

# LOCATION MAP NOT TO SCALE

	SITE DATA		
	REQUIRED	PROPOSED	SITE
ZONING/USE — PRINCIPAL	R-1-20	MUO-X	BREWERY
ZONING/USE - ACCESSORY	NA	NA	NA
PRINCIPAL BUILDING SQUARE FOOTAGE			5000
FRONT SETBACK	100'	20'	144.6'
SIDE SETBACK	20'	15'	40.2'
REAR SETBACK	40'	15'	90'
BUILDING HEIGHT	35'	35'	28
BLDG LOT COVERAGE	35.00%	60%	5.50%
PARKING	1 PER 25SF (RESTAURANTS)	1 PER 25SF (OVERFLOW)**	37
ADA PARKING	4 PER 100	4 PER 100	2

\*\* 1 PER 25SF PER REQUIRMENTS (TOTALING 20) MET WITH OVERFLOW PARKING WITHIN 500' OF FRONT DOOR.

# **TOWN OF CANANDAIGUA NOTES:**

- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE WATER/SEWER AGENCIES, UNLESS OTHERWISE NOTED.
- A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED TO CONFORM WITH THE LATEST NYSDEC GENERAL PERMIT AND TO THE TOWN REQUIREMENTS REGARDING MAINTENANCE AND AND CONTROL OF STORM WATER QUALITY AND
- ALL SWPPP'S ARE REQUIRED TO BE REVIEWED AND APPROVED BY THE TOWN CEO AND TOWN ENGINEER. THE TOWN MS4 SWPPP ACCEPTANCE FORM IS TO BE SIGNED AND INSERTED INTO THE PROJECT SWPPP PRIOR TO CONSTRUCTION.
- THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED SWPPP, INCLUDING FILING OF THE "NOTICE OF INTENT" (NOI). A COPY OF THE NYSDEC ACKNOWLEDGEMENT LETTER IS TO BE PROVIDED TO THE TOWN DEVELOPMENT OFFICE AND TOWN ENGINEER PRIOR TO CONSTRUCTION.
- A COPY OF THE PROJECT SWPPP IS TO BE PROVIDED TO THE TOWN DEVELOPMENT OFFICE, TOWN ENGINEER, AND A COPY IS TO REMAIN ONSITE DURING CONSTRUCTION AT ALL TIMES IN A MARKED AND ACCESSIBLE LOCATION.
- ANY MODIFICATIONS OR DEVIATIONS FROM THE APPROVED PLANS, CONSTRUCTION SEQUENCE, AND/OR SWPPP, INCLUDING IMPLEMENTATION OF EROSION CONTROL MEASURES AND STORM WATER MANAGEMENT AREAS, SHALL BE APPROVED BY THE TOWN OF CANANDAIGUA AND DOCUMENTED WITHIN THE PROJECT SWPPP.
- THE OWNER IS REQUIRED TO PROVIDE DAILY ONSITE OBSERVATION BY A LICENSE PROFESSIONAL OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC). ALL SWPPP INSPECTIONS ARE TO BE IN A FORM ACCEPTABLE BY THE TOWN OF CANANDAIGUA AND FORWARDED TO OWNER, THE TOWN CEO, TOWN ENGINEER, AND A COPY PLACED WITHIN THE ONSITE PROJECT SWPPP.
- THE OWNER IS RESPONSIBLE FOR PROVIDING ONSITE SWPPP INSPECTIONS BY A LICENSE PROFESSIONAL OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC) DURING CONSTRUCTION ONCE PER WEEK (EVERY 7 DAYS) IF UNDER 5-ACRES OF DISTURBANCE AND TWICE PER WEEK (EVERY 7 DAYS) IF 5-ACRES OR MORE WITH RECEIPT OF A 5-ACRE WAIVER FROM THE TOWN OF CANANDAIGUA (MS4).
- DEVELOPMENT IN THE CANANDAIGUA LAKE WATERSHED DISTURBING MORE THAN 5-ACRES AT ONE TIME, IS REQUIRED TO COORDINATE THE REGULAR SWPPP OBSERVATIONS REQUIRED BY THE LATEST GENERAL PERMIT WITH THE CANANDAIGUA LAKE WATERSHED INSPECTOR, THE WATERSHED PROGRAM MANAGER AND THE TOWN CODE ENFORCEMENT OFFICER.
- 10. <u>CONSTRUCTION SEQUENCE</u> ALL PLANS ARE TO BE PROVIDED WITH A DETAILED CONSTRUCTION SEQUENCE. THE CONTRACTOR SHALL COMPLETE CONSTRUCTION AND INSTALL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE APPROVED CONSTRUCTION SEQUENCE UNLESS SPECIFIED OTHERWISE ON THE APPROVED DESIGN PLANS OR AT THE PRE -CONSTRUCTION MEETING.
- DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE TOWN OF CANANDAIGUA.
- 12. THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION AND UNTIL THE SITE IS FULLY STABILIZED, INSPECTED BY THE TOWN OF CANANDAIGUA, AND ISSUANCE OF THE NOTICE OF TERMINATION (NOT) HAS BEEN PROVIDED TO NYSDEC.
- 14. ROOF LEADERS SHOULD BE CONNECTED TO STORM SEWERS WHERE POSSIBLE, UNLESS OTHERWISE SPECIFIED ON THE APPROVED PLANS AND WITHIN THE PROJECT SWPPP.
- 15. NO SITE PREPARATION SHALL COMMENCE UNTIL A VISUAL INSPECTION BY THE TOWN OF CANANDAIGUA, CONFIRMS THE INSTALLATION OF PERIMETER SEDIMENT CONTROLS AND THE STABILIZED CONSTRUCTION ENTRANCE.
- 16. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF VEGETATION, THE STORM WATER MANAGEMENT FACILITIES SHALL BE CLEANED OF ACCUMULATED SILT.

