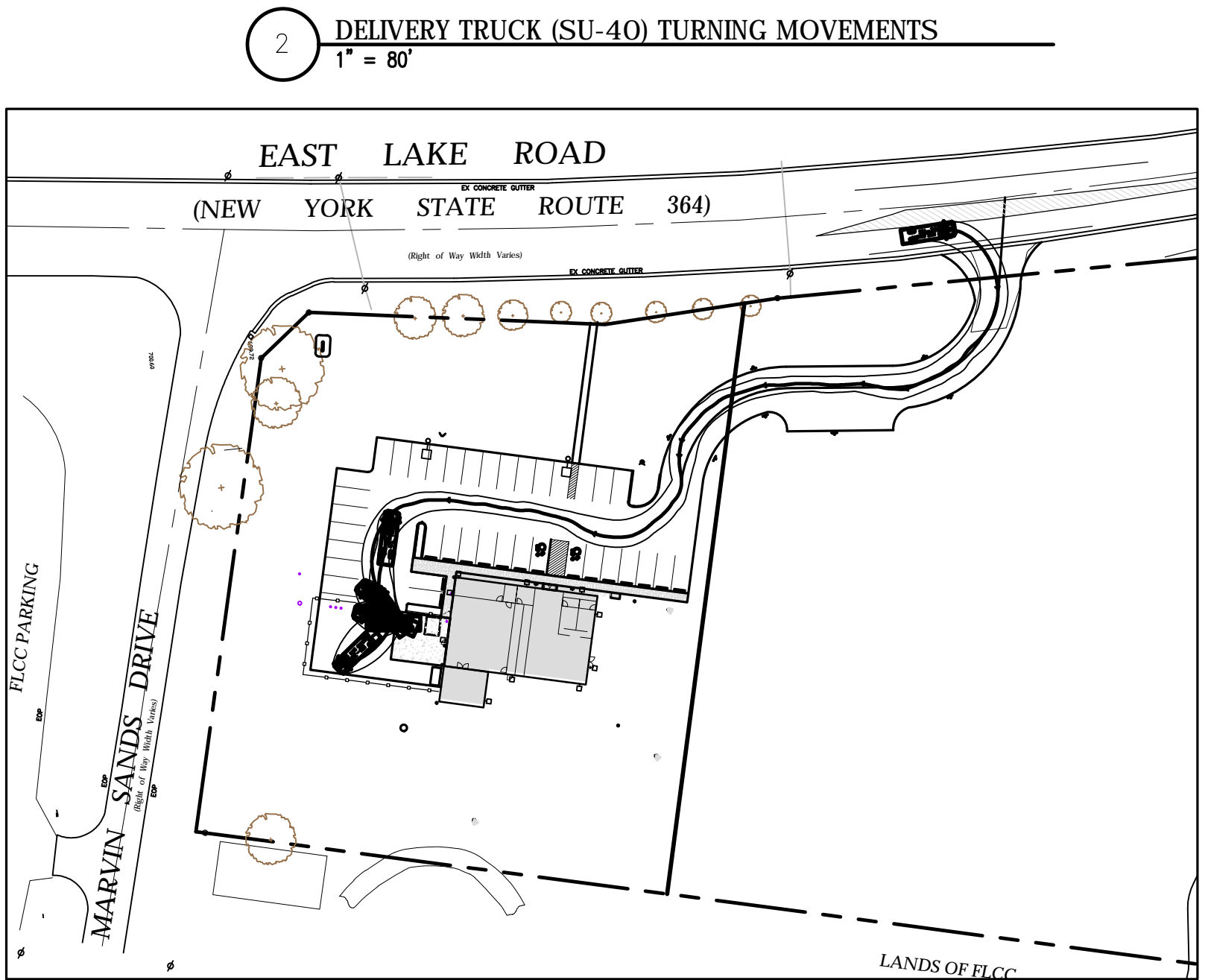
1. ALL EXTERIOR LIGHTING SHALL BE DARK SKY COMPLIANT W/ CUT-TO PROHIBIT SHEDDING OF LIGHT ON TO OTHER PROPERTIES.
2. THE CONSTRUCTION SITE IS NOT WITHIN 100' OF A WETLAND AS DELINEATED BY NYS DEC. THERE ARE NOT NYS DEC DELINEATED OR APPARENT WETLANDS ON THE PROPERTY AS SHOWN.
3. THE CONSTRUCTION SITE IS NOT WITHIN A 100 YEAR FLOODPLAIN AS DELINEATED BY FEMA.
4. WATER & SEWER: TOWN OF CANANDAIGUA WATER & CANANDAIGUA LAKE COUNTY SEWER DISTRICT
5. TOPOGRAPHIC SURVEY OF THE SITE WAS PROVIDED BY MARKS ENGINEERING, P.C. ON 01/25/2018.
6. ELEVATIONS ARE BASED ON NAVD 83 DATUM AND COORDINATE SYSTEM IS BASED ON NAD 83 DATUM.

9. MAP OF SURVEY PREPARED FOR SARAH-FRANK, LLC BY YEARS
BOUNDARY DATED DECEMBER 28, 2017 BEING FILE NO. YB5691.

1. INSTALL TEMPORARY EROSION CONTROL MEASURES INCLUDING BUT NOT LIMITED TO: SILT FENCE, STABILIZED ENTRANCES, ETC.
2. THE CONTRACTOR SHALL SELECTIVELY REMOVE VEGETATION AND ROOTS AS REQUIRED.
3. PLACE SILT FENCE FOR STOCKPILE AREA
4. STRIP TOPSOIL.
5. CONSTRUCT BUILDING AND INSTALL UTILITIES
6. MAINTAIN EROSION CONTROL PRACTICES AS NECESSARY; IF ADDITIONAL MEASURE ARE REQUIRED, THESE SHALL BE PROVIDED AT THE EXPENSE OF THE OWNER OR CONTRACTOR.
7. IN THE EVENT THERE IS A SEDIMENT DISCHARGE OR FAILURE THE CONTRACTOR OR OWNER SHALL BE RESPONSIBLE FOR RESTORATION.
8. FINAL GRADE SEED AND MULCH DISTURBED AREAS AS SOON AS POSSIBLE.
9. INSTALL DRY SWALE AFTER AREAS CONTRIBUTING DISTURBED AREAS STABILIZED.
10. REMOVE TEMPORARY EROSION CONTROLS AFTER AREAS ARE STABILIZED WITH VEGETATION, STONE OR ASPHALT.

1. NO PHOSPHOROUS SHALL BE USED AT PLANTING TIME FOR FERTILIZER, SOIL AUGMENTATION, ETC. UNLESS SOIL TESTS BY A HORTICULTURAL LABORATORY SPECIFICALLY INDICATE REQUIREMENTS FOR PLANT GROWTH.
2. IF PHOSPHORUS IS REQUIRED IT SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVELS AND FOLLOWING NYSDEC GUIDELINES.





TOWN SPECIFICATIONS:

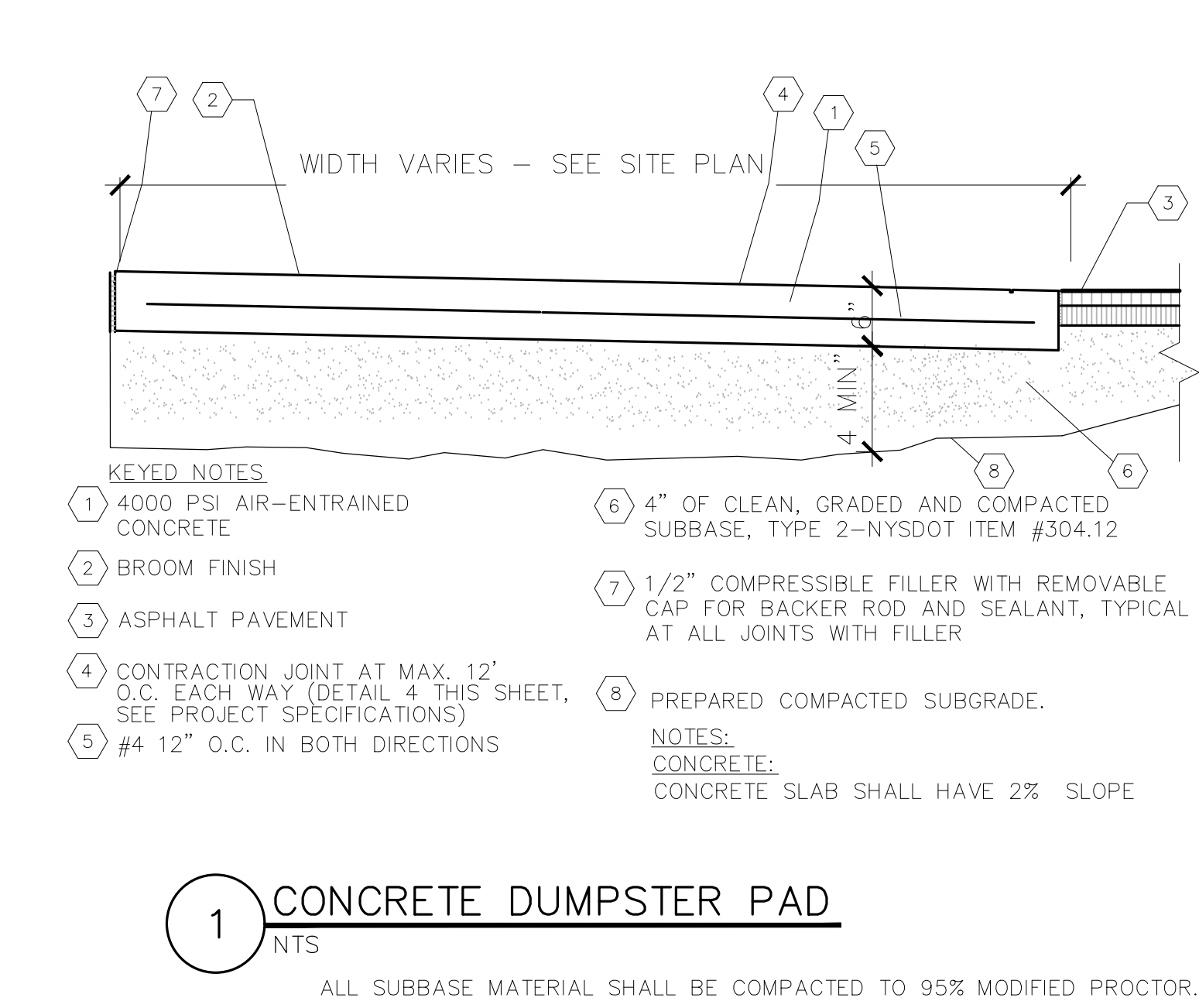
- 3.3 STORM DRAINS
- a) REINFORCED CONCRETE PIPE (RCP) SHALL BE SUPPLIED IN CONFORMANCE WITH ASTM C-76 CLASS II. JOINTS SHALL BE OF THE BELL AND SPIGOT TYPE WITH COMPRESSION TYPE JOINT ASTM C-443
 - b) POLYVINYL CHLORIDE (PVC) PIPE SHALL MEET THE REQUIREMENTS OF ASTM D-3034 OR ASTM F-679, MINIMUM WALL THICKNESS SDR-35 WITH ELASTOMERIC GASKET JOINT, ASTM D-3212 OR ASTM F-794 FOR RIBBED GRAVITY PIPE. PVC PIPE SHALL NOT BE USED AS DRIVEWAY CULVERTS.
 - c) HIGH DENSITY POLYETHYLENE (HDPE) PIPES SHALL BE SMOOTH LINED (SMOOTH BORE) AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM F-405 OR ASTM F667
 - d) STORM LATERALS
 - i) PVC CONFORMING TO ASTM D-3034, MINIMUM 4 INCHES IN DIAMETER WITH FABRICATED TEES AND WYES.
 - ii) HDPE SHALL CONFORM TO ASTM F-405 WITH FABRICATED TEES AND WYES
 - e) CATCH BASIN LEADS SHALL BE A MINIMUM OF 12 INCHES IN DIAMETER. ACCEPTABLE MATERIALS ARE:
 - i) REINFORCED CONCRETE PIPE (RCP).
 - ii) POLYVINYL CHLORIDE PIPE (PVC).
 - iii) HIGH DENSITY POLYETHYLENE PIPE (HDPE).

- 3.4 MANHOLES
- a) MANHOLES
- i) PRECAST REINFORCED CONCRETE SECTIONS SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM SPECIFICATIONS C-478. RISER SECTIONS SHALL HAVE TONGUE AND GROOVE ENDS AND SUPER "O" JOINTS AND GASKETS CONFORMING TO ASTM C-443. MANHOLE BASES MAY BE PRE-FORMED OR POURED IN THE FIELD. ROOF SLABS SHALL BE PRECAST STRUCTURAL CONCRETE, REINFORCED FOR H-20 AND 30 PERCENT IMPACT LOADING. A 24 INCH DIAMETER HOLE SHALL BE ECCENTRICALLY LOCATED IN THE ROOF SLAB IN PLACE OF PREFORMED OPENINGS IN BASE SECTIONS. FLEXIBLE MANHOLE SLEEVES MAY BE CAST DIRECTLY INTO THE BASE WALLS MAY BE USED WITH COMPATIBLE PIPE MATERIAL.
 - ii) ALL MANHOLES SHALL BE SEALED INSIDE AND OUTSIDE COMPLETELY WITH TWO COATS OF HEAVY-DUTY WATER REPELLENT PROTECTIVE COATING WHICH COMPLIES WITH ASTM SPECIFICATION D-450, TYPE B.
 - iii) MANHOLES CONSTRUCTED OF OTHER MATERIALS SHALL BE CONSIDERED FOR APPROVAL FOLLOWING A REVIEW OF SAID MANHOLE CONSTRUCTION. IN SPECIFYING THESE MANHOLES, THE DEVELOPER'S ENGINEER SHALL SUBMIT ADEQUATE DESIGN DATA AND/OR SHOP DRAWINGS TO SUBSTANTIATE THE MATERIALS.
 - iv) SEE APPENDIX N FOR TYPICAL STORM SEWER MANHOLE AND CATCH BASIN MANHOLE.
 - b) MANHOLE LADDERS AND STEPS
 - i) MANHOLE LADDERS OR STEPS SHALL BE PROVIDED IN ALL SANITARY AND STORM MANHOLES AND SHALL BE CONSTRUCTED OF ONE OF THE FOLLOWING MATERIALS.
 - (1) NON-CORRODIBLE, ALUMINUM MAGNESIUM ALLOY LADDERS, WITH INTERMEDIATE SUPPORTS AT 5-FOOT INTERVALS.
 - (2) FORGED ALUMINUM WITH DROP FRONT DESIGN AND GROOVE TREAD SURFACE.
 - (3) CAST IRON WITH ASPHALT COATING
 - (4) REINFORCED PLASTIC STEPS
 - ii) STEPS SHALL BE CAST INTO WALLS OF RISER SECTIONS AND SHALL BE ALIGNED IN EACH SECTION TO FORM A CONTINUOUS LADDER WITH RUNGS EQUALLY SPACED VERTICALLY IN THE ASSEMBLED MANHOLE AT A DISTANCE OF 12 INCHES APART.
 - c) FRAMES AND COVERS
 - i) STORM MANHOLE FRAMES AND COVERS SHALL BE SYRACUSE CASTING 1032, STAMPED STORM, WITH A VENTED COVER OR OTHER APPROVED EQUAL. THE INSIDE DIAMETER FOR CLEARANCE SHALL BE A MINIMUM OF 24 INCHES.
 - ii) CATCHBASIN FRAMES AND GRATES SHALL BE RECTANGULAR, GALVANIZED (ASTM A-123) AND SIZED TO FIT GUTTER INLETS OR FIELD INLETS. THE GUTTER GRATES SHALL BE NYSOT SIZE NO. 1 TO FIT THE CATCH BASIN INSIDE DIMENSIONS OF 18" X 24". THE MINIMUM FIELD INLET SHALL BE NYSOT SIZE NO. 9 TO FIT A FIELD INLET OF 24" X 24" INSIDE DIMENSION.
 - iii) CATCHBASIN MANHOLES SHALL BE SET TO ALLOW A NYSOT SIZE NO. 1 GRATE TO BE INSTALLED.
 - iv) FRAMES AND GRATES SHALL BE AS SPECIFIED IN NYSOT SPECIFICATIONS DRAWING 655-6R1 AND SECTION 655 OF THE NYSOT STANDARD SPECIFICATION MANUAL. ALL GRATES SHALL BE BOLTED TO FRAMES
 - v) CATCHBASINS INSTALLED WITHIN THE CANANDAIGUA LAKE WATERSHED SHALL BE IN STALLED WITH A PERMANENT METALLIC MARKER INDICATING "NO DUMPING - DRAINS TO LAKE".

- 3.5 WATER MAINS
- a) DUCTILE IRON (DIP) PIPE SHALL CONFORM TO AWWA C-151/A21.51 AND THE MINIMUM ALLOWABLE THICKNESS SHALL BE CLASS 52. PIPE SHALL BE CEMENT LINED IN ACCORDANCE WITH AWWA C-104/A21.4 AND SHALL HAVE RUBBER GASKET PUSH-ON JOINT IN ACCORDANCE WITH AWWA C-111/A21.11. IF SOIL CONDITIONS WARRANT, POLYETHYLENE WRAP SHALL BE REQUIRED.
 - b) POLYVINYL CHLORIDE (PVC) PIPE SHALL MEET SPECIFICATIONS OF AWWA C-900 MADE FROM PVC COMPOUND 12454-B (ASTM D1784) WITH GASKET JOINTS MEETING ASTM D3139
 - c) MOLECULARLY ORIENTED POLYVINYL CHLORIDE (PVCO) PIPE PVCO SHALL MEET SPECIFICATIONS OF AWWA C-909 MADE FROM PVC COMPOUND 12454-B (ASTM D1784) WITH GASKET JOINTS MEETING ASTM D3139
 - d) HIGH-DENSITY POLYETHYLENE (HDPE) PIPE SHALL MEET SPECIFICATIONS OF AWWA C-906 MADE FROM COMPOUND 345464-C (ASTM D3350) WITH FITTINGS TO BE USED WILL BE IN ACCORDANCE WITH THE MATERIAL'S SPECIFICATION.
 - e) FITTINGS.
 - i) DUCTILE IRON SHALL MEET AWWA C-153/A21.53 SPECIFICATIONS, MINIMUM CLASS 350, WITH MECHANICAL OR PUSH-ON JOINT, EXCEPT FOR HYDRANT BRANCHES WHICH SHALL BE MECHANICAL JOINT.
 - ii) FITTINGS SHALL BE CEMENT LINED IN ACCORDANCE WITH AWWA C-104/A21.4.
 - iii) BOLTS AND NUTS SHALL BE HIGH-STRENGTH, LOW ALLOW STEEL.
 - iv) ALL JOINTS SHALL CONFORM TO THE REQUIREMENTS OF AWWA C-111/A21.11.
 - f) APPURTENANCES.
 - i) DETECTOR TAPE SHALL BE BLUE IN COLOR, SIX INCHES (6") WIDE DETECTABLE MARKER TAPE AS MANUFACTURED BY TERRA TAPE OR EQUAL, SHALL BE INSTALLED ALONG MAIN LINE WATERMAIN (12" ABOVE TOP OF PIPE).
 - ii) TRACER WIRE SHALL BE SOLID COPPER WIRE (#8 GAUGE MINIMUM) INSULATED WITH HIGH DENSITY POLYETHYLENE PER ASTM D-1248 ATTACHED TO THE PIPE AT 5 FOOT INTERVALS WITH PLASTIC TIES WITH A MINIMUM OF 150# TENSILE STRENGTH. WIRE SHALL BE ATTACHED TO ALL CAST FITTINGS, HYDRANTS AND VALVE BOXES TO MAKE A CONTINUOUS TRACEABLE SYSTEM.
- 3.8 GATE VALVE AND BOX
- a) GATE VALVES SHALL CONFORM TO AWWA C-509 OR LATEST REVISION AND SHALL HAVE NON-RISING STEMS; "O" RING PACKING, AND OPEN LEFT. THEY SHALL BE OF THE 350 PSI TEST CLASS WITH A MINIMUM WORKING PRESSURE OF 250 PSI. VALVES SHALL BE MANUFACTURED BY MUELLER CO., MODEL 2360, OR TOWN APPROVED EQUAL, WITH MJ ENDS, A 2" SQUARE OPERATING NUT.
 - b) VALVE BOXES SHALL BE BIBBY-STE-CROIX MODEL NUMBER VB3000 SERIES, OR APPROVED EQUAL, TWO-PIECE SCREW-TYPE, CAST-IRON CONSTRUCTION, VALVE BOX, WITH A 5-1/4 INCH INSIDE DIAMETER AND COVERS MARKED "WATER". IF THE VALVES ARE BURIED DEEP THEY MUST HAVE A VALVE BOX EXTENSION.

- 3.9 TAPPING SLEEVE AND VALVE
- a) ALL VALVES SHALL HAVE MECHANICAL JOINT ENDS AND BE FURNISHED WITH SUFFICIENT QUANTITIES OF ACCESSORIES. FOR CAST/DUCTILE IRON PIPE AND PVC PIPE TS&V SHALL BE MUELLER H-615 SLEEVE WITH A T-2360-16 TAPPING VALVE, OR TOWN APPROVED EQUAL. FOR AC PIPE TS&V SHALL BE MUELLER H-619 WITH T-2360-16 TAPPING VALVE OR TOWN APPROVED EQUAL.
- 3.10 ANCHORING FITTINGS
- a) ANCHORING PIPE IN ACCORDANCE WITH ANSI-A21.4, OR LATEST REVISION, SHALL BE EMPLOYED TO ANCHOR ALL HYDRANTS TO GATE VALVES. THE ANCHORING PIPE SHALL BE COAL TAR COATED, CEMENT LINED AND PROVIDED WITH A ROTATING GLAND. THERE SHOULD BE A MINIMUM 18 INCHES BETWEEN HYDRANT AND GATE VALVE. THESE ANCHORING PIPES SHALL BE MANUFACTURED BY THE TYLER COMPANY, MODEL 5-198, OR CLOW, MODEL F-1216, OR APPROVED EQUAL.

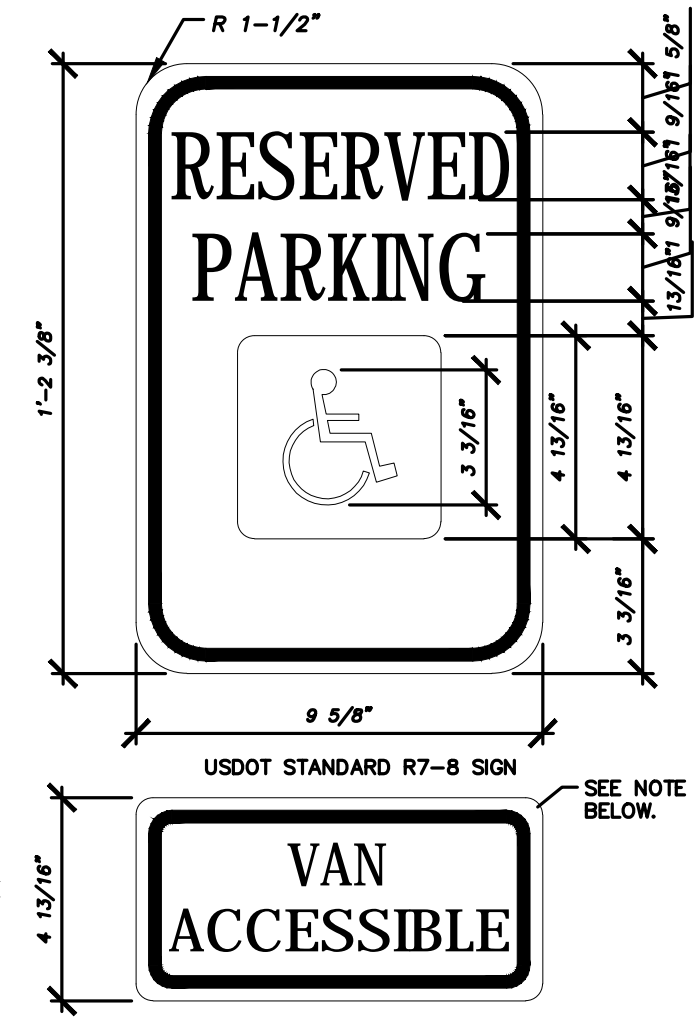
- 3.14 CONCRETE GUTTERS AND SIDEWALKS
- a) CONCRETE:
 - i) SHALL BE A MINIMUM OF 4000 PSI (28-DAY STRENGTH) CLASS A CONCRETE CONFORMING TO NYSOT SPECIFICATION SECTION 501.
 - ii) AIR ENTRAINING ADMIXTURE CONFORMING TO ASTM SPECIFICATION C-260.
 - iii) EXPANSION JOINTS SHALL CONFORM TO NYSOT SPECIFICATION 705-07.
- 4.7 BACKFILLING AND FINISHING
- a) GENERAL. TRENCHES SHALL BE IMMEDIATELY BACKFILLED FOLLOWING THE INSTALLATION OF UTILITIES UNLESS SPECIFICALLY CHANGED IN WRITING BY THE DESIGN ENGINEER AND APPROVED BY THE TOWN. THE ROADWAYS AND SIDEWALKS SHALL BE LEFT UNOBSTRUCTED, WITH THEIR SURFACE IN A SAFE PASSABLE CONDITION. THE TRENCH SHALL BE TAMPED SUFFICIENTLY TO PREVENT SETTLEMENT OF OR DAMAGE TO EXISTING OR NEWLY INSTALLED STRUCTURES
 - b) BACKFILL SHALL BE COMPLETED IMMEDIATELY AFTER APPROVAL. ONLY SELECT EARTH MATERIAL SHALL BE DEPOSITED AROUND THE UTILITY AND APPURTENANCES COVERING THEM BY HAND FOR A DEPTH OF AT LEAST 12 INCHES ABOVE THE PIPE. THIS EARTH SHALL BE THOROUGHLY TAMPED AS IT IS BEING PLACED SO AS TO FILL THE LOWER PORTION OF THE TRENCH THOROUGHLY TO GIVE UTILITIES A CLASS B BED FOR THEIR ENTIRE LENGTH.
 - c) RESTRICTIONS AS TO MATERIALS. NO ROCK OR FROZEN MATERIALS SHALL BE PLACED IN TRENCHES WITHIN EXISTING OR PROPOSED STREETS. SUCH MATERIAL MAY BE USED IN FIELDS WHERE IMMEDIATE COMPACTION IS NOT NECESSARY AND AT LEAST 2 FEET OF SELECT FILL HAS BEEN PLACED OVER THE PIPE.
 - d) BACKFILLING PAVEMENT CROSSINGS
 - i) ALL UTILITY LINES OR LATERALS THAT CROSS EXISTING OR PROPOSED STREETS SHALL BE BACKFILLED WITH CRUSHER RUN STONE CONFORMING TO NYSOT SPECIFICATION SECTION 304-03 GRADATION TYPE 2.
 - ii) MATERIAL SHALL BE COMPACTED IN LIFTS OF 1 FOOT MAXIMUM TO THE ELEVATION OF THE ROAD SUBGRADE. FROM THERE THE BACKFILL SHALL CONFORM TO THE MATERIAL SPECIFICATIONS FOR INDIVIDUAL ROAD SECTIONS.
 - e) CLEANING UP
 - i) AS THE WORK PROGRESSES OR AS DIRECTED BY THE DESIGN ENGINEER, ALL RUBBISH OR REFUSE, UNUSED MATERIALS AND TOOLS, SHALL BE REMOVED AT ONCE FROM ALONG AND NEAR THE TRENCH LINE CONSTRUCTION.
 - ii) ALL ROADWAYS, INTERSECTIONS, GUTTERS, AND SIDEWALKS SHALL BE ROUTINELY CLEANED OF ACCUMULATED DEBRIS, SEDIMENT AND TOOLS THROUGHOUT THE CONSTRUCTION PROCESS.
 - iii) ROUGH CLEAN UP ALONG THE ROUTE SHALL IMMEDIATELY FOLLOW INSTALLATION PROCEDURES. LARGE SPOIL BANKS WILL NOT BE PERMITTED IN DEVELOPED AREAS.
 - iv) FINAL CLEAN UP AND LANDSCAPING SHALL PROCEED IMMEDIATELY AFTER THE INSTALLATION, TESTING AND APPROVAL OF THE FACILITY.
 - v) EROSION CONTROL MEASURES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS AND REMOVED ONLY UPON THE APPROVAL OF THE TOWN.



STANDARD ACCESSIBLE DIMENSIONING

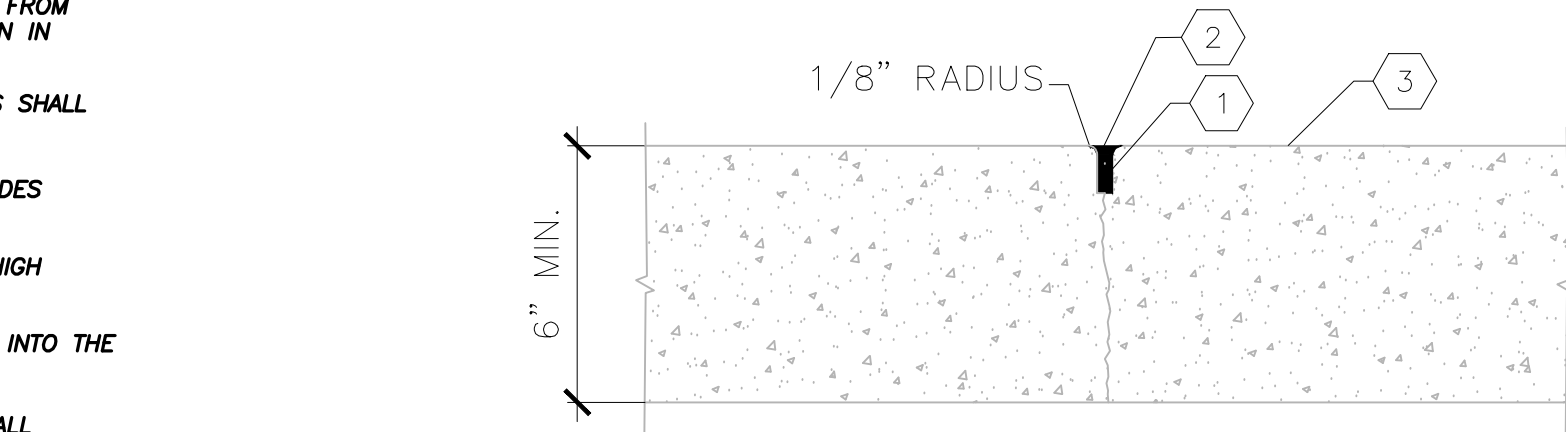
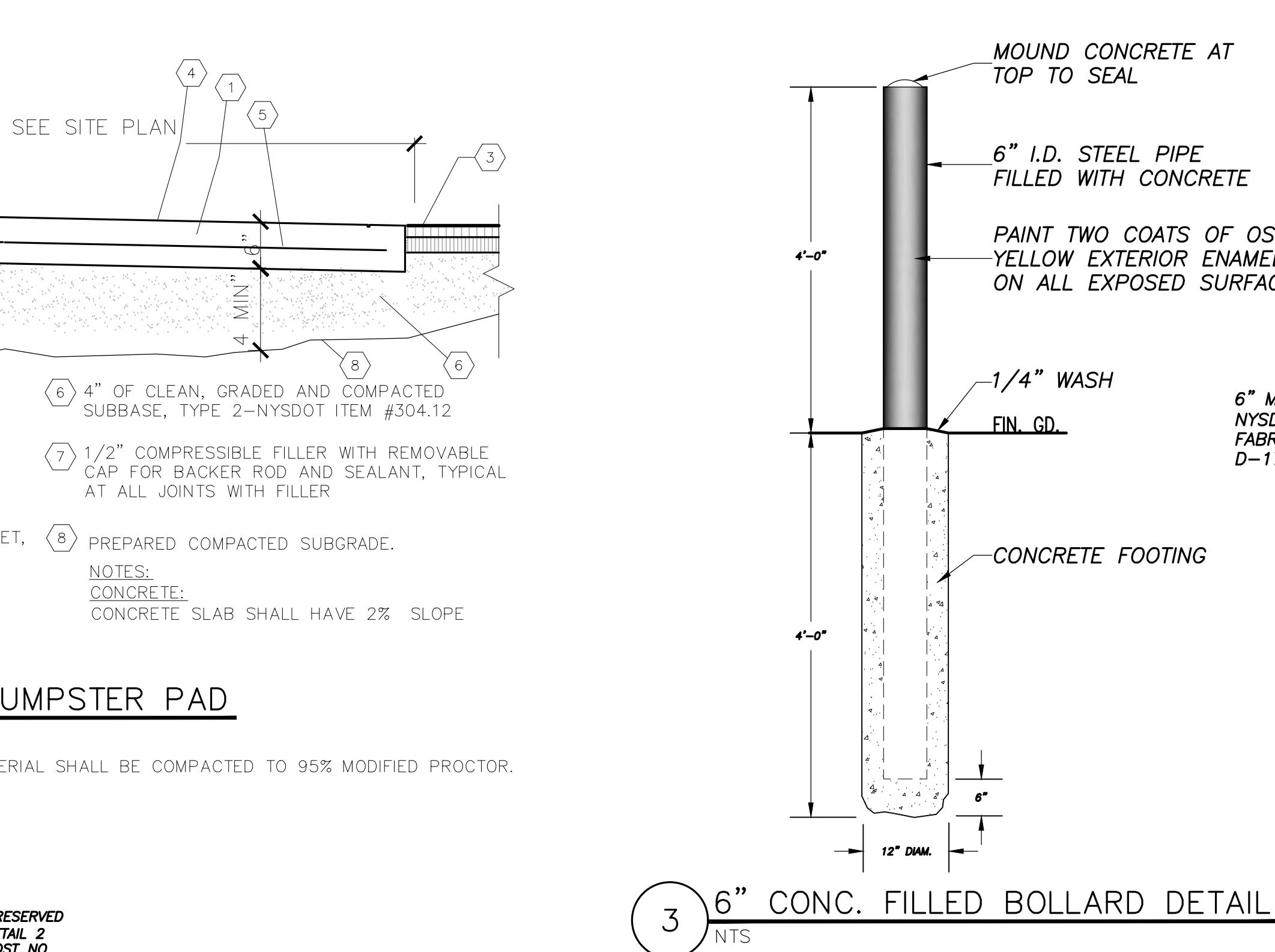
- NOTES:
1. A U.S. DEPARTMENT OF TRANSPORTATION R7-8 (RESERVED PARKING) AND SUPPLEMENTAL SIGNS AS NOTED IN DETAIL 2 THIS SHEET, MUST BE MOUNTED ON A PERMANENT POST NO LOWER THAN FIVE FEET FROM THE PAVEMENT. THE POST MUST BE MOUNTED IN THE CENTER OF THE 8 FOOT WIDE ACCESSIBLE PARKING SPACE, NO MORE THAN 5 FEET FROM THE FRONT OF THE PARKING SPACE. SEE ILLUSTRATION IN DETAIL 2 THIS SHEET.
 2. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH A SLOPE OF 1-1/2% (2% MAXIMUM) (EXAMPLE: 1.92 INCHES MAX. VERTICAL IN 8 FEET HORIZONTAL) OR 1-5/8 IN ALL DIRECTIONS. THIS INCLUDES BOTH "RUNNING SLOPES" AND "CROSS SLOPES."
 3. THE ACCESS AISLE SHALL BE DESIGNATED WITH HIGH QUALITY YELLOW DIAGONAL SURFACE PAINT STRIPING.
 4. RAMPS MUST NOT EXTEND OUT FROM THE CURB INTO THE ACCESS AISLE OF ANY ACCESS PARKING SPACE.
 5. PAINTED HANDICAPPED SYMBOL ON PAVEMENT SHALL CONFORM TO THE U.S. DEPARTMENT OF TRANSPORTATION/FHA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLICATION ENTITLED PAVEMENT MARKINGS MUTCD-6-03, IN ACCORDANCE WITH FIGURE 3B-19, "INTERNATIONAL SYMBOL OF ACCESSIBILITY PARKING SPACE MARKING WITH BLUE BACKGROUND AND WHITE BORDER OPTIONS". THE WHITE BORDER IS DISCRETIONARY AND MAY BE ELIMINATED AT THE CONTRACTOR'S OPTION. THE BLUE BACKGROUND FIELD SHALL BE 6' SQUARE AND THE HANDICAP SYMBOL PROPORTIONAL IN SIZE USING A 3.5" WIDE BRUSH STROKE.