LEGEND

BC-BOTTOM OF CURB
TC-TOP OF CURB
TW-TOP OF WALL
BW-BOTTOM OF WALL
BS-BOTTOM OF STAIRS

PROPOSED

Utility Lines

Centerline

— Contour Line

NEW 4'X4' SIGN

EX WOOD FRAME BARN

MOUNTED AT HEIGHT OF 7' W/ 6'X4' PLANTER BED ----

——— Drainage

— Fence Line

DATE

DATE

PERF-PERFORATED

MIN-MINIMUM
MAX-MAXIMUM
INV-INVERT
CB-CATCH BASIN
MH-MANHOLE
DI-DRAINAGE INLET

EXISTING

----- elec

EX-EXISTING
CPP-CORRUGATED POLYETHYLENE PIPE

O.C.—ON CENTER
SICEP—SMOOTH INTERIOR CORRUGATED
POLYETHYLENE PIPE
UG—UNDERGROUND
CONC—CONCRETE

PLANNING BOARD

TOWN ENGINEER

SUPERINTENDENT

SUPERINTENDENT

CHAIRMAN

HIGHWAY

WATER

- ALL EXTERIOR LIGHTING SHALL BE DARK SKY COMPLIANT W/ CUT-OFF 2. THE ROADWAY SHALL BE KEPT FREE OF DEBRIS DURING CONSTRUCTION. TO PROHIBIT SHEDING OF LIGHT ON TO OTHER PROPERTIES. 2. THE CONSTRUCTION SITE IS NOT WITHIN 100' OF A WETLAND AS
- DELINEATED BY NYS DEC. THERE ARE NOT NYS DEC DELINEATED OR APPARENT WETLANDS ON THE PROPERTY AS SHOWN. 3. THE CONSTRUCTION SITE IS NOT WITHIN A 100 YEAR FLOODPLAIN AS
- DELINEATED BY FEMA. 4. WATER & SEWER: TOWN OF CANANDAIGUA WATER & CANANDAIGUA LAKE COUNTY SEWER DISTRICT
- 5. TOPOGRAPHIC SURVEY OF THE SITE WAS PROVIDED BY MARKS ENGINEERING, P.C. ON 01/25/2018.
- 6. ELEVATIONS ARE BASED ON NAVD 88 DATUM AND COORDINATES 7. ENGINEER DOES NOT HOLD ANY LIABILITY FOR SYSTEM FAILURE. ANY SYSTEM SYSTEM IS BASED ON NAD 83 DATUM.

## MAP REFERENCES:

9. MAP OF SURVEY PREPARED FOR SARAH-FRANK, LLC BY YEARS BOUNDARY DATED DECEMBER 28, 2017 BEING FILE NO. YB5691.

# **GENERAL NOTES:**

- 1. THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES AND PROPERTY MARKERS. IT IS THE NYS LAW TO CALL NYS DIG SAFE FOR UFPO (811) PRIOR TO ANY EXCAVATION.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY CONTROL DEVICES. SUCH DEVICES (BARRICADES, FENCING, ETC.) SHALL BE IMPLEMENTED TO MINIMIZE RISK OF INJURY TO PEDESTRIANS AND WORKERS. CONSTRUCTION ACTIVITY SHALL BE CONDUCTED WITHIN COMPLIANCE WITH OSHA GUIDELINES.
- PLANS ARE GRAPHIC REPRESENTATIONS OF WORK TO BE PERFORMED. THESE PLANS ARE TO INTENDED TO CONVEY ENGINEERING INFORMATION ONLY. CONTRACTOR TO VERIFY ALL PROPERTY LINES, LOCATIONS, GRADES AND INVERTS
- AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF WORK. 6. ALL SPECIFIED MATERIALS ARE TO BE INSTALLED AS PER MANUFACTURES RECOMMENDATIONS OR INDUSTRY STANDARD.
- MODIFICATIONS OR DEVIATIONS FROM THE APPROVED PLANS, NYS BUILDING CODES, AND/OR LOCAL REGULATIONS REQUIRED BY SITE CONSTRAINTS, UNFORESEEN
- CONDITIONS OR GOVERNING AUTHORITIES WILL BE DONE AT THE RISK OF THE CLIENT. 8. ALL CONSTRUCTION SHALL COMPLY WITH CURRENT NYS AND LOCAL BUILDING CODES AS WELL AS NATIONAL ELECTRIC CODE.

# CONSTRUCTION SEQUENCE:

- 1. INSTALL TEMPORARY EROSION CONTROL MEASURES INCLUDING BUT NOT LIMITED TO: SILT FENCE, STABILIZED ENTRANCES, ETC.
- 2. THE CONTRACTOR SHALL SELECTIVELY REMOVE VEGETATION AND ROOTS AS REQUIRED. 3. PLACE SILT FENCE FOR STOCKPILE AREA
- 4. STRIP TOPSOIL. 5. CONSTRUCT BUILDING AND INSTALL UTILITIES
- 6. MAINTAIN EROSION CONTROL PRACTICES AS NECESSARY. IF ADDITIONAL MEASURE ARE
- REQUIRED THESE SHALL BE PROVIDED AT THE EXPENSE OF THE OWNER OR CONTRACTOR. 7. IN THE EVENT THERE IS A SEDIMENT DISCHARGE
- OR FAILURE THE CONTRACTOR OR OWNER SHALL BE RESPONSIBLE FOR RESTORATION.
- 8. FINAL GRADE SEED AND MULCH DISTURBED AREAS AS SOON AS POSSIBLE. 9. INSTALL DRY SWALE AFTER AREAS CONTRIBUTING
- DRAINAGE ARE STABILIZED.
- 10. REMOVE TEMPORARY EROSION CONTROLS AFTER AREAS ARE STABILIZED WITH VEGETATION, STONE

LANDS OF FLCC

CUT AND REPLACE EXIST CONCRETE GUTTER

YELLOW STRIPING

W/ FLARED SECTION AT ENTRANCE. —

# PHOSPHORUS NOTES:

- NO PHOSPHOROUS SHALL BE USED AT PLANTING TIME FOR FERTILIZER, SOIL AUGMENTATION, ETC. UNLESS SOIL TESTS BY A HORTICULTURAL LABORATORY SPECIFICALLY INDICATE REQUIREMENTS FOR PLANT GROWTH.
- 2. IF PHOSPHORUS IS REQUIRED IT SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVELS AND FOLLOWING NYSDEC GUIDELINES.







RESEA

DRAWING TITLE SITE PLAN

DRAWN BY: MCFBAMDESIGNED BY: BAMCHECKED BY: AS NOTED SCALE: 16-073 JOB NO.: 06/15/2018 DATE: 98.11-2-8.000 TAX MAP#:

C100



ROUTE (NEW YORK CENTERLINE

(Right of Way Width Varies)

NEW LAWN

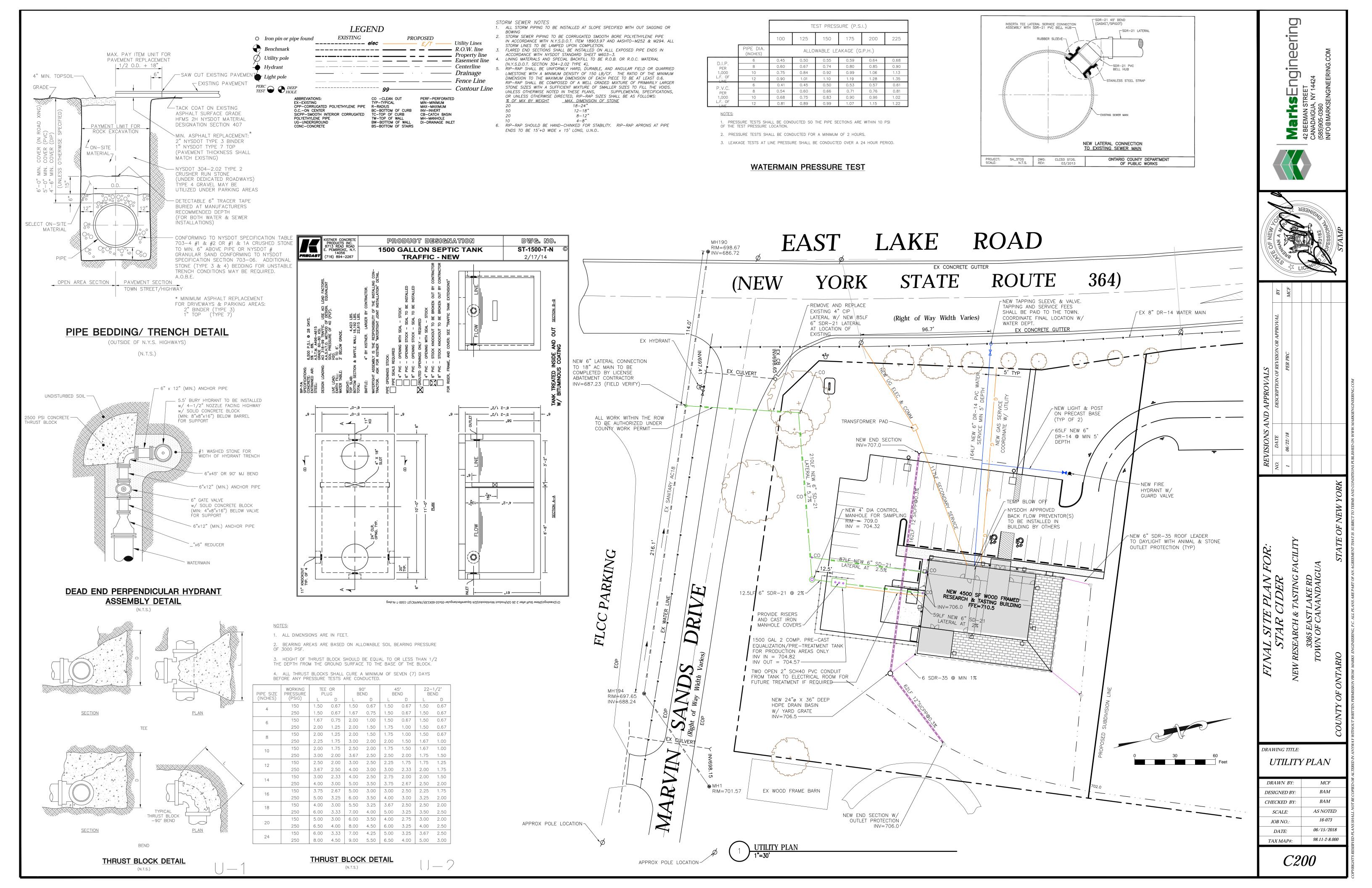
NEW NYSDOT PAVED ENTRANCE TO RIGHT-OF-WAY AT LOCATION OF EXISTING. 15' SIDEWALK EASEMENT TO TOWN ( 20' SETBACK FUTURE SIDEWALK & CROSS WALK TO CONNECT TO SIDEWALK ON RT 364 ONCE INSTALLED -NEW LIGHT POLE (TYP OF 2)-NEW LAWN/ORCHARD NEW GRASS SWALE NEW "NO PARKING FIRE LANE" SIGN (TYP OF 7) ~EMERGENCY VEHICLE PULL-OFF NEW CONCRETE CURBED ISLAND 23230 SF MACADAM YELLOW STRIPING TO BE PARKING & DRIVEWAY -CONCRETE CURB MAINTAINED (TYP)-/ 7'X15' BDLG OVERHANG ✓ PRECAST CURB BLOCK ·ADA SIGNS (TYP) -SIDEWALK MEETS PARKING FLUSH LOT #2 NEW 5' CONC WIDE SIDEWALK 24.3' °73.7′ NEW 4500 SF WOOD FRAMED
RESEARCH & TASTING BUILDING
FFE=710.5 124.7' SETBACK DUMPSTER -BOLLARDS (TYP OF 2)-COVERED PATIO 40.2' SETBACK CONC EQUIP PAD NEW BOARD ON BOARD 6' HIGH FENCE, (TYP)