EACH ACCESSIBLE PARKING SPACE IS TO BE A MINIMUM OF 8' WIDE AND HAVE A 96" MINIMUM ACCESS AISLE FOR VANS OR 60" ACCESS AISLE FOR CARS ADJACENT TO THE SPACE. THE ACCESS AISLE MAY BE ON EITHER THE DRIVER'S SIDE OR THE PASSENGER'S SIDE OF THE ACCESSIBLE SPACE. THIS APPLIES TO 45, 60 AND 90 DEGREE PARKING.

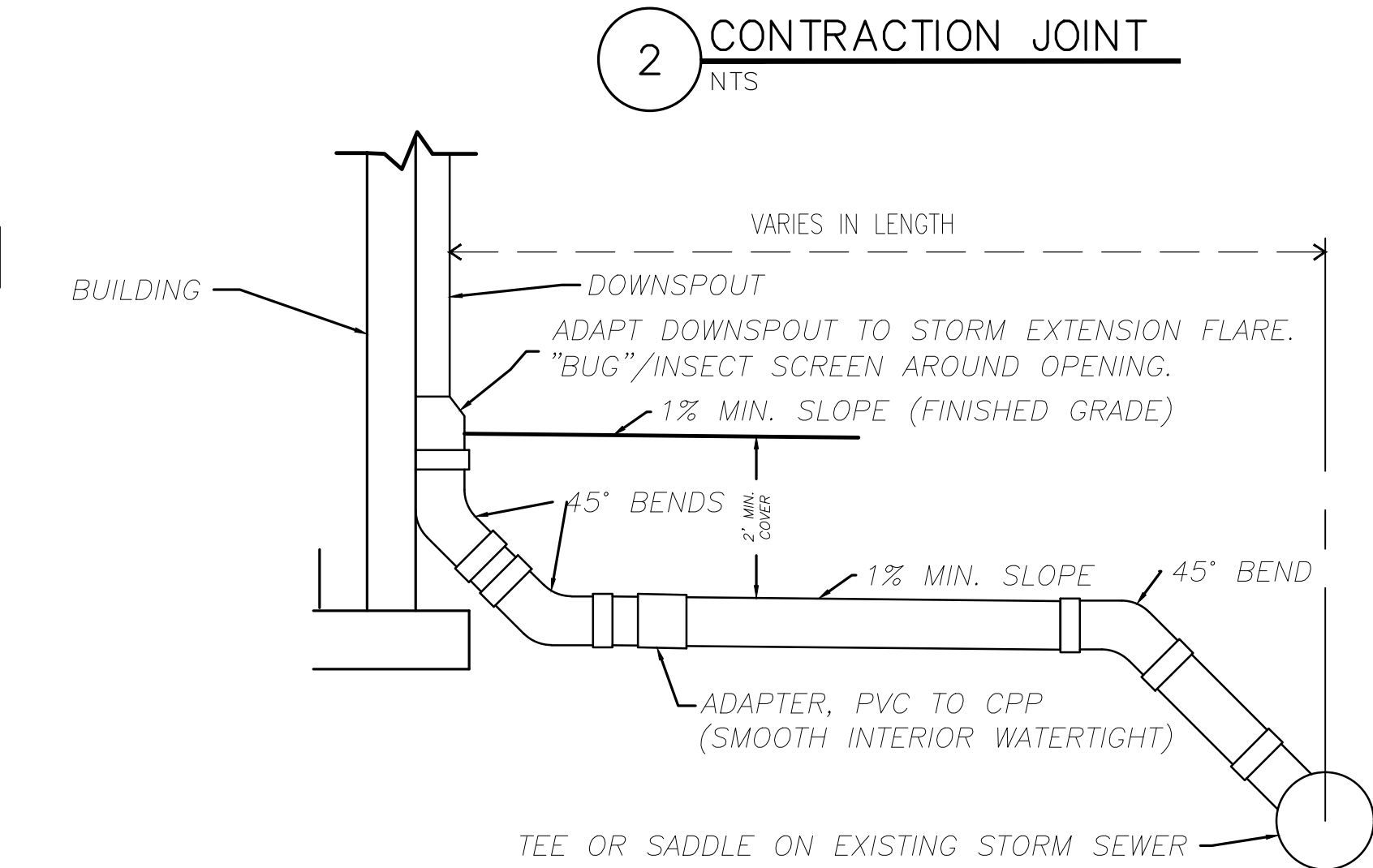


NOTE (R7-8 SIGN) THIS IS A STANDARD SIGN AND MAY BE ORDERED FROM ANY TRAFFIC SIGN SUPPLIER BY NUMBER. THE SIGN MUST BE SUPPLEMENTED WITH A "VAN ACCESSIBLE" SIGN AS APPLICABLE AND/OR AMOUNT OF THE FINE FOR ILLEGALLY PARKING IN THE RESERVED SPACE(S) A MUNICIPALITY MAY IMPOSE. CONFIRM WITH LOCAL REGULATIONS.

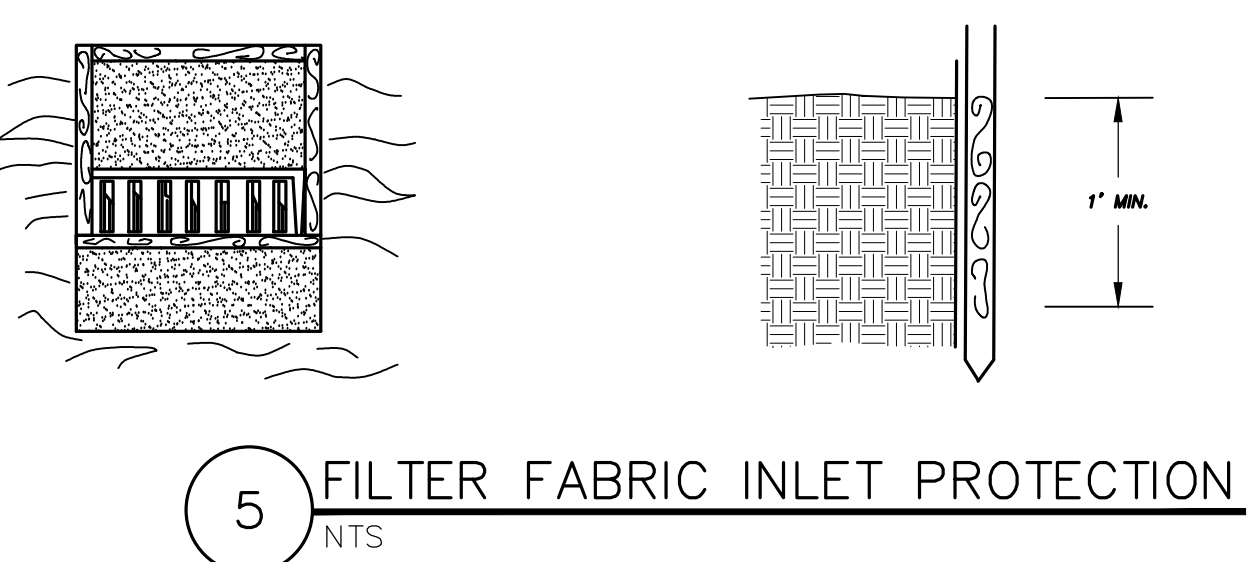
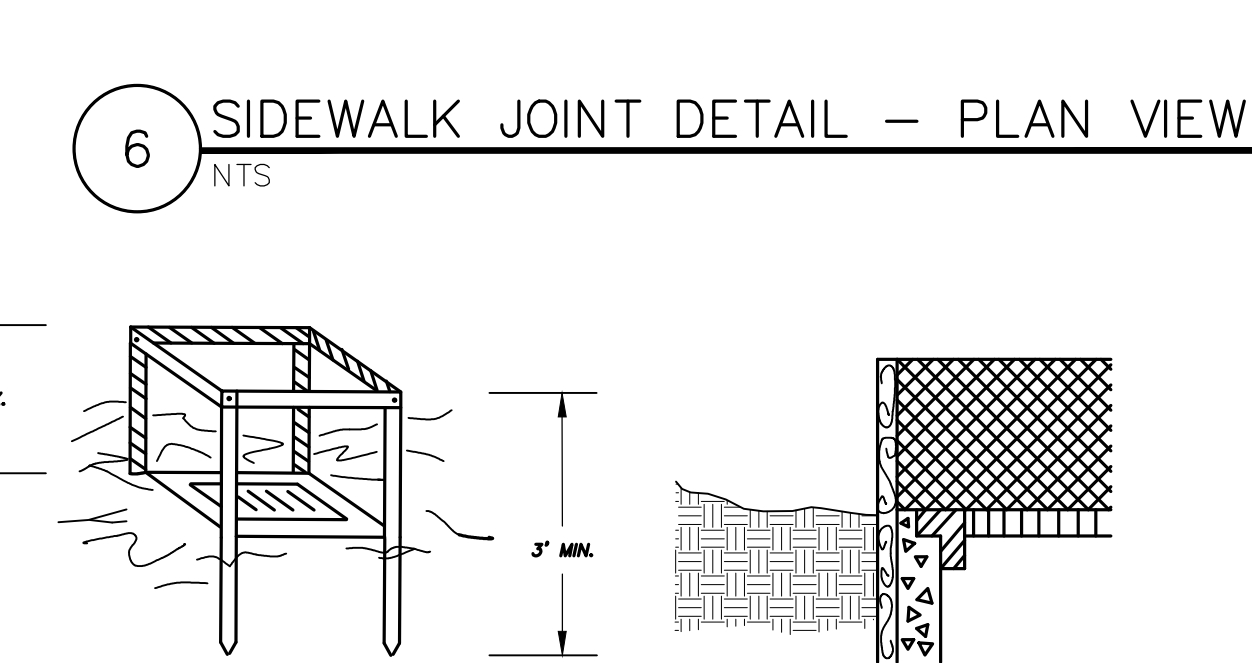
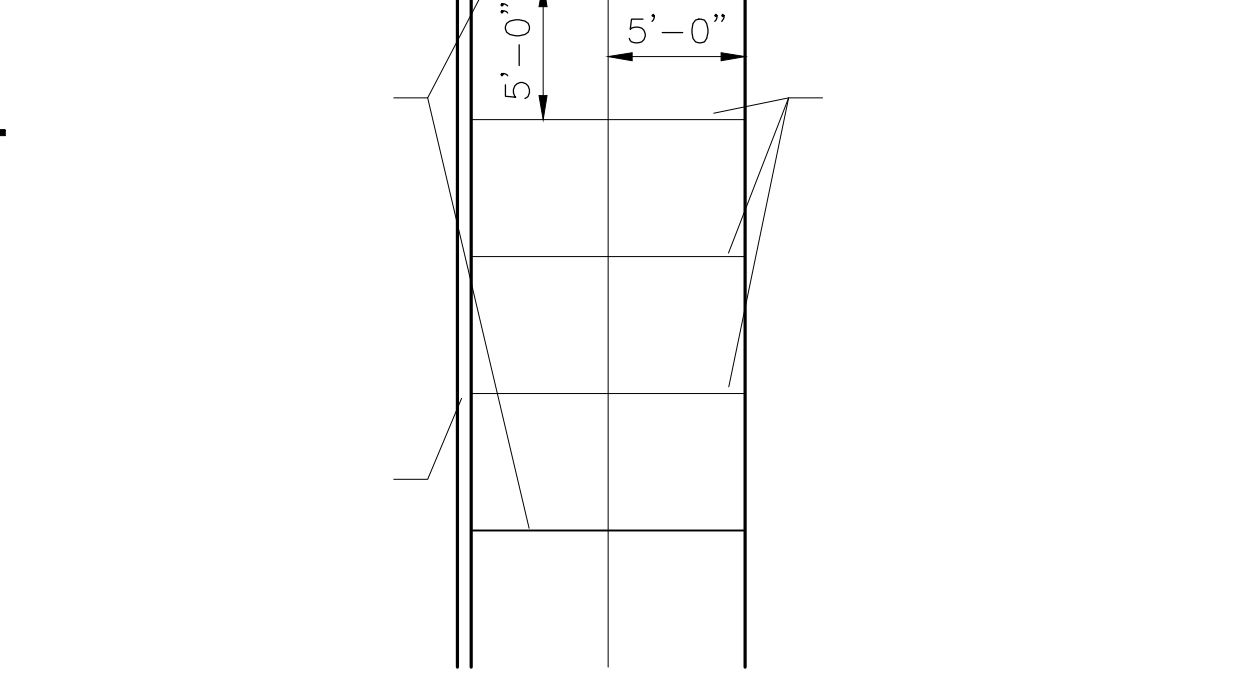
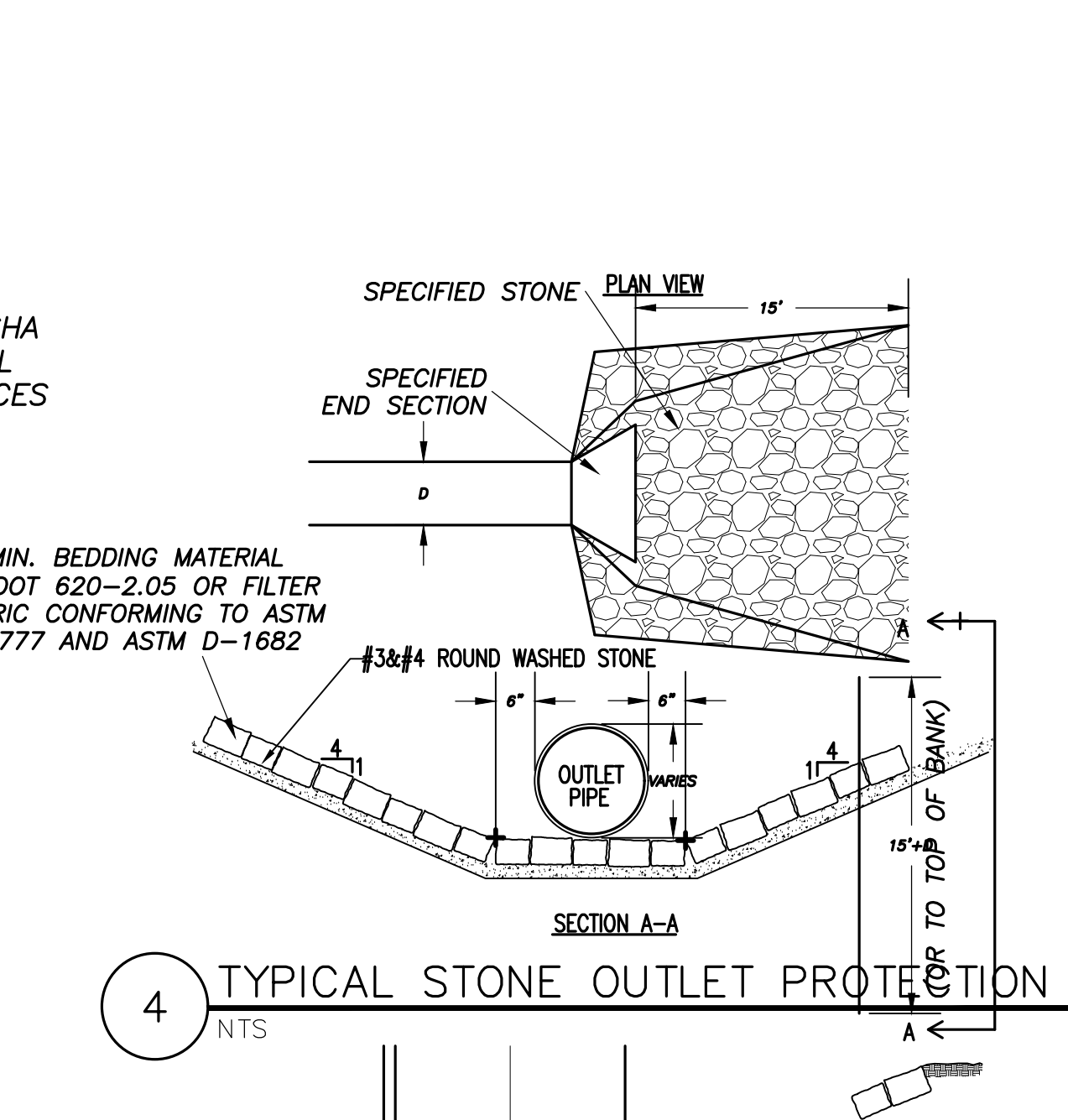
ACCESSIBLE SIGNAGE



- KEYED NOTES
- 1) 1/4" WIDE, 1-1/2 INCH DEEP GROOVE CREATED BY: (1) TEMPORARY EMBEDMENT OF SUITABLE MANDREL (2) INSTALLATION OF A THIN STRIP OF PREMOLDED JOINT FILLER MATERIAL (3) SAWING THE PAVEMENT AFTER THE CONCRETE HAS HARDENED.
 - 2) JOINT SEALER
 - 3) FOR CONTRACTION JOINT SPACING, REFER TO DETAIL 6, THIS SHEET



ROOF DOWNSPOUT CONNECTION



- NOTES
1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT-TERM APPLICATIONS. MANUFACTURED SILT SOCKS MAY ALSO BE PERMITTED.
 2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
 3. STAKE MATERIALS WILL BE STANDARD 2x4 WOOD OR EQUIV. MINIMUM LENGTH OF 3 FEET.
 4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
 5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
 6. A 2x4 WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVERFLOW STABILITY.