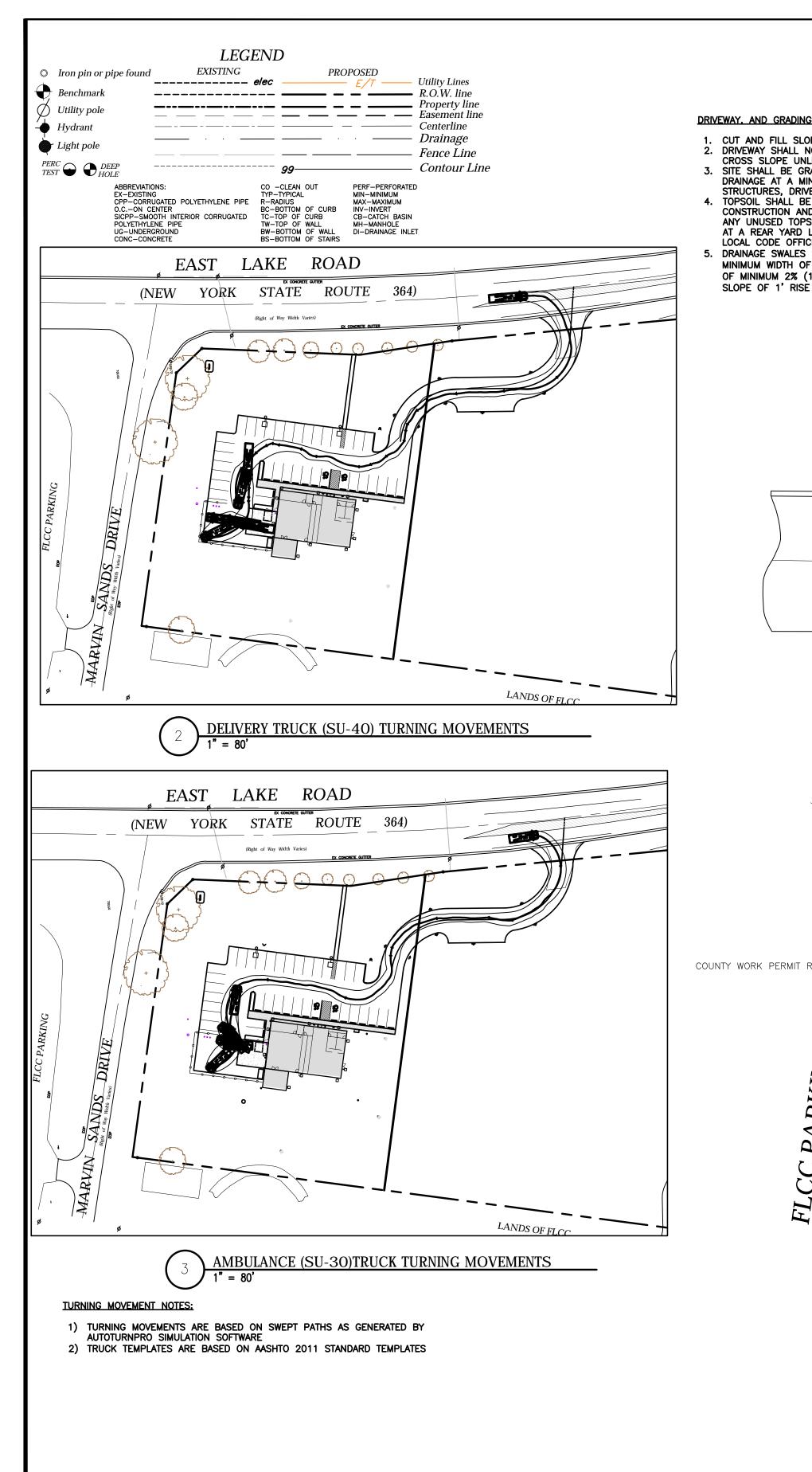
LOT #1

CONSTRUCTION

STORMWATER INFILTRATION AREA

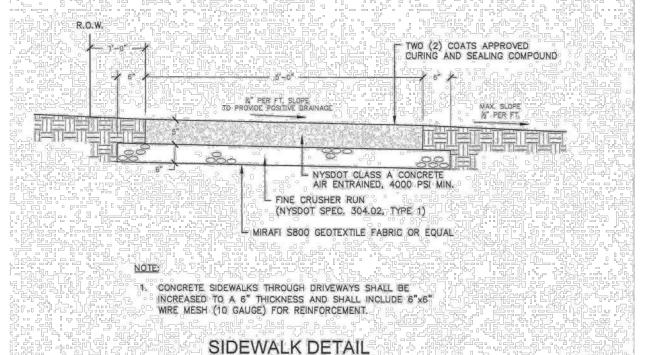
TO BE INSTALLED AT PHASE 2 OF





# DRIVEWAY. AND GRADING NOTES:

- CUT AND FILL SLOPES SHALL NOT EXCEED 3 ON 1.
   DRIVEWAY SHALL NOT EXCEED 10% TRAVERSING SLOPE AND 2% CROSS SLOPE UNLESS OTHERWISE NOTED.
   SITE SHALL BE GRADED SUCH THAT THERE IS POSITIVE DRAINAGE AT A MINIMUM OF 2% AWAY FROM ANY BUILDINGS, STRUCTURES, DRIVEWAYS, AND SEPTIC SYSTEM.
- 4. TOPSOIL SHALL BE STRIPED OF AREAS PLANNED FOR CONSTRUCTION AND REAPPLIED AFTER GRADING IS FINISHED.
  ANY UNUSED TOPSOIL SHALL BE HAULED OFFSITE OR PLACED
  AT A REAR YARD LOCATION AGREED UPON BY OWNER AND LOCAL CODE OFFICIALS.
- DRAINAGE SWALES SHALL HAVE A MINIMUM DEPTH OF 12" AND MINIMUM WIDTH OF 4'. SWALES SHALL HAVE A LINEAR SLOPE OF MINIMUM 2% (1' RISE PER 50' RUN) AND MAXIMUM SIDE SLOPE OF 1' RISE PER 3' RUN.



# PIPE BEDDING DETAILS FOR WATER, SANITARY, AND STORM LINES

MRB|group, P.C.

TYPE OF UTILITY: Sanitary and Storm Sewer PIPE MATERIAL:

APPLICABLE PIPE SIZE: 4" I.D. 15" TRENCH WIDTH (2): Min. O.D. +18' Max. O.D. +24' TRENCH CONDITIONS: Select Earth (3)

**BEDDING SPECIFICATION:** The trench bottom shall be true, even, and free of large stones, large dirt clods, and any other frozen material as approved by the Engineer. A minimum of three (3) inches of No. 1 and No. 1A crushed stone mixed equally (NYSDOT Gradation Table 703-4) shall be installed and tamped to provide satisfactory bedding for the pipe which is firm and gives continuous support of the pipe barrel. Depressions shall be hollowed in the trench bottom for pipe bells at all joints in this granular lift.

Backfill Specification: Initial backfill from the top of the pipe bedding material to the spring line of the pipe shall consist of No. 1 and No. 1A crushed stone (NYSDOT Gradation Table 703-4) mixed equally.

From the spring line of the pipe to 12" above the top of the pipe approved select backfill material, free of large stones, dirt clods, or frozen material with any dimension greater than 1-

The remainder of the backfill material need not be as carefully selected as the initial backfill. Large stones shall be avoided that could damage the installed pipe when dropped or when force through the soil cushion of the initial backfill.

The consolidation of the final backfill above the initial material has no effect, except for weight, on flexible pipe performance. Therefore, its placement and compaction requirements shall be as dictated with consideration of the proposed surface use.

# PIPE BEDDING DETAILS FOR WATER, SANITARY, AND STORM LINES

MRB|group, P.C.

TYPE OF UTILITY: PIPE MATERIAL: PVC Pressure Pipe APPLICABLE PIPE SIZE: 4" I.D. 24" TRENCH WIDTH (2): Min. O.D. +12" Max. O.D. +24"

TRENCH CONDITIONS: Select Earth

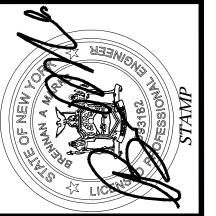
**BEDDING SPECIFICATION:** The trench bottom shall be true, even, and free from stones, large dirt clods, or any frozen material with any dimension greater than ½" for PVC and 1-1/2" for RTRP. Generally, loose material left by the excavator on the trench bottom or soft material shoveled down from the side-walls will be adequate for bedding the pipe barrel so that it is fully supported. Depressions shall be provided in the trench bottom for pipe bells at each joint and to allow for withdrawal of pipe slings. This is to assure that the pipe barrel lies flat on the trench

BACKFILL SPECIFICATION: Initial backfill material shall be select earth fill free from rocks, dirt clods, or frozen material with any dimension greater then ½" for PVC and 1-1/2" for RTRP. It shall extend 12-inches above the top of the pipe and be properly tamped. If such material is not available on site, then approved crushed stone screenings (NYSDOT Gradation Table 703-4) or coarse sand shall be provided.

The balance of the backfill need not be as carefully selected as the initial material. It shall be placed in uniform layers in such a manner as to provide a uniformly dense backfill load on the pipe and avoid unfilled spaces in the backfill. Rolling equipment shall not be used until a minimum of 30" for RTRP and 18" for PVC of backfill material cover the top of the pipe.



| MarksEngineering | 42 BEEMAN STREET | CANADAIGUA, NY 14424 (585)905-0360 | INFO@MARKSENGINEERING.COM