MarksEngineering

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CANADAIGUA, NY 14242
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STATE OF NEW YORK
Professional Engineer
No. 12345
Exp. 12/31/2025

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NO.	DATE
1	06/22/18

FINAL SITE PLAN FOR:
STAR CIDER

NEW RESEARCH & TASTING FACILITY
3365 EAST LAKE RD
TOWN OF CANANDAIGUA

COUNTY OF ONTARIO

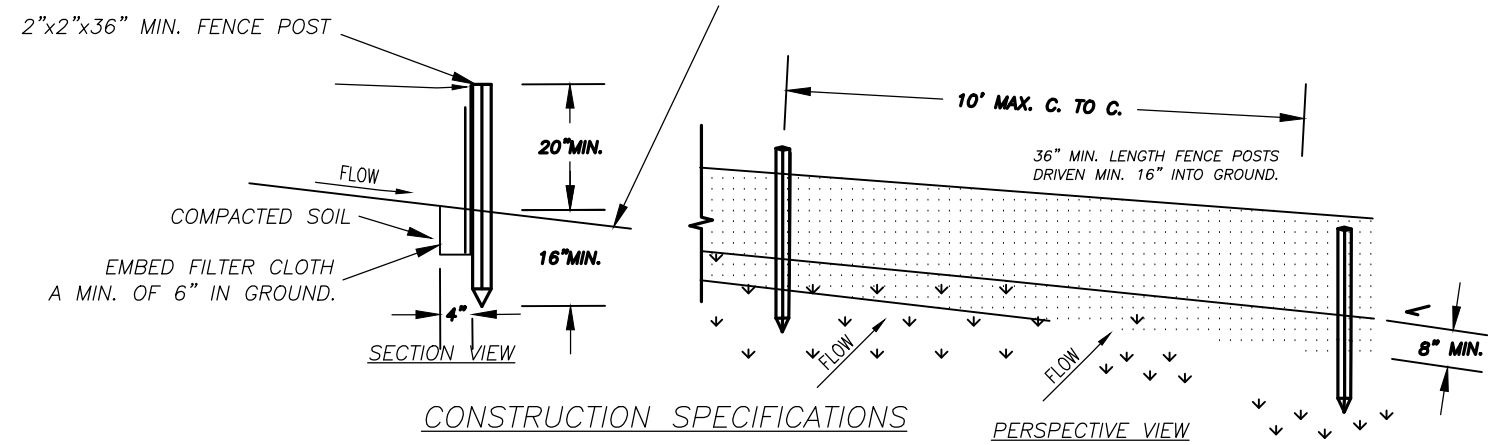
STATE OF NEW YORK

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DETAILS

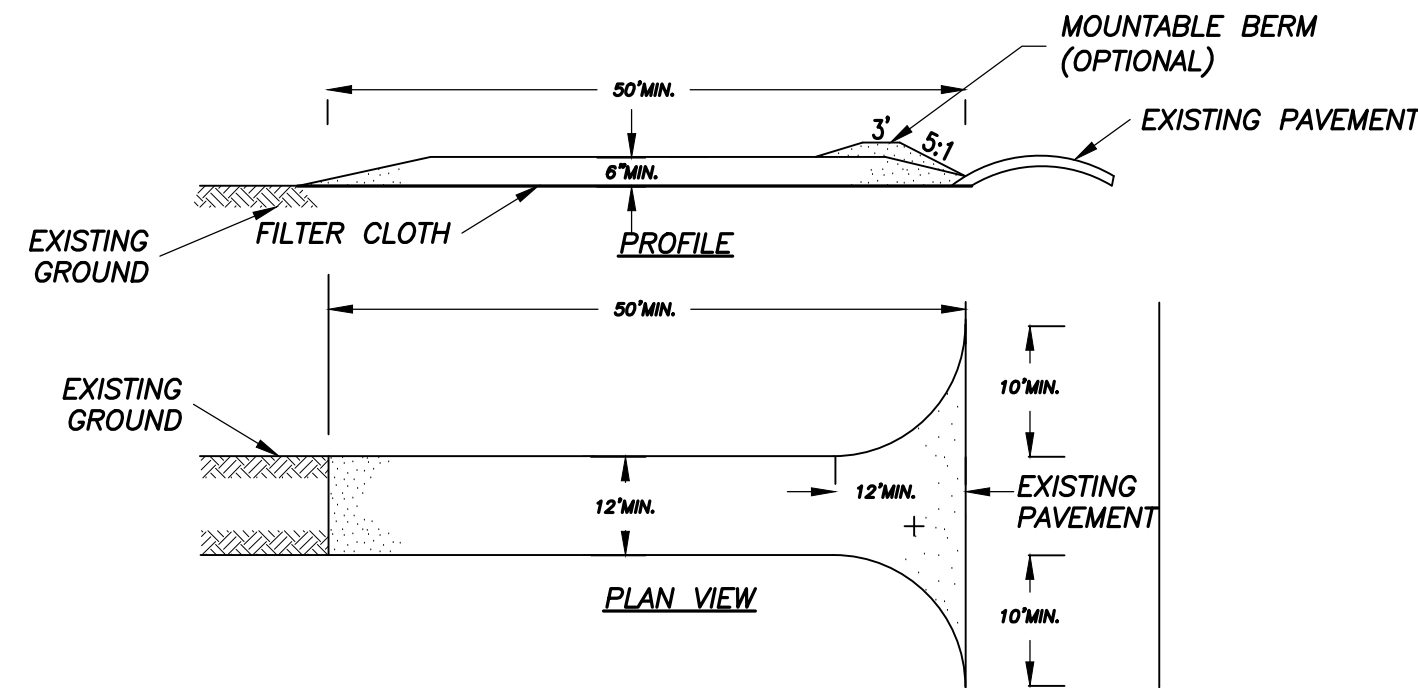
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1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "I" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE TO BE FASTENED SECURELY TO POSTS WITH STAPLES.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIRONMENT, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.

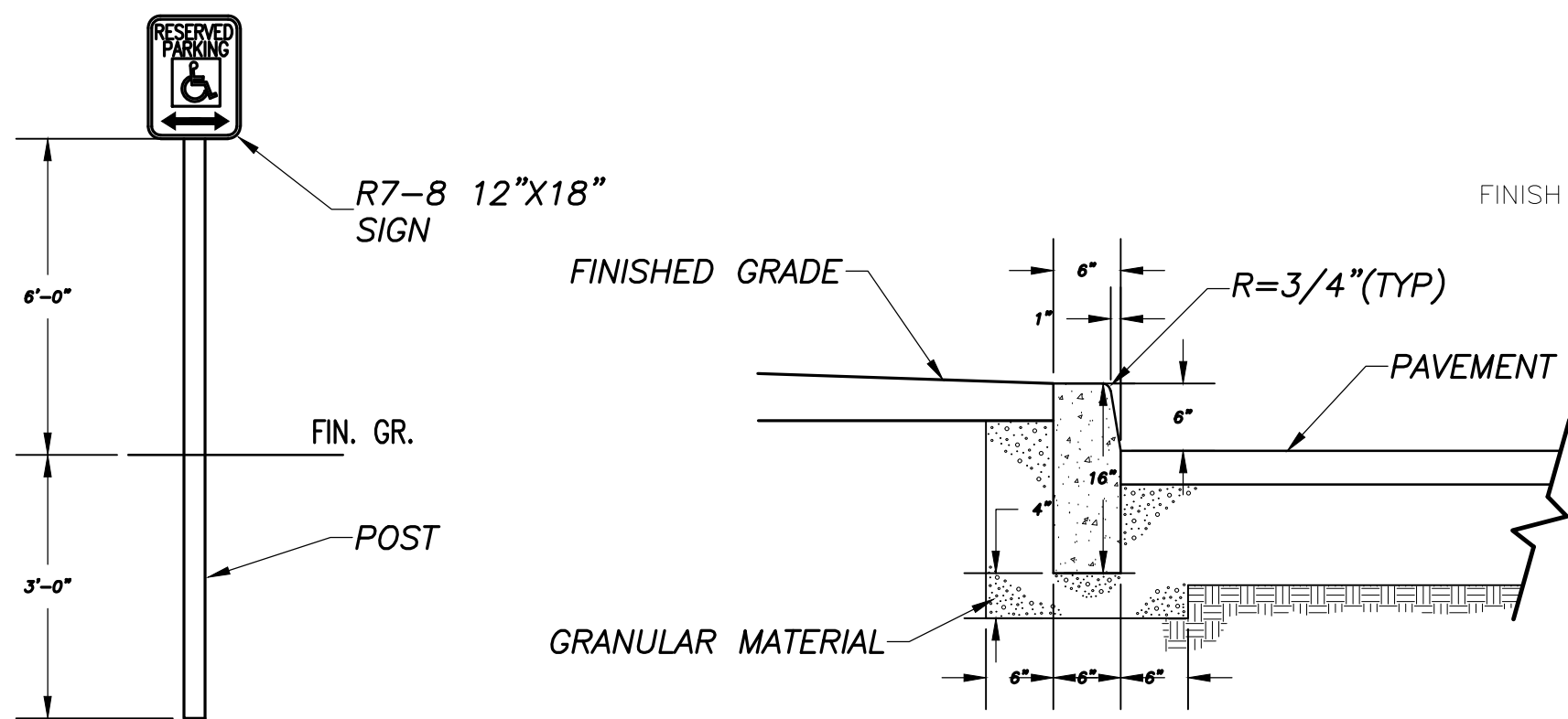
1 SILT FENCE DETAIL
NTS



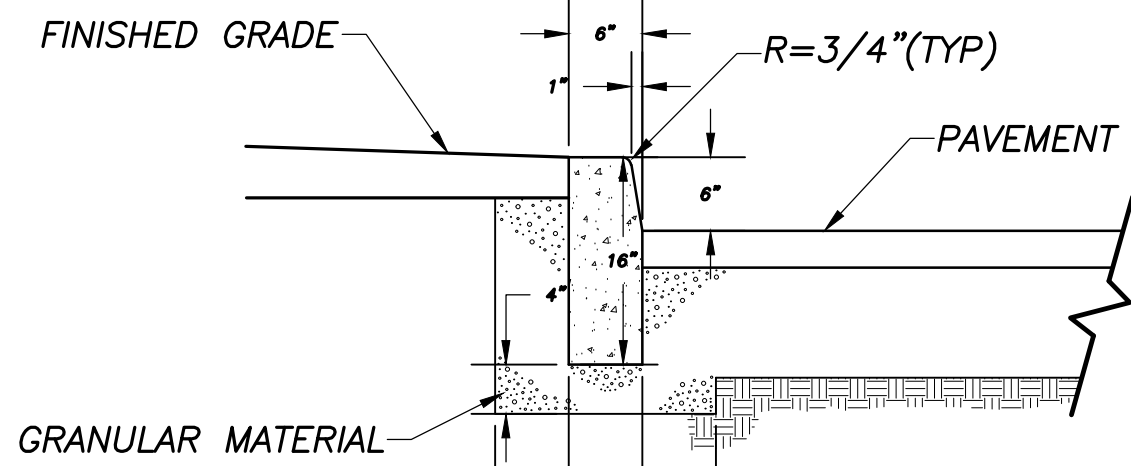
CONSTRUCTION SPECIFICATIONS

1. STONE SIZE – USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH – NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS – NOT LESS THAN SIX (6) INCHES.
4. WIDTH – TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH – WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER – ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

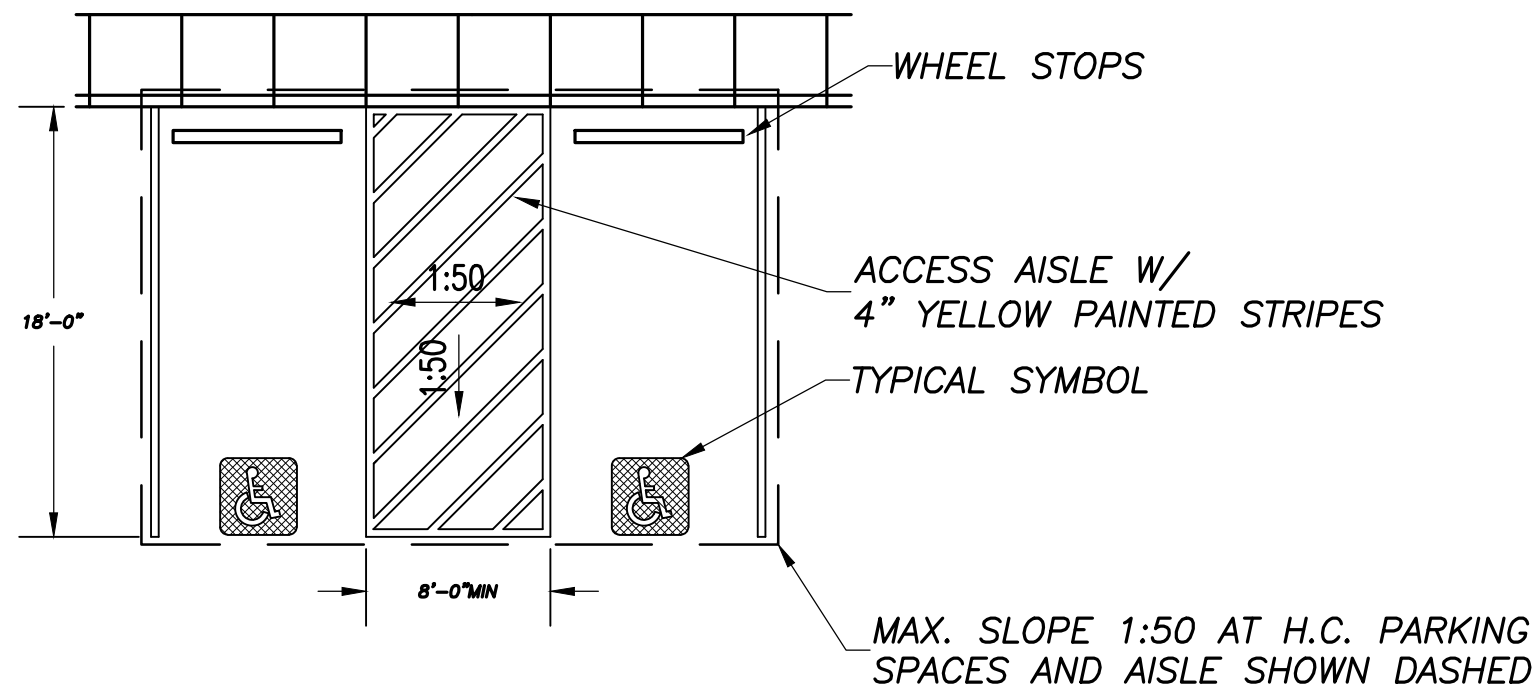
3 STABILIZED CONSTRUCTION ENTRANCE
NTS



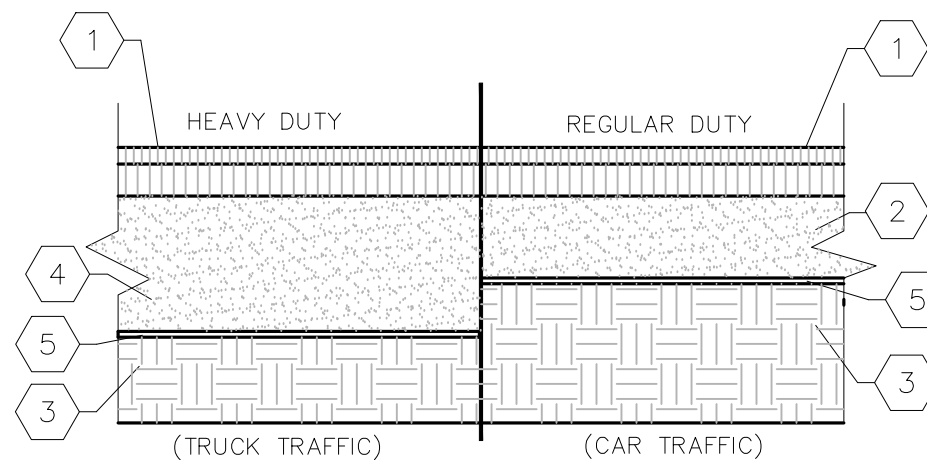
5 DETAIL: SIGN & POST
NTS



6 CONCRETE CURB DETAIL
NTS



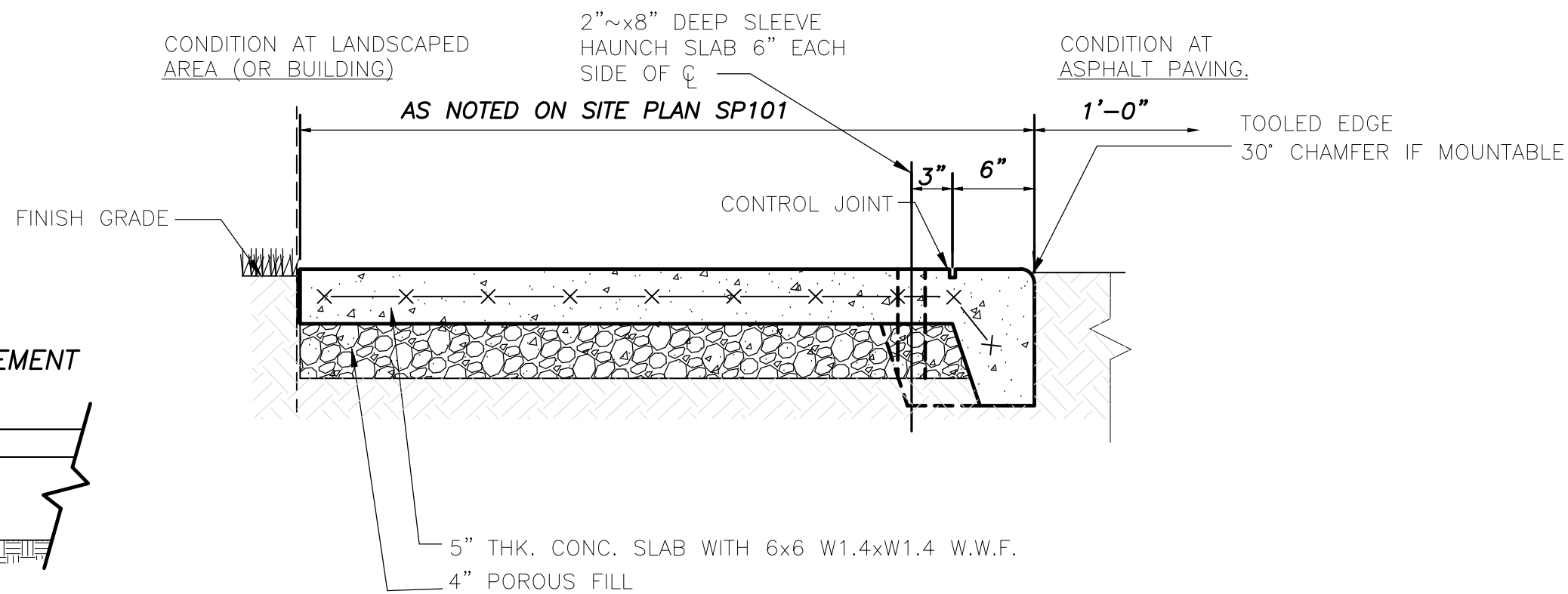
2 ADA PARKING STAHL
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KEYED NOTES