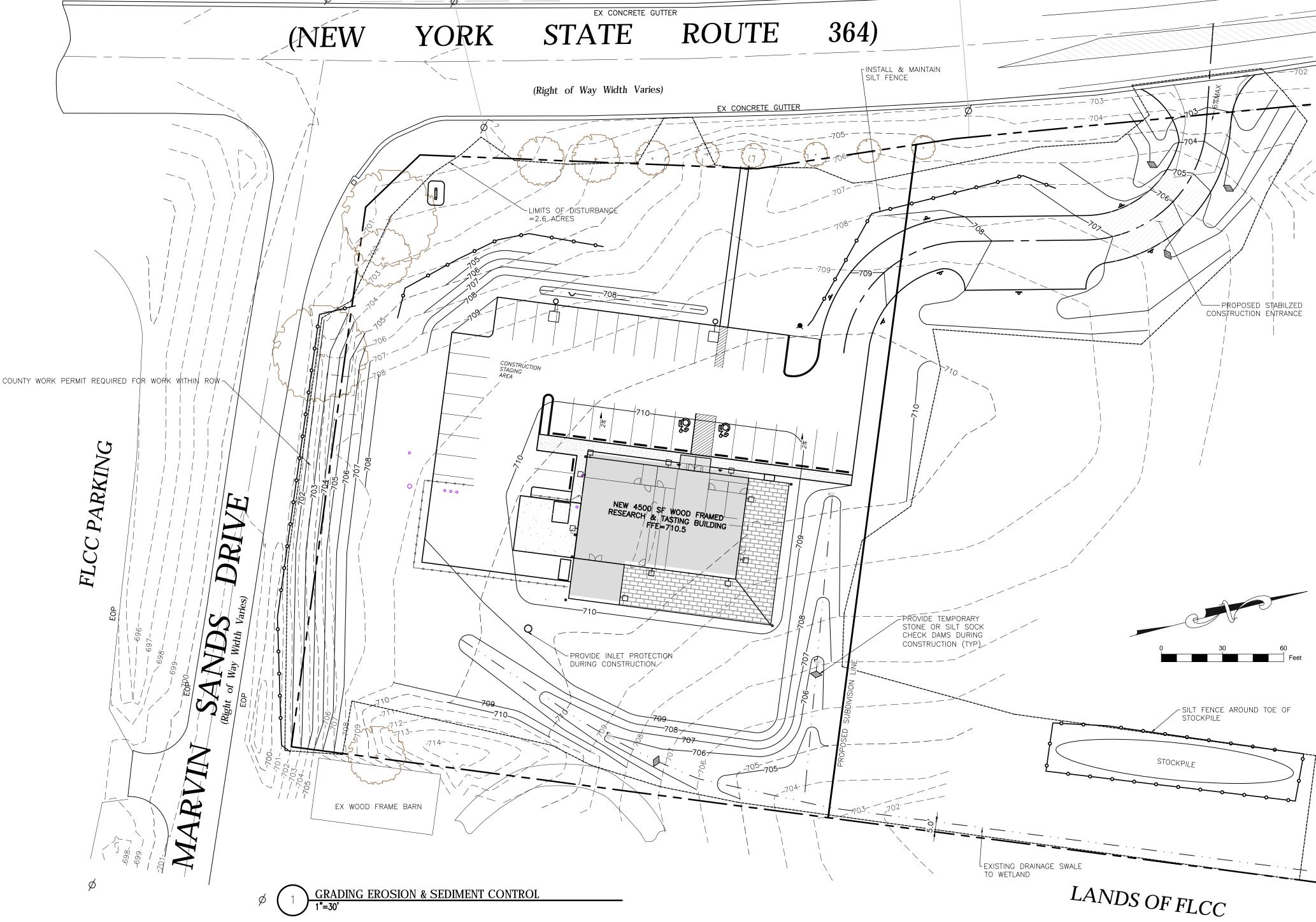
	BY	MCF			
REVISIONS AND APPROVALS	DESCRIPTION OF REVISION OR APPROVAL	PER PRC			
/ISIONS A	DATE	06/22/18			
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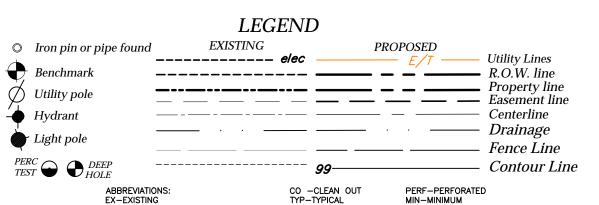
DRAWING TITLE: GRADING PLAN

DRAWN BY: MCFBAMDESIGNED BY: BAMAS NOTED 16-073 JOB NO.: 06/15/2018 DATE: 98.11-2-8.000 TAX MAP#:

*C300* 

# EAST LAKE ROAD





PP-CORRUGATED POLYETHYLENE PIPE R-RADIUS MAX-MAXIMUM INV-INVERT CB-CATCH BASIN R-RADIUS
BC-BOTTOM OF CURB
TC-TOP OF CURB
TW-TOP OF WALL
BW-BOTTOM OF WALL
BS-BOTTOM OF STAIRS O.C.—ON CENTER
SICPP—SMOOTH INTERIOR CORRUGATED
POLYETHYLENE PIPE
UG—UNDERGROUND MH-MANHOLE DI-DRAINAGE INLET LANDSCAPING PLAN NOTES:

1.ONE YEAR GUARANTEE TO BE PROVIDED BY THE CONTRACTOR ON ALL PLANT MATERIAL FROM DATE OF FINAL ACCEPTANCE.

2. ALL EXISTING PAVEMENT, BASE STONE AND UNSUITABLE SUBGRADE MATERIAL IN NEW PLANTING BEDS TO BE REMOVED TO PROVIDE DEPTH FOR SUITABLE PLANTING BACKFILL MATERIAL AS DIRECTED AND APPROVED BY THE LANDSCAPE ARCHITECT.

3. ALL PLANTS SHALL MEET OR EXCEED THE REQUIREMENTS SET FORTH IN THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN, ANSI Z60.1.

4. PLANTING BACKFILL MIXTURE TO CONSIST OF 4 PARTS TOPSOIL AND 1 PART PEAT MOSS. PROVIDE 10 LBS. OF 5-10-5 FERTILIZER PER 1 CUBIC YARD OF PLANTING BACKFILL TO A MINIMUM DEPTH OF 2'-0".

5. LANDSCAPING CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND BONDS FOR ALL LANDSCAPING WORK IF REQUIRED BY THE TOWN OF CANANDAIGUA.

6. LANDSCAPING CONTRACTOR WILL INFORM THE ENGINEER/LANDSCAPE ARCHITECT ABOUT ENCOUNTERING ANY UNDERGROUND UTILITIES OR STRUCTURES NOT PREVIOUSLY IDENTIFIED OR FIELD LOCATED. 7. ALL SHRUB PLANTING BEDS TO RECEIVE 2" LAYER OF CLEAN, WASHED PEA GRAVEL MULCH ON

8. ALL PERMANENT LAWN AREAS ARE TO RECEIVE 6" OF TOPSOIL AND THE FOLLOWING LAWN SEED MIX: 65% KENTUCKY BLUEGRASS AT 2.5 LBS PER 1,000 S.F. 20% PERENNIAL RYEGRASS AT 1.0 LBS PER 1,000 S.F. 15% FINE FESCUE AT 0.6 LBS PER 1,000 S.F.

> BASE OF PLANT PIT SHALL BE SCARIFIED TO A DEPTH DF 12" MINIMUM.

- REINFORCED RUBBER HOSE

- TREE WRAP (50% OVERLAP)

FINISHED GRADE

BASE OF PLANT PIT SHALL BE SCARIFIED TO A DEPTH OF 12" MINIMUM.

- 2" MULCH

TOPSOIL

:PLANT TYPE ABBREVIATION :PLANT TYPE QUANTITY

TYPICAL TREE PLANTING DETAIL N.T.S.