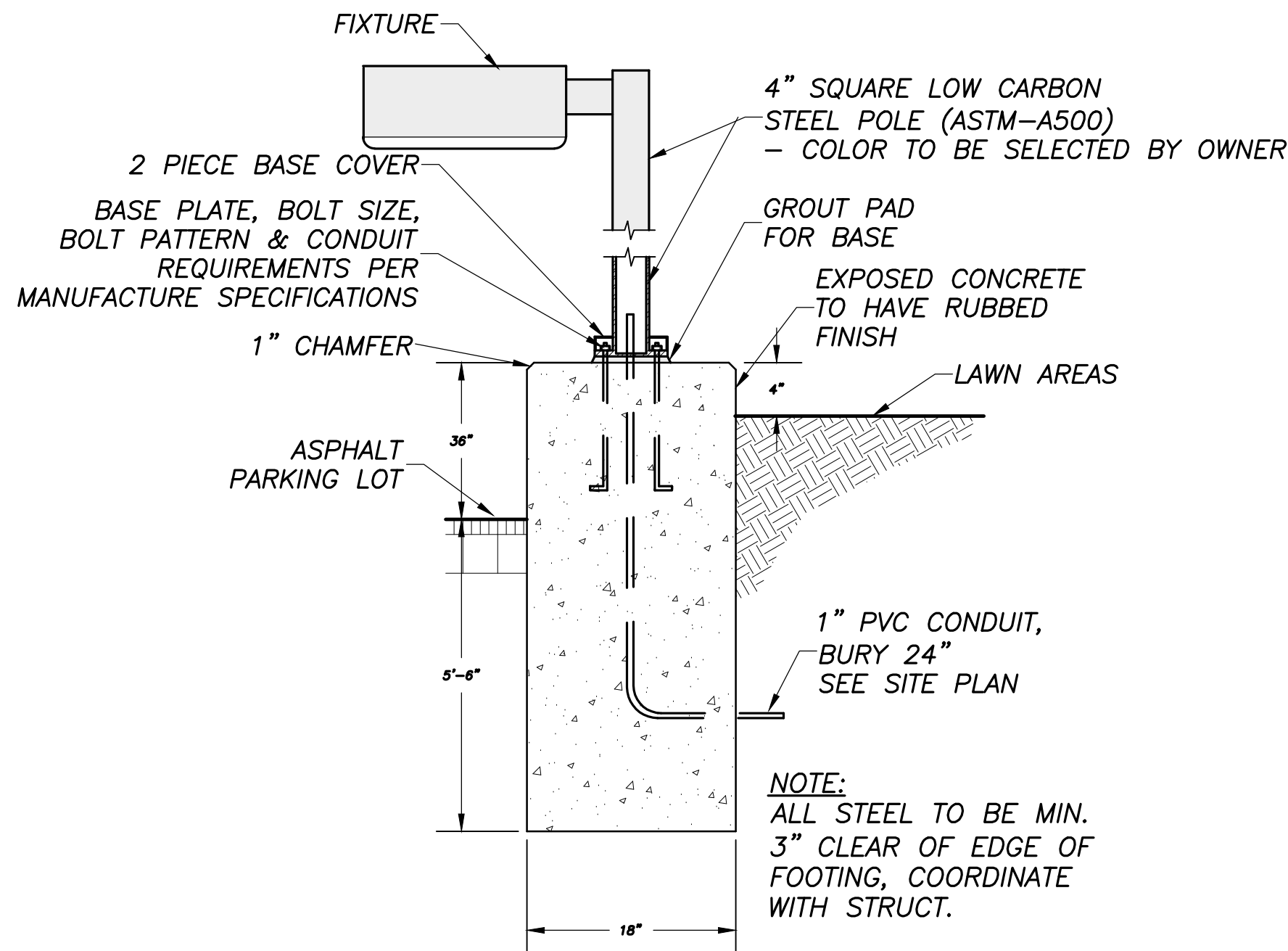
- 1 2" ASPHALT MILLINGS #1 MINUS
- 2 9" OF COMPACTED SUBBASE COURSE, TYPE 2-NYSDOT ITEM #304.12 COMPACT TO 95% MODIFIED PROCTOR.
- 3 WELL-DRAINED SUB-GRADE (SUB-GRADE TO 95% MODIFIED PROCTOR MIN. COMPACTION).
- 4 12" OF COMPACTED SUBBASE COURSE, TYPE 2-NYSDOT ITEM #304.12. COMPACT TO 95% MODIFIED PROCTOR
- 5 MIRAFI 500X GEOTEXTILE OR APPROVED EQUAL

4 ASPHALT MILLING SECTION DETAIL
NTS

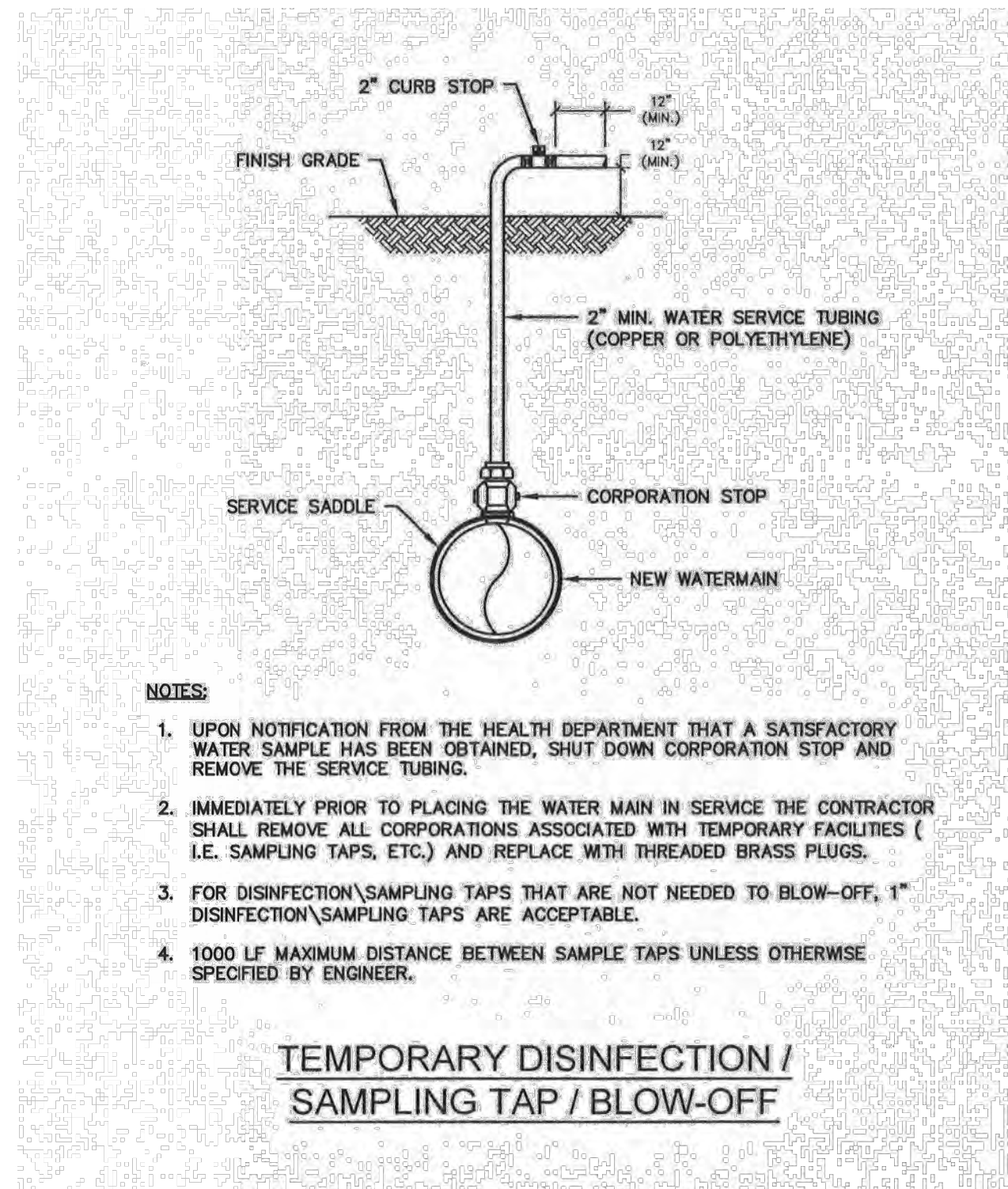


NOTE: PROVIDE CONTROL JOINTS IN SIDEWALK @ 5'-0" O.C. AND EXPANSION JOINTS @ 20'-0" O.C. BROOM FINISH WALKS AND SLOPE TO WASH @ 1/4" PER FOOT AWAY FROM BUILDING.

7 CONCRETE SIDEWALK DETAIL
NTS

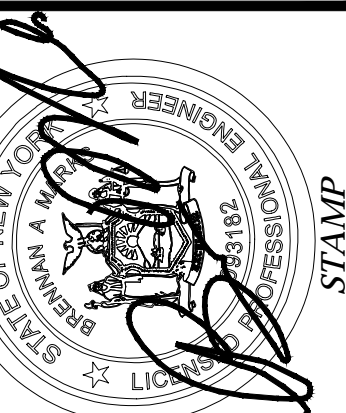


10 DETAIL: PARKING LOT LIGHT FIXTURE & BASE
NOT TO SCALE



- NOTES:
1. UPON NOTIFICATION FROM THE HEALTH DEPARTMENT THAT A SATISFACTORY WATER SAMPLE HAS BEEN OBTAINED, SHUT DOWN CORPORATION STOP AND REMOVE THE SERVICE TUBING.
 2. IMMEDIATELY PRIOR TO PLACING THE WATER MAIN IN SERVICE THE CONTRACTOR SHALL REMOVE ALL CORPORATIONS ASSOCIATED WITH TEMPORARY FACILITIES (I.E. SAMPLING TAPS, ETC.) AND REPLACE WITH THREADED BRASS PLUGS.
 3. FOR DISINFECTION/SAMPLING TAPS THAT ARE NOT NEEDED TO BLOW-OFF, 1" DISINFECTION/SAMPLING TAPS ARE ACCEPTABLE.
 4. 1000 LF MAXIMUM DISTANCE BETWEEN SAMPLE TAPS UNLESS OTHERWISE SPECIFIED BY ENGINEER.

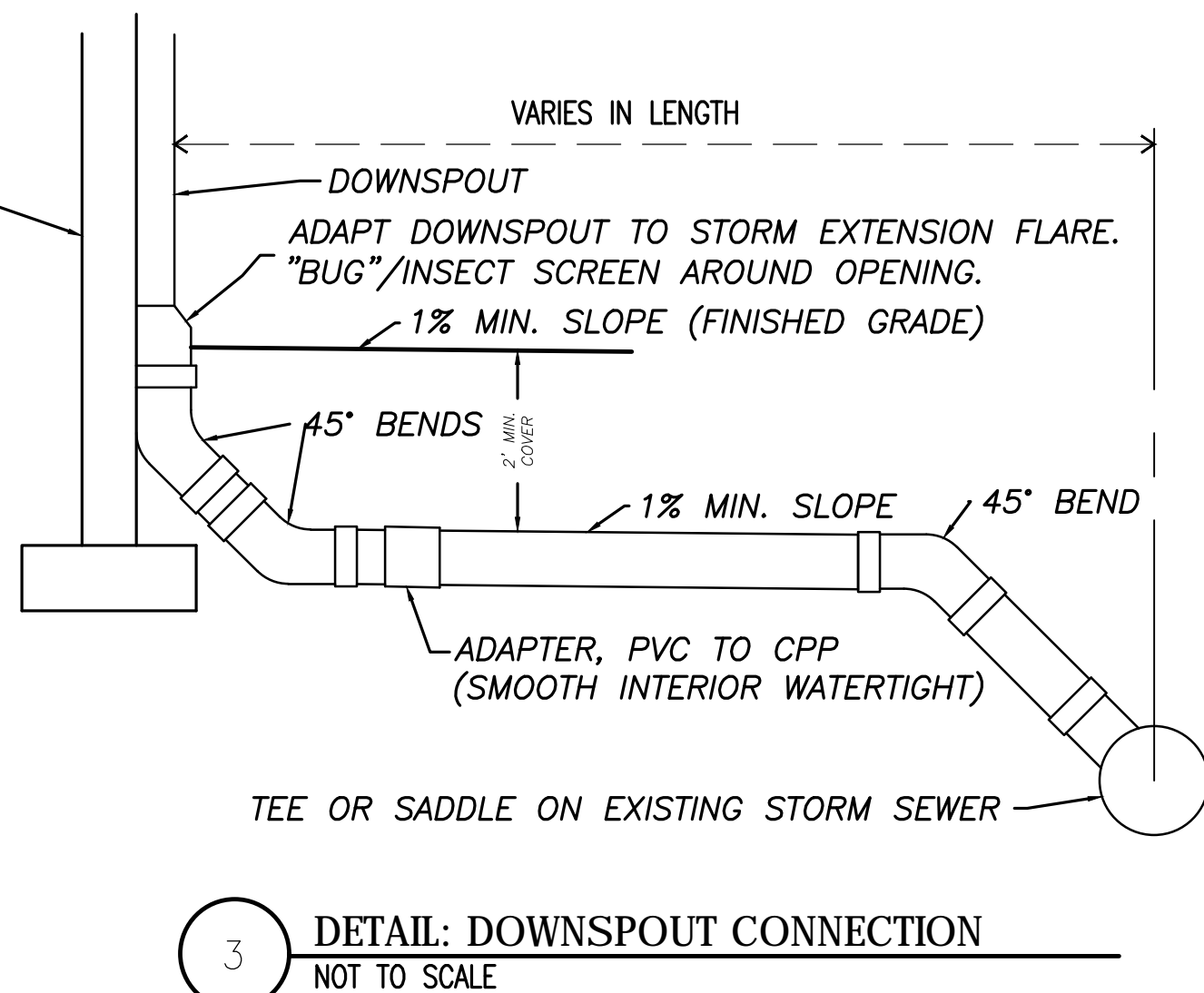
TEMPORARY DISINFECTION / SAMPLING TAP / BLOW-OFF



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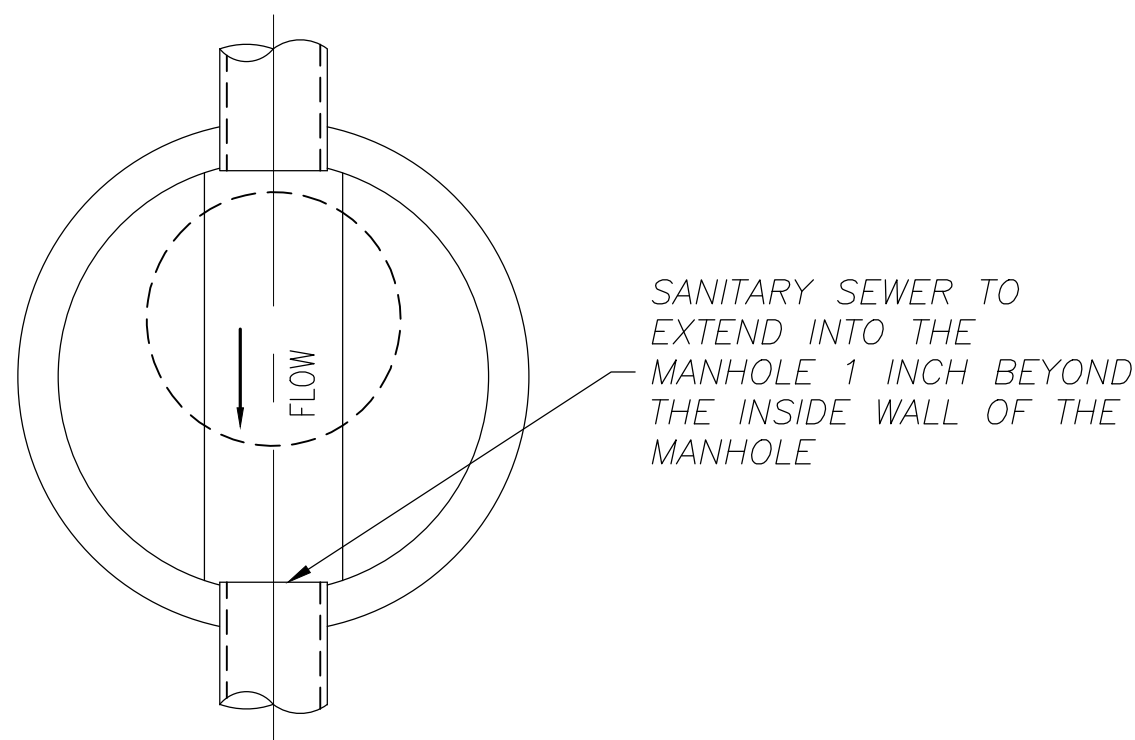
FINAL SITE PLAN FOR:
STAR CIDER
NEW RESEARCH & TASTING FACILITY
3365 EAST LAKE RD
TOWN OF CANANDAIGUA
STATE OF NEW YORK
COUNTY OF ONTARIO

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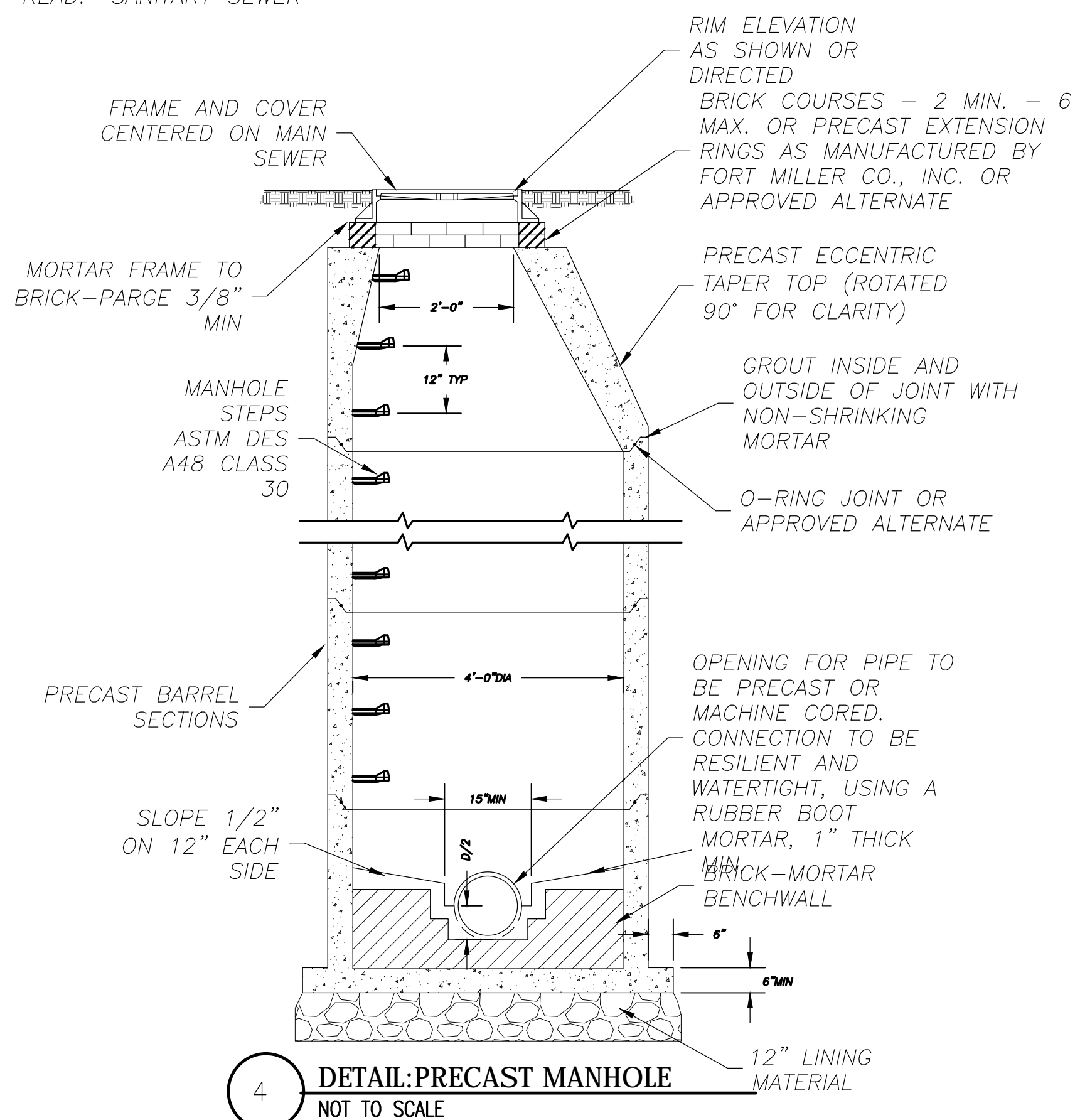


GENERAL CONSTRUCTION NOTES:

1. DOWN SPOUT LOCATIONS SHALL BE FIELD VERIFIED.
2. THE CONTRACTOR SHALL PROVIDE HORIZONTAL AND VERTICAL "AS-BUILT" LOCATIONS OF ALL DOWN SPOUT LOCATIONS TO THE OWNER.
3. PIPE MATERIAL UNDER PAVEMENT TO BE SDR-26 PVC OR EQUIVALENT, FOR HEAVY LOADING CONDITIONS.

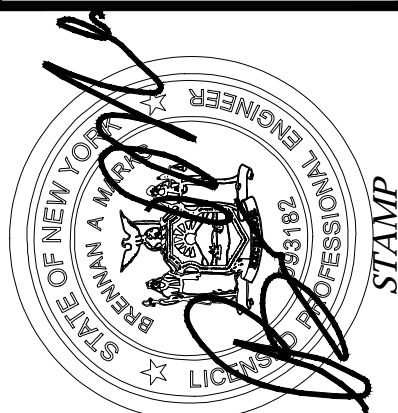


FRAME AND COVER (SOLID
LID) TO BE SYRACUSE
CASTINGS SALES CORP.
PATTERN 1030 OR NEENAH
FOUNDRY CO. R-1642 OR
APPROVED ALTERNATE.
LETTERING ON COVER TO
READ: "SANITARY SEWER"



NOTES:

1. 42 INCH RADIUS CONDUIT ELBOWS.
- 4" PVC CONDUIT WITH PIPE STRAPS SPACED AT MAXIMUM OF 2'-6" O.C.
3. POWER COMPANY APPROVED GROUNDED, INSULATED BUSHING BONDED TO #4 GROUND CONDUCTOR.
4. POWER COMPANY APPROVED GROUND CLAMP BONDED TO #4 COPPER GROUND CONDUCTOR.
5. COILED SLACK 20'-0" OF #4 COPPER GROUND CONDUCTOR.



<i>REVIEWS AND APPROVALS</i>			
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3365 EAST LAKE RD
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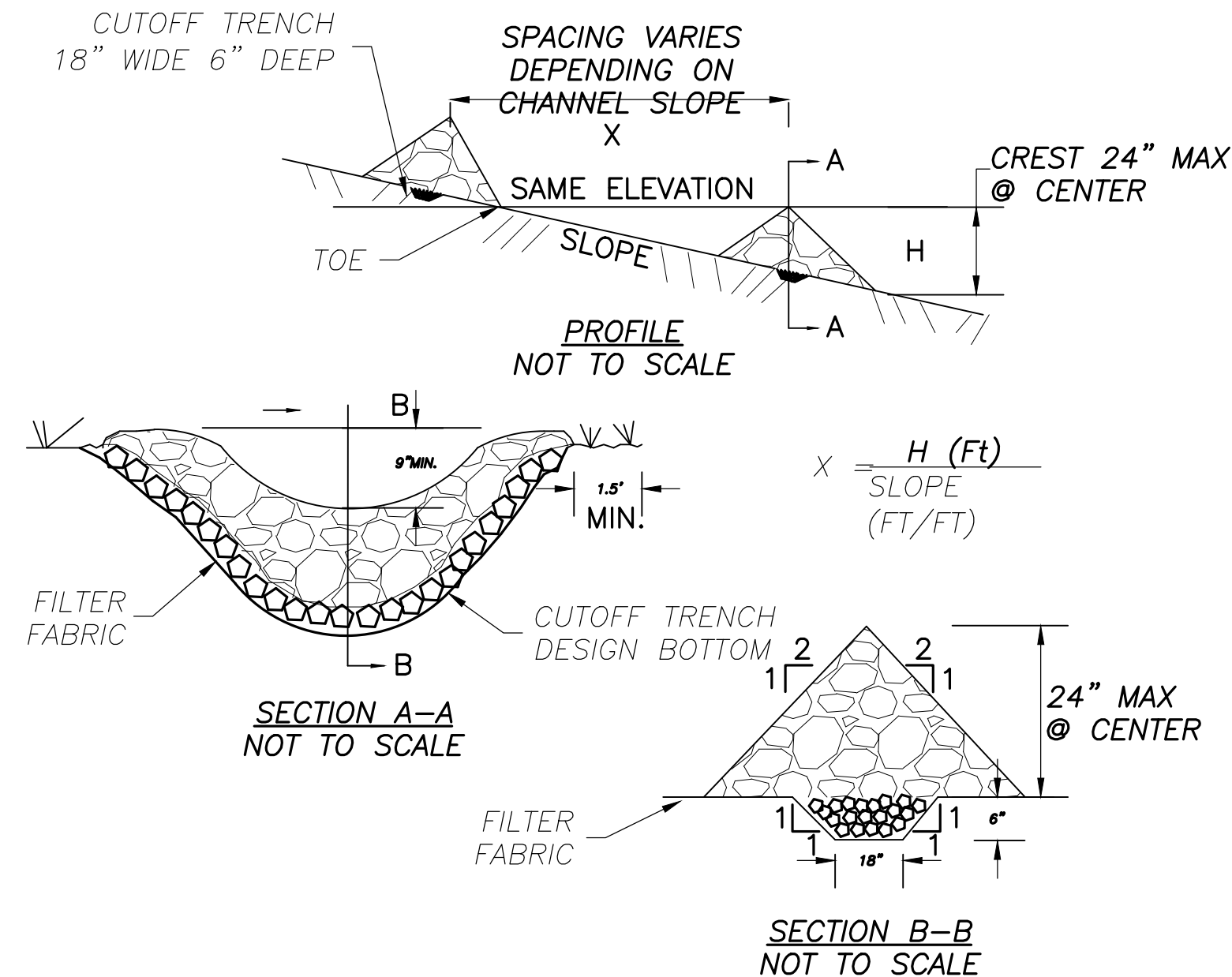
COUNTY OF ONTARIO

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<i>DRAWN BY:</i>	<i>MCF</i>
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<i>JOB NO.:</i>	<i>16-073</i>
<i>DATE:</i>	<i>06/15/2018</i>
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7 CONCRETE SIDEWALK DETAIL
NTS