TYPICAL SHRUB PLANTING DETAIL

PERMEABLE WEED BARRIER.

3 FOR TREES OVER 2 1/2" CAL.

3" SAUCER RIM

REMOVE TOP 1/3 -OF BURLAP

THIN BRANCHES AND FOLIAGE

(NOT ALL END TIPS) BY 1/3
RETAINING NATURAL PLANT SHAPE.

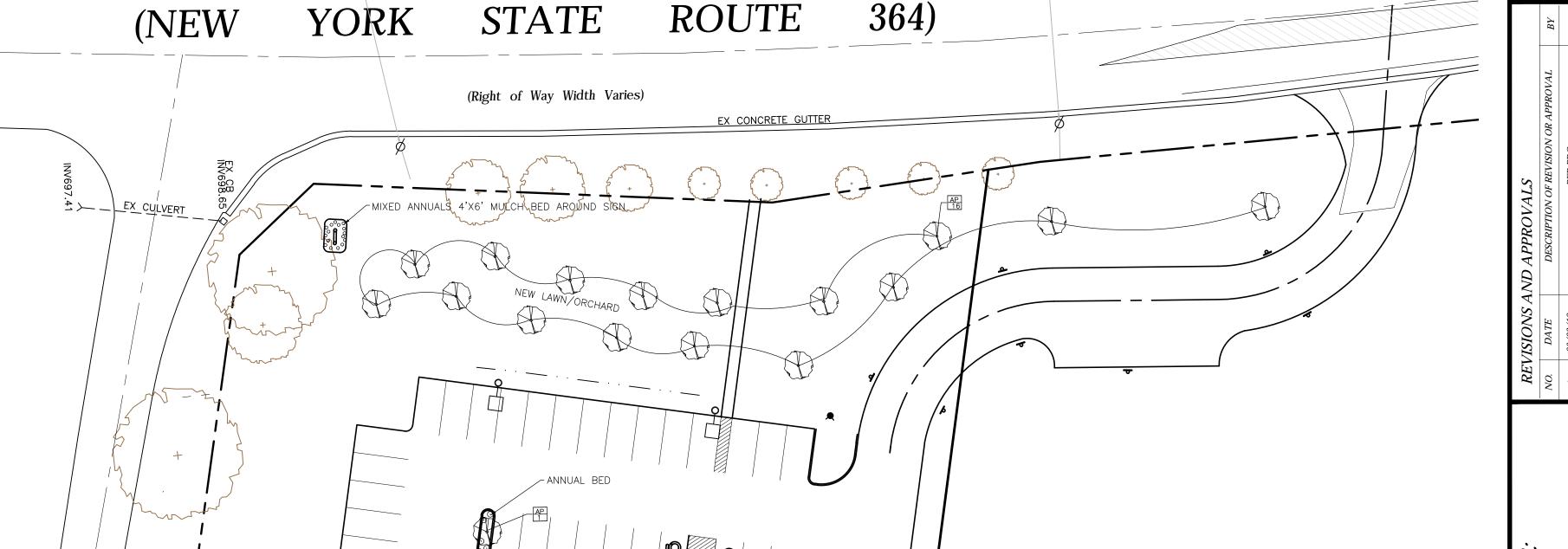
3" SAUCER RIM ----

NEVER CUT EVERGREEN LEADER.

PLANT MATERIAL LIST COMMON NAME | ROOT | NOTES KEY QUAN. LATIN BOTANICAL NAME CALAMAGROSTIS X ACUTIFOLIA KFG | 30 'KARL FOERSTER' REED GRASS AP | 18 | EUROPEAN & HYBRID CIDER APPLES| AS SELECTED GRAFTED ROOT STOCK

# EAST LAKE ROAD

EX CONCRETE GUTTER



# TOWN OF CANANDAIGUA STANDARD NOTES

ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF RETAINING NATURAL TREE THE TOWN OF CANANDAIGUA AND THE APPROPRIATE WATER/SEWER AGENCIES, UNLESS OTHERWISE NOTED. 2. DEVELOPMENT IN THE CANANDAIGUA LAKE WATERSHED THAT REQUIRES POST CONSTRUCTION WATER QUALITY MEASURES SUCH AS SMF'S, THE DEVELOPER IS REQUIRED TO PROVIDE DAILY ONSITE OBSERVATION BY A LICENSE EVERGREEN LEADER. PROFESSIONAL OR A CERTIFIED PERSONS IN EROSION AND SEDIMENT CONTROL (CPESC) UNTIL SUCH TIME THAT THE MASS GRADING IS COMPLETED

DEVELOPMENT IN THE CANANDAIGUA LAKE WATERSHED DISTURBING MORE THAN 5-ACRES AT ONE TIME, SHALL BE REQUIRED TO COORDINATE THE REGULAR SWPPP OBSERVATIONS REQUIRED BY THE GENERAL PERMIT (GPO-08-001) WITH THE CANANDAIGUA LAKE WATERSHED INSPECTOR AND THE WATERSHED PROGRAM MANAGER. 4. <u>SEQUENCE</u> — THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES IN THE FOLLOWING SEQUENCE UNLESS AUTHORIZED OTHERWISE AT THE PRE —CONSTRUCTION MEETING:

- INSTALL PERIMETER SEDIMENT CONTROLS, (I.E. EROSION FENCING).
  INSTALL STABILIZED CONSTRUCTION ENTRANCE.
  PROTECT VEGETATION TO REMAIN.
  CLEAR GRUB AND CONSTRUCT DIVERSIONARY SWALES AND SEDIMENT BASINS.

- CLEAR GRUB AND CONSTRUCT DIVERSIONARY SWALES AND SEDIMENT BASINS.

  COMPLETE CLEARING AND GRUBBING OPERATION.

  PLACE EROSION CONTROL MEASURES AROUND TOPSOIL STOCKPILES AND STRIP TOPSOIL LOCATIONS.