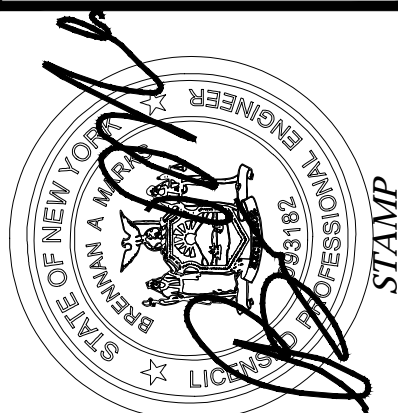
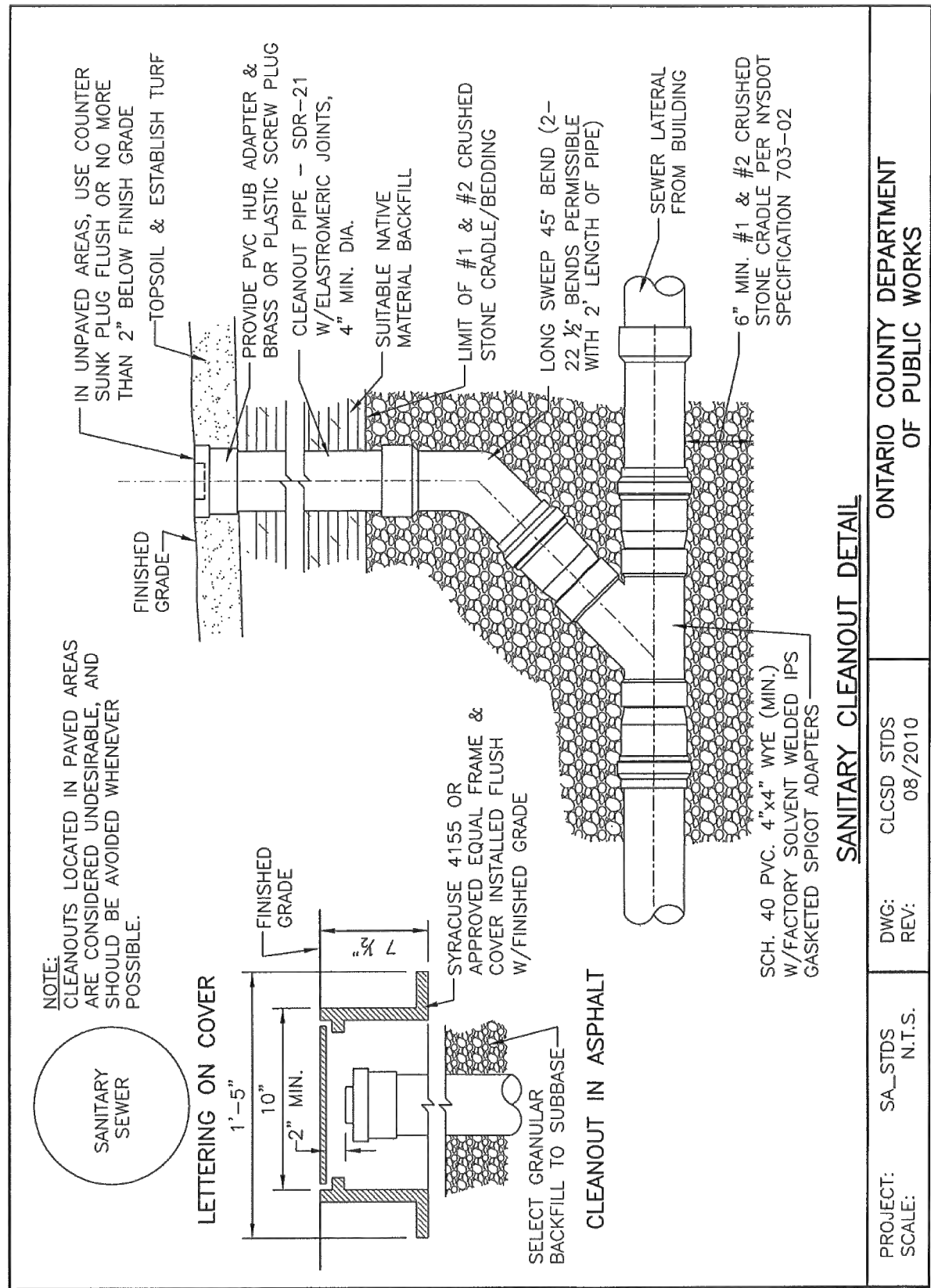
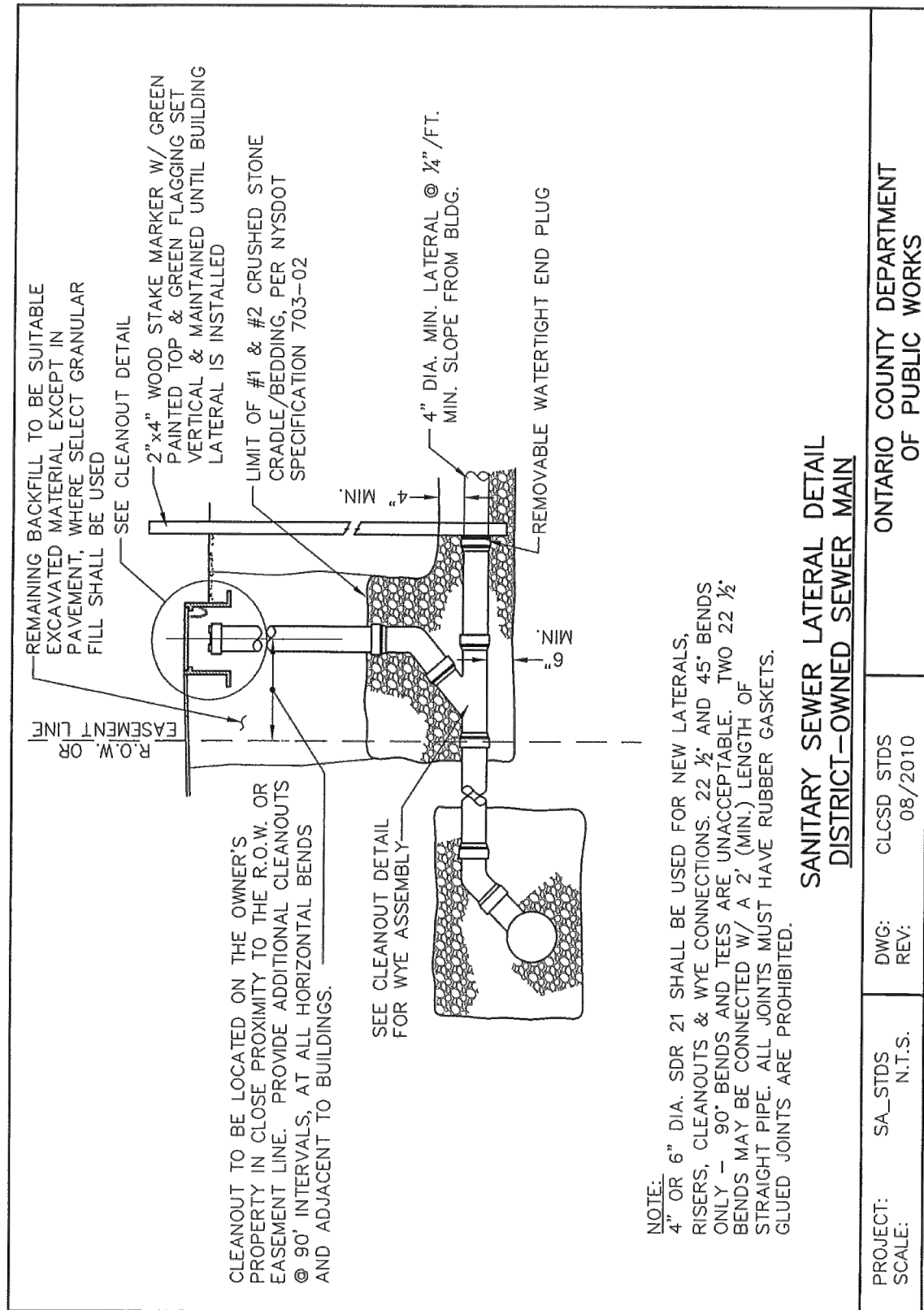
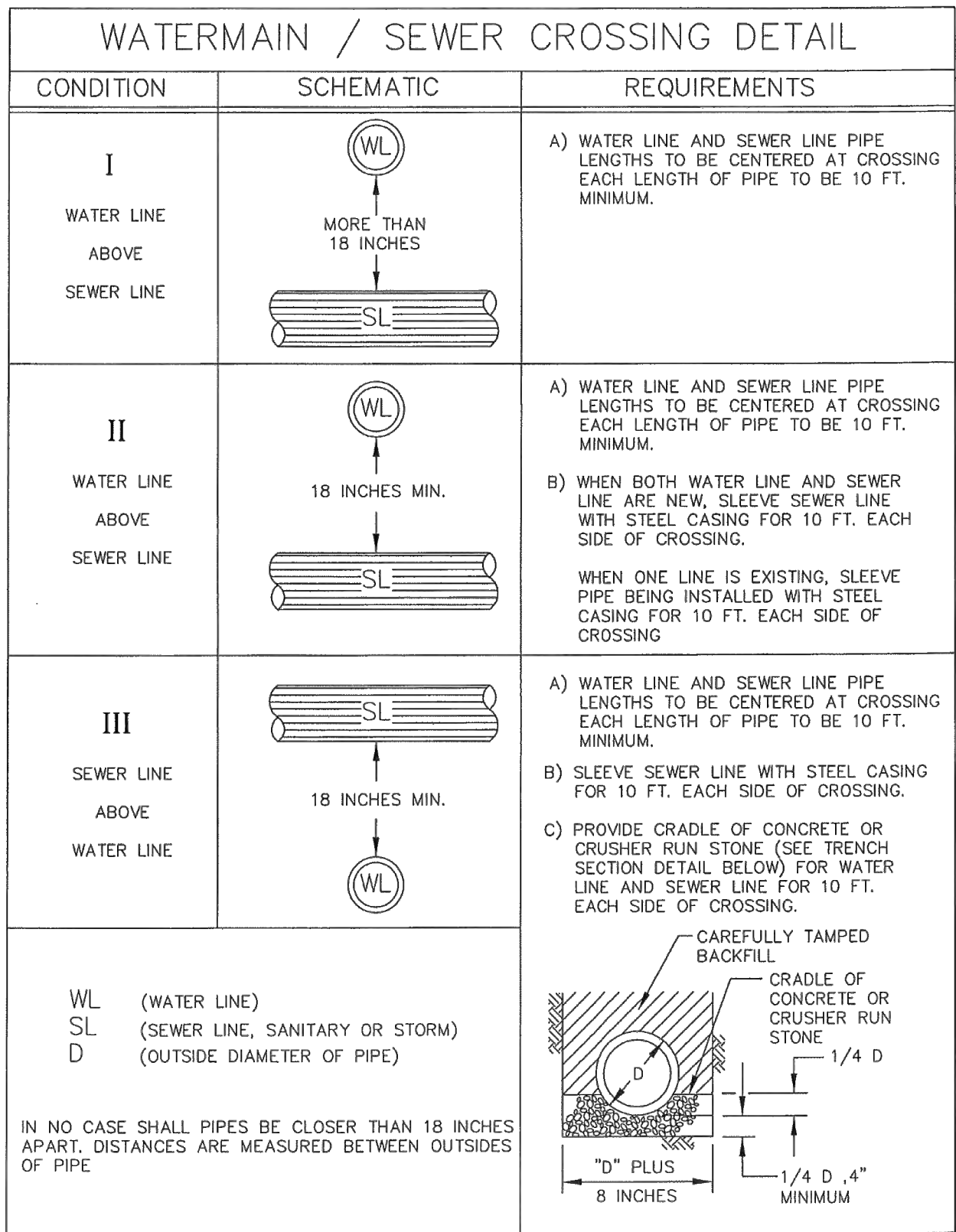
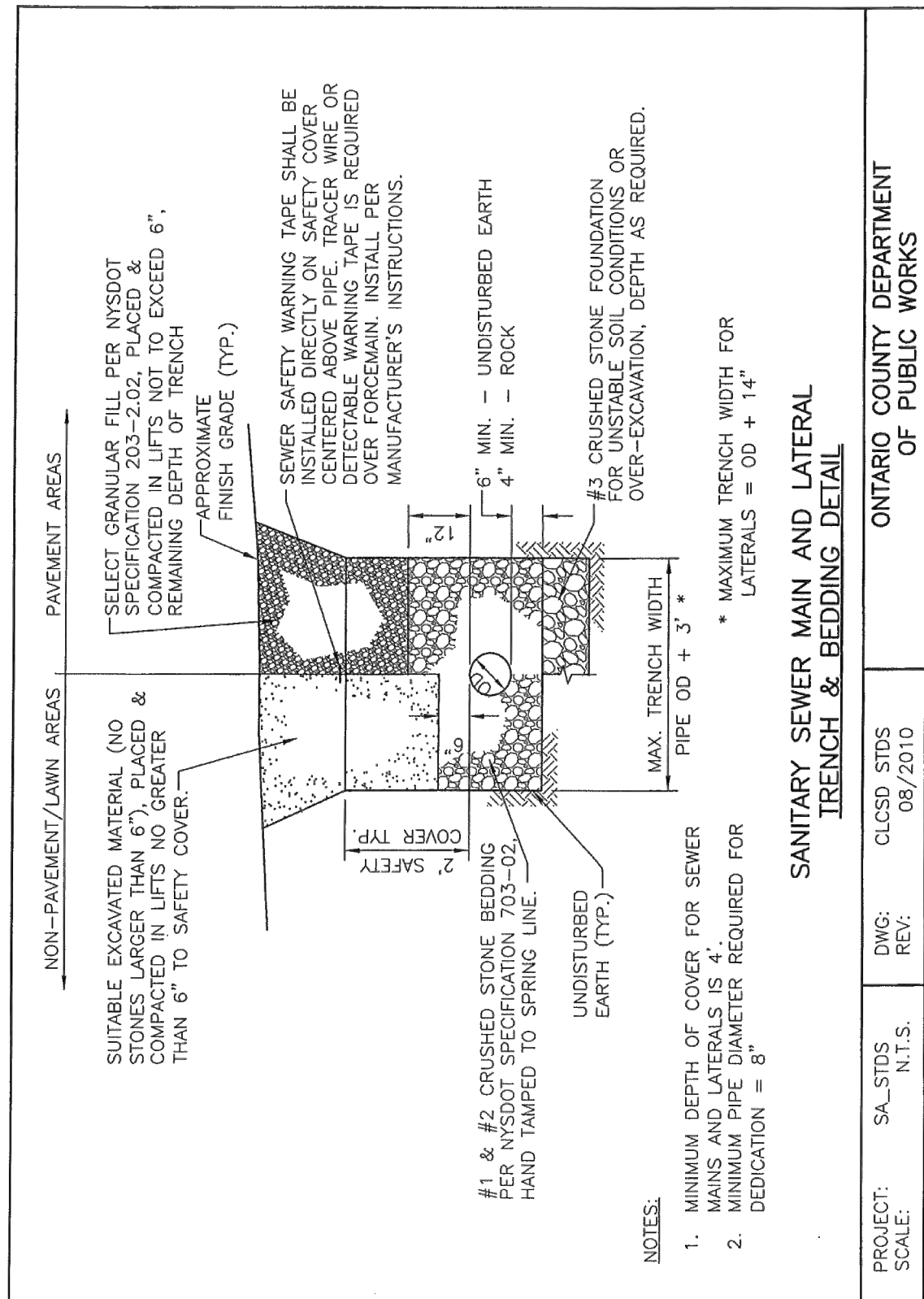
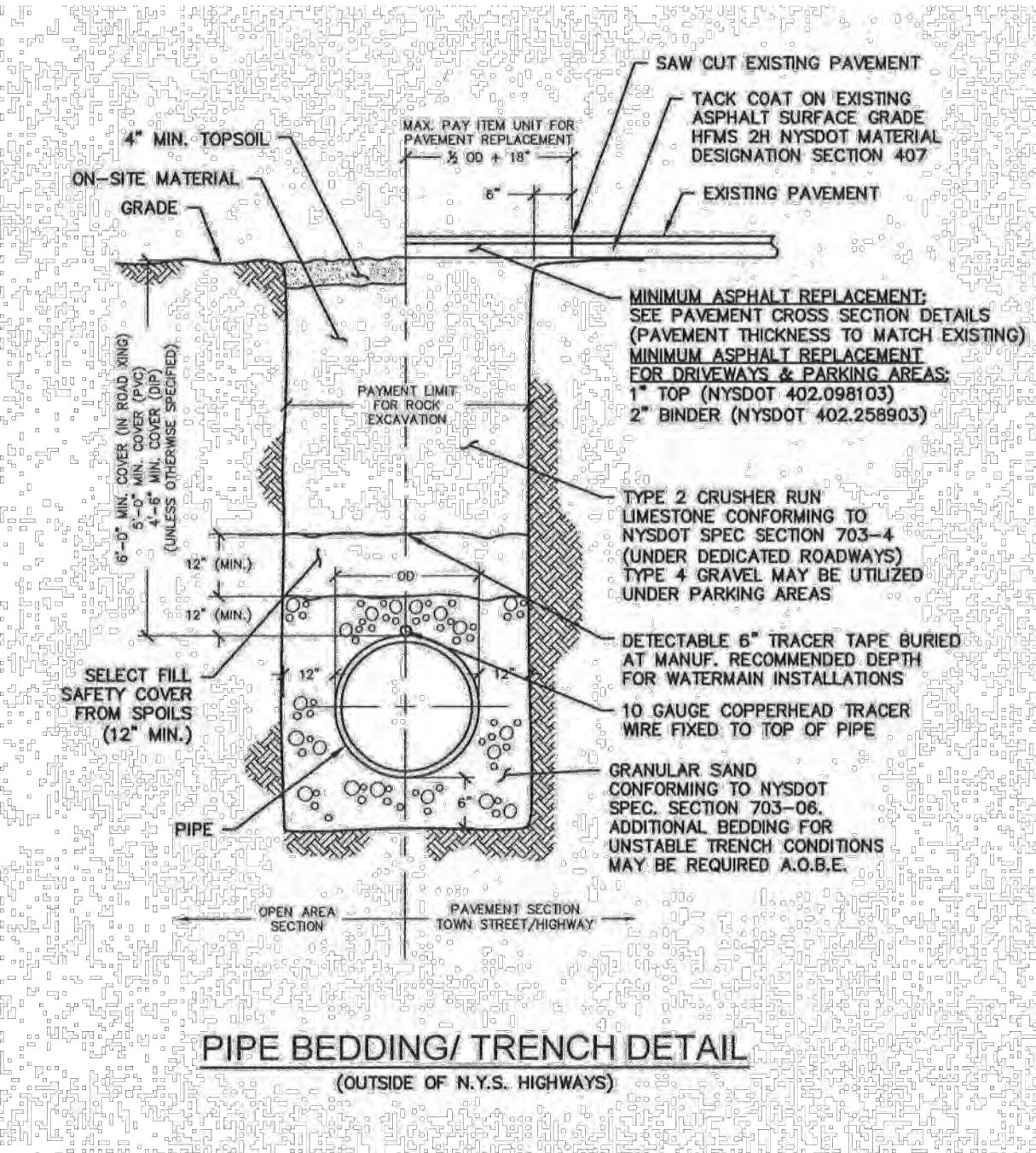
CONSTRUCTION SPECIFICATIONS

- STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN ON PLAN.
- SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATIONS OF THE TOE OF THE UPSTREAM DAM.
- EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
- PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE
- ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED ZONES

SANITARY LATERAL NOTES

ALL PROJECTS

- All sanitary sewer construction and/or improvements shall be in accordance with the most recent standards and specifications of the Canandaigua Lake County Sewer District, N.Y.S. Department of Environmental Conservation, N.Y.S. Department of Health, the latest edition of *Recommended Standards For Wastewater Facilities* and any other agencies having jurisdiction.
- No sanitary sewer-related work may be performed without first obtaining a written permit from the Canandaigua Lake County Sewer District.
- District personnel shall be notified a minimum of 48 hours prior to beginning any sanitary sewer-related work.
- The contractor shall locate, mark and preserve any right of way monuments or survey control in the area of construction.
- Utility locations shown are approximate only. The contractor shall determine exact location of utilities, excavating to expose the utility, if necessary in the area of construction, before commencing construction. Contact U.F.P.O. at 1-800-962-7962 at least 72 hours prior to beginning work.
- Laterals shall be min. 4" dia. SDR-21 with elastomeric joints; for commercial establishments, laterals are to be 6" dia. SDR-21. Minimum depth of burial is four feet. Cleanouts shall be installed within 30 inches of the outside face of buildings, at all changes in horizontal alignment, at the right of way or easement line, and at spacing not to exceed 90 feet.
- Sewer mains and laterals shall be located a minimum horizontal distance of ten feet from any existing or proposed watermain (as measured from the outside of the sewer/lateral to the outside of the watermain). In cases where the main or lateral crosses a watermain, the minimum vertical separation shall be eighteen inches (measured out-to-out). The crossing shall be arranged so that the sewer joints will be equidistant and as far as possible from the watermain joints.
- The contractor shall provide the District with shop drawings and material specifications that have been pre-approved by the design engineer before a permit will be issued.
- The contractor is responsible for compliance with OSHA requirements in all aspects of construction.
- The contractor shall be responsible for maintaining sanitary flows at all times by methods acceptable to the District.
- Floor drains in basements or garages are to be connected to the sanitary sewer. Floor drains do not include foundation or footer drains installed to intercept uncontaminated groundwater. All discharges to the sanitary sewer must comply with effluent limits of the Ontario County Sewer Use Law. Foundation and footer drains shall be constructed in a manner that prohibits groundwater from draining into the sanitary sewer pipe cradle.



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STATE OF NEW YORK

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PROPOSED OR EXISTING DRIVE	WITHIN DRIVEWAY PAVEMENT LENGTH ("PL")			WITHIN TRANSITION LENGTH ("TL")		
	MATERIAL	THICKNESS FOR RESIDENTIAL ONLY	THICKNESS FOR MINOR COURSE ONLY	MATERIAL	THICKNESS FOR RESIDENTIAL ONLY	THICKNESS FOR MINOR COURSE ONLY
DRT, GRASS, OR GRAVEL	HMA	3	4	STONE, CEMENT AS NECESSARY	6	9
	SUBBASE COURSE	6	8			
STONE	HMA	3	4	STONE, CEMENT AS NECESSARY	8	11
	SUBBASE COURSE	6	8			
HMA RESURFACING	HMA	1½	1½	NOT APPLICABLE - ALL WORK ON AN EXISTING PAVED DRIVEWAY IS WITHIN THE DRIVEWAY PAVEMENT LENGTH		
	TRUE AND LEVELING COURSE	AS NECESSARY	AS NECESSARY			
HMA RECONSTRUCTION	HMA	3	4 (SEE NOTE B)	NOT APPLICABLE - ALL WORK ON AN EXISTING PAVED DRIVEWAY IS WITHIN THE DRIVEWAY PAVEMENT LENGTH		
	SUBBASE COURSE	6	8 (SEE NOTE D)			
PCC	PCC	6	6 (SEE NOTE B)	NOT APPLICABLE - ALL WORK ON AN EXISTING PAVED DRIVEWAY IS WITHIN THE DRIVEWAY PAVEMENT LENGTH		
	SUBBASE COURSE	6	8 (SEE NOTE D)			

CHANGES IN GRADE At 1/20-1/20	CREST, L _o ft/L	SAG, L _s ft/L
4-1/2%	0	0
6-1/2%	0	0
8-1/2%	6	0
10-1/2%	6	0
12-1/2%	6	0
14-1/2%	7	0
16-1/2%	8	0
18-1/2%	8	0
20-1/2%	8	0

LENGTH OF VERTICAL CURVE BASED ON 35' CURVE RADIUS AND THE AASHTO PASSENGER VEHICLE

NOTE:
ALL GENERAL NOTES AND ABBREVIATIONS REFERENCED ON THIS SHEET CAN BE FOUND ON STANDARD SHEET 608-03, SHEET 1 OF 9.

 <p>NEW YORK STATE OF OPPORTUNITY.</p>	<p>Department of Transportation</p>
<p>U.S. CUSTOMARY STANDARD SHEET</p>	
<p>RESIDENTIAL AND MINOR COMMERCIAL DRIVEWAYS (SHEET 2 OF 9)</p>	
<p>APPROVED MARCH 07, 2016</p>	<p>ISSUED UNDER EB 16-012</p>
<p><u>/s/ RICHARD W. LEE, P.E.</u> DEPUTY CHIEF ENGINEER (DESIGN)</p>	<p>608-03</p>

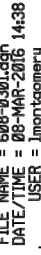
REVIEWS AND APPROVALS			
NO.	DATE	DESCRIPTION OF REVISION OR APPROVAL	BY
1	06/22/18	PER PRC	MCF

ENGINEERING P.C. ALL PLANS ARE PART OF AN AGREEMENT

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<i>SCALE:</i>	<i>AS NOTED</i>
<i>JOB NO.:</i>	<i>16-078</i>
<i>DATE:</i>	<i>06/15/20</i>
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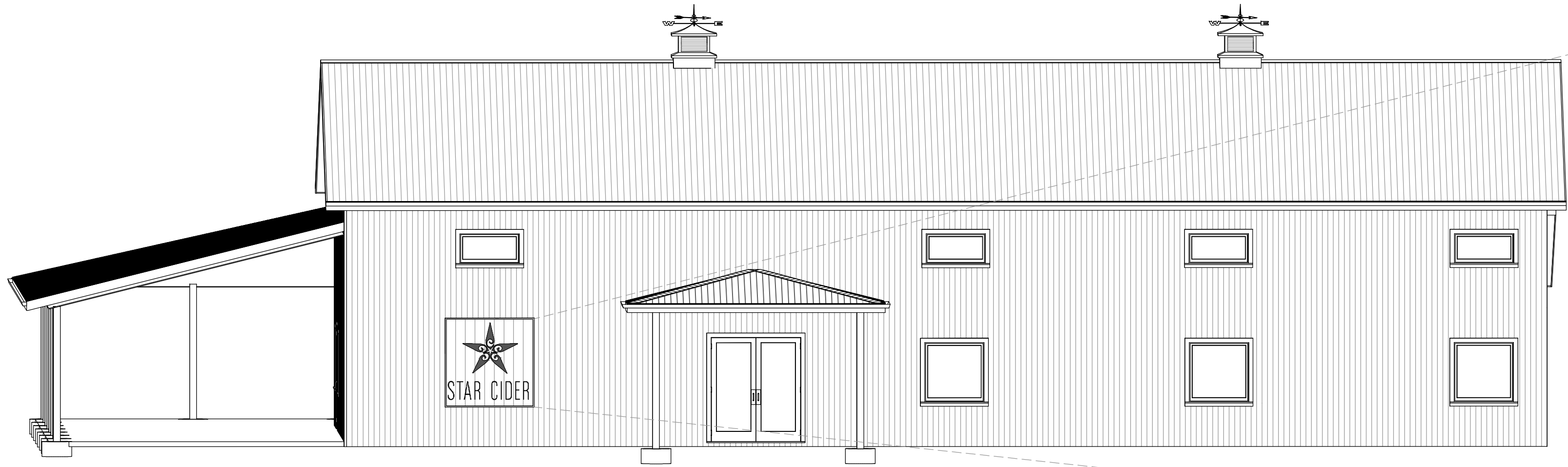
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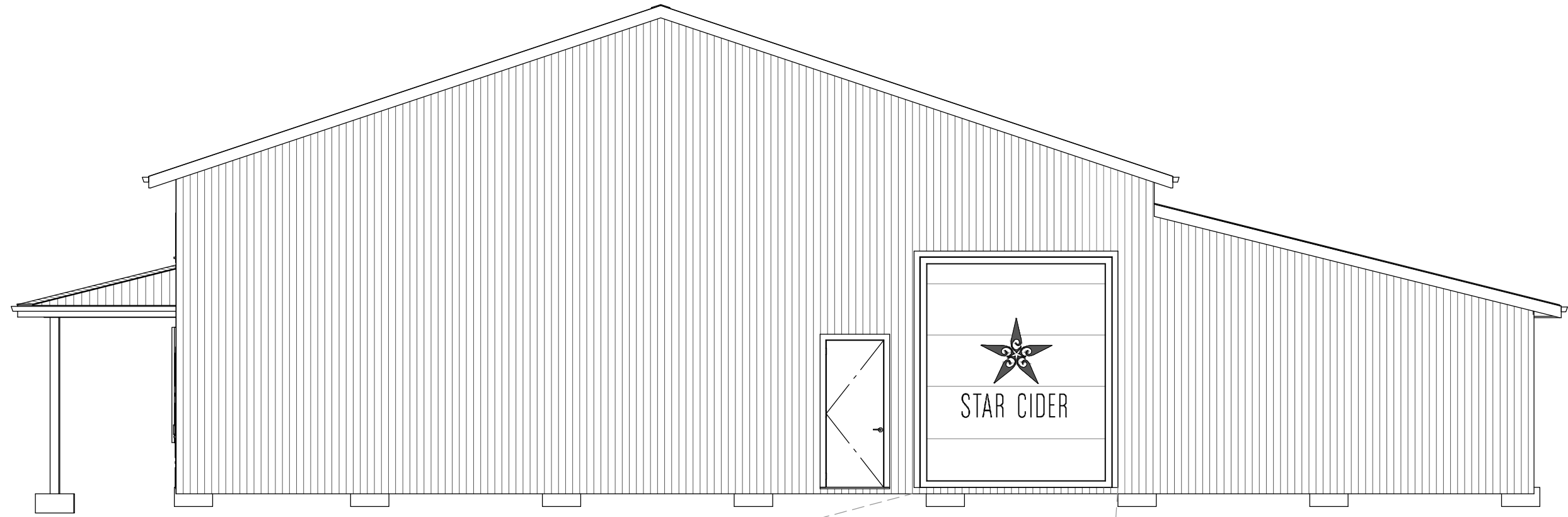


DESIGN ELEMENT TOLERANCES		
ELEMENT	DESIGN AND FIELD LAYOUT LIMIT	LIMIT FOR WORK ACCEPTANCE
SIDEWALK CROSS SLOPE - SEE NOTE 12	1.5% MAX.	2.0% MAX.
SIDEWALK GRADE (RUNNING SLOPE) - SEE NOTE 11	4.5% MAX.	5.0% MAX.
CURB RAMP GRADE (RUNNING SLOPE) - SEE NOTE 21	7.5% MAX.	8.3% MAX.
BLENDED TRANSITION GRADE (RUNNING SLOPE) - SEE NOTE 7	4.5% MAX.	5.0% MAX.

ALL VALUES SHOWN ON THE 608-03 STANDARD SHEETS REFER TO DESIGN AND FIELD LAYOUT LIMITS. FOR ADDITIONAL REQUIREMENTS AND TOLERANCES, SEE "CRITICAL ELEMENTS FOR THE DESIGN, LAYOUT AND CONSTRUCTION OF PEDESTRIAN FACILITIES" AVAILABLE ON THE NYSDOT HIGHWAY DESIGN MANUAL CHAPTER 18 WEBSITE.



WEST SIDE OF BUILDING



SOUTH SIDE OF BUILDING



NOTES:
THE SIGN DIMENSIONS WILL BE 6' X 6'. THE STAR CIDER LOGO AND THE WORDS STAR CIDER WILL BE PAINTED ON THE GARAGE DOOR WITH BLACK PAINT. THE LETTERS WILL BE 1.75' TALL. THE STAR CIDER LOGO WILL BE 4' IN DIAMETER. THE SIGN WILL BE SEALED WITH POLYURETHANE TO SEAL THE PAINT AND PREVENT FLAKING AND AGING.
DOOR SIZE SUBJECT TO ARCHITECTURAL REVIEW.

3 OHD SIGN — SOUTH SIDE BUILDING
NTS



2 WOOD SIGN MOCK UP
NTS



1 WOOD SIGN — WEST SIDE BUILDING
NTS

NOTES:
THE SIGN DIMENSIONS WILL BE 6' X 6'. THE SIGN BACKING WILL BE MADE OF WOOD THAT IS 1" THICK AND BUILT ON A WOOD FRAME THAT IS CONNECTED TO THE BARN WITH METAL LAG SCREWS. THE STAR CIDER LOGO AND THE WORDS STAR CIDER WILL BE PAINTED ON THE WOOD SIGN WITH BLACK PAINT. THE LETTERS WILL BE 1.75' TALL. THE STAR CIDER LOGO WILL BE 4' IN DIAMETER. THE SIGN WILL BE SEALED WITH POLYURETHANE TO SEAL THE PAINT AND PREVENT FLAKING AND AGING.

4" ADDRESS NUMBERS NAILED TO POST



4 ROAD SIGN
NTS

NOTES:
6-8" DIAMETER NATURAL LOCUST HARDWOOD LOGS STATIONED IN CONCRETE BASE. THE LOGS WILL BE FASTENED WITH INTERLOCKING JOINTS AND METAL LAG SCREWS FOR ADDED SUPPORT. THE 2 VERTICAL LOG SIGN POSTS WILL BE 7' TALL AND THE TOP HORIZONTAL LOG WILL BE 5.5' LONG. THE INNER SIGN WILL BE MADE OF STEEL AND WILL BE APPROXIMATELY 1/4" THICK. THE STAR CIDER LOGO WILL BE CUT INTO THE METAL WITH A CAD LASER CUTTER. THE STAR CIDER WORDS WILL BE BLACK AND WILL BE 10" TALL. THE STAR CIDER LOGO WILL BE 3' IN DIAMETER. THE METAL SIGN WILL BE 4' X 4'. THE METAL SIGN WILL BE HUNG FROM THE HORIZONTAL SIGN POST USING EYELETS AND METAL CABLE.

REVISIONS AND APPROVALS			
NO.	DATE	DESCRIPTION OF REVISION OR APPROVAL	BY
1	06/22/18		MCF
		PER PRC	

FINAL SITE PLAN FOR:
STAR CIDER
NEW RESEARCH & TASTING FACILITY
3385 EAST LAKE RD
TOWN OF CANANDAIGUA
COUNTY OF ONTARIO
STATE OF NEW YORK

DETAILS	
DRAWN BY:	MCF
DESIGNED BY:	BAM
CHECKED BY:	BAM
SCALE:	AS NOTED
JOB NO.:	16-073
DATE:	06/15/2018
TAX MAP#:	98.11-2-8.000



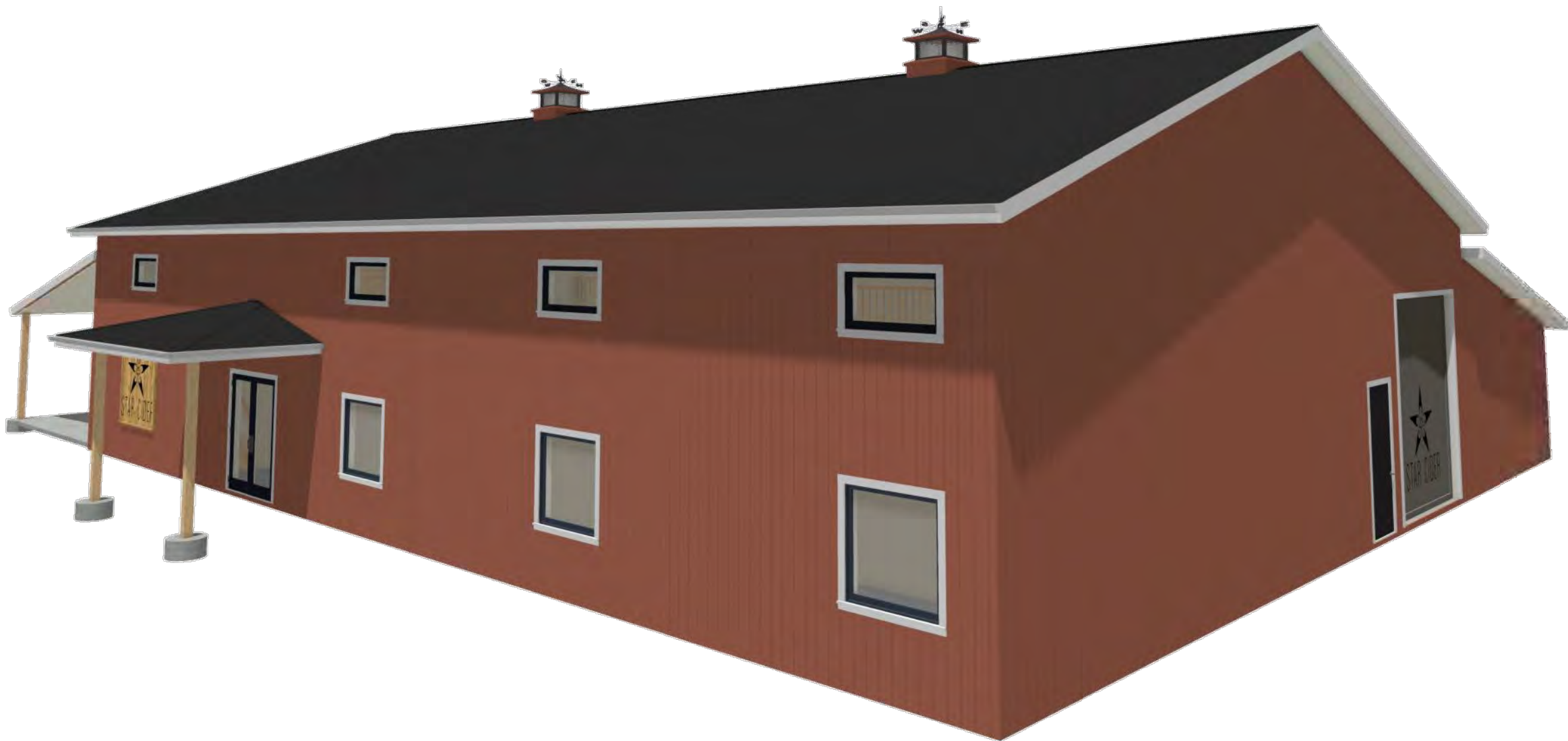
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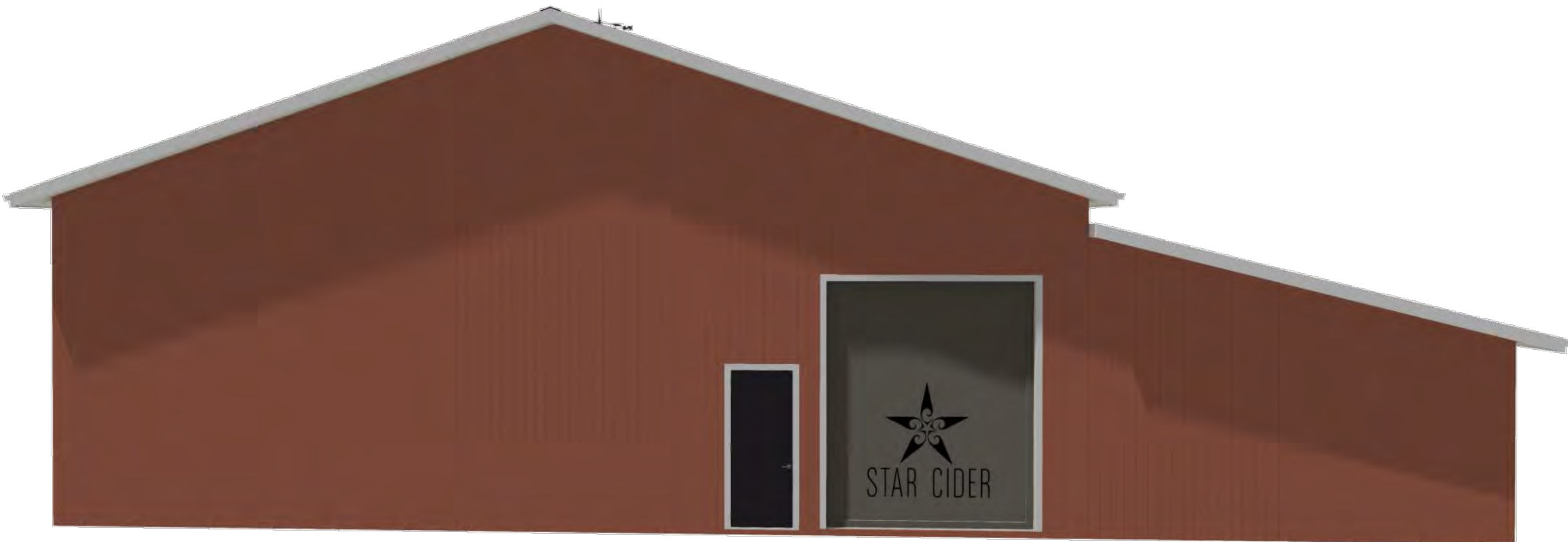
NORTH/EAST




EAST

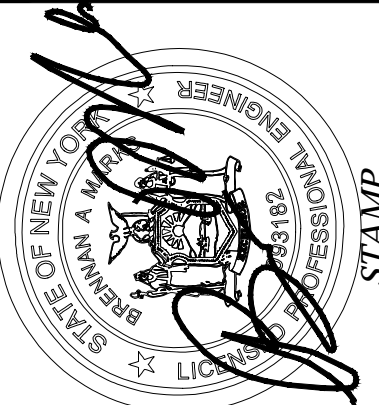


SOUTH/WEST





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INFO@MARKSENGINEERING.COM



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NO.	DATE	DESCRIPTION OF REVISION OR APPROVAL	BY
1	06/22/18		MCP

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NEW RESEARCH & TASTING FACILITY
3385 EAST LAKE RD
TOWN OF CANANDAIGUA

COUNTY OF ONTARIO

STATE OF NEW YORK

DRAWING TITLE:
ARCHITECTURAL
RENDERING

DRAWN BY:	MCP
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