  CONSTRUCT SWALES AND SILTATION DEVICES AS EARTHWORK OPERATIONS PROGRESS.

  MAINTAIN EROSION CONTROL MEASURES AND PLACE ADDITIONAL MEASURES AS EARTHWORK AND

  UNDERGROUND UTILITIES ARE CONSTRUCTED.

  RESTORE AREAS AS DEFINED BY CONTRACT DOCUMENTS.

  REMOVE EROSION CONTROL MEASURES AS AREAS ARE REESTABLISHED WITH GROUND COVER.

  IF SITE PREPARATIONS OCCUR BETWEEN SEPTEMBER I AND MARCH 31, ADDITIONAL EROSION CONTROLS

  MUST BE TAKEN INCLUDING REDUCING THE SIZE OF DISTURBED AREAS AND PLACING HEAVY STRAW MULCH

  WHERE PRACTICAL.

5. PLANS SHOULD INCLUDE RE-SEEDING INSTRUCTIONS INCLUDING MATERIALS AND A TIMETABLE FOR VARIOUS

SEED ALL CUT AND FILL, TOPSOIL PILES AND PONDS WITHIN FOURTEEN (7) DAYS AFTER COMPLETION.
 TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:

THE SURFACE TWO INCHES OF SOIL SHOULD BE LOOSENED BY DISKING, RAKING, OR BACK-BLADING WITH A BULLDOZER. IMMEDIATELY FERTILIZE WITH 300 POUNDS PER ACRE (OR 7 POUNDS PER 1,000 SQUARE FEET) OF 10-10-10 FERTILIZER. IMMEDIATELY SEED WITH THE FOLLOWING MIX: LBS/1,000 SQ. ACRE

LATE FALL/EARLY WINTER
CEREAL RYE SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85 PERCENT AND MINIMAL INERT MATERIAL. DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEEDING MIX UPON COMPLETION OF

LBS/1,000 SQ. ACRE 0.20 OR 0.20 0.45 0.05 OR 0.10 BIRDSFOOT TREFOIL OR COMMON WHITE CLOVER REDTOP OR RYEGRASS (PERENNIAL) 2 OR 5

SEEDING RATE:
MULCH:
STRAW OR WOOD FIBER MULCH USED WITH HYRDO SEEDING METHOD AT TWO
TONS PER ACRE WITH TRACKIFIER.
STARTING FERTILIZER:
5:10:10 AT 20 POUNDS PER 1,000 SQUARE FEET.

• FOR FALL OR EARLY WINTER, SEED WITH CERTIFIED "AROOSTOCK" WINTER RYE (CEREAL RYE) AT 100 POUNDS PERMANENT STABILIZATION FOR STEEP SLOPES GREATER THAN 3:1 SHALL INCLUDE JUTE MESH BLANKET AND CROWN VETCH SEED WITH PERENNIAL RYEGRASS.

4. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.

5. EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CALL THE DIG SAFELY NEW YORK (UFPO) HOTLINE AT 1-800-962-7962 FOR STAKEOUT OF EXISTING UTILITIES. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET THE EXISTING CONDITIONS.

3. DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE TOWN OF CANANDAIGUA.

7. THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION. 8. ROOF LEADERS SHALL BE CONNECTED TO STORM SEWERS.

D. NO SITE PREPARATION SHALL COMMENCE UNTIL A VISUAL INSPECTION BY THE TOWN OF CANANDAIGUA, CONFIRMS THE INSTALLATION OF PERIMETER SEDIMENT CONTROLS. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF VEGETATION, THE SILT SINK IN THE

STORMWATER MANAGEMENT AREA SHALL BE CLEANED OF ACCUMULATED SILT AND SEEDED WITH WETLAND TYPE VEGETATION TO PROVIDE PERMANENT FILTRATION OF STORMWATER. 1. THE HOMEBUILDER WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING INDIVIDUAL LOT EROSION & SEDIMENT CONTROL MEASURES, DURING HOUSE CONSTRUCTION. MEASURES TO BE MAINTAINED UNTIL FINAL LOT

LAWN GRADING AND SEED IS COMPLETE. 12. ANY ADDITIONAL EROSION OR SEDIMENT CONTROL DEEMED NECESSARY BY THE TOWN OR A REPRESENTATIVE THEREOF SHALL BE PROVIDED BY THE OWNER.

13. SEDIMENT CONTROL MEASURES ARE TO BE ESTABLISHED PRIOR TO COMMENCING EARTHWORK. SEDIMENT CONTROL MEASURES ARE TO BE MAINTAINED BY THE CONTRACTOR UNTIL UPSTREAM GROUND COVER HAS BEEN ESTABLISHED AND REMOVAL IS APPROVED BY THE TOWN OF CANANDAIGUA.

14. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, REPLACING AND SUBSEQUENTLY REMOVING TEMPORARY EROSION & SEDIMENT CONTROL DEVICES. 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ADJOINING PROPERTIES, ROADWAYS, DRAINAGE WAYS

AND SINKS OF SILT ACCUMULATION AS NEEDED AND AS DETERMINED/REQUESTED BY THE TOWN OF CANANDAIGUA. 16. ANY FINAL GRADE DEVIATIONS OF HOUSE PAD ELEVATIONS MORE THAN 12 INCHES SHALL BE APPROVED BY

NEW LAWN NEW 4500 SF WOOD FRAMED
RESEARCH & TASTING BUILDING FFE=710.5 NEW LAWN CULVERT EX WOOD FRAME BARN R LANDSCAPING PLAN LANDS OF FLCC

DRAWING TITLE: *LANDSCAPING* PLAN

RESEA

MarksEngineering
BEEMAN STREET
NADAIGUA, NY 14424
55905-0360

DRAWN BY: MCFBAMDESIGNED BY: BAMCHECKED BY: AS NOTED SCALE: 16-073 JOB NO.: 06/15/2018 DATE: 98.11-2-8.000 TAX MAP#:

*L100* 

# **TOWN SPECIFICATIONS:**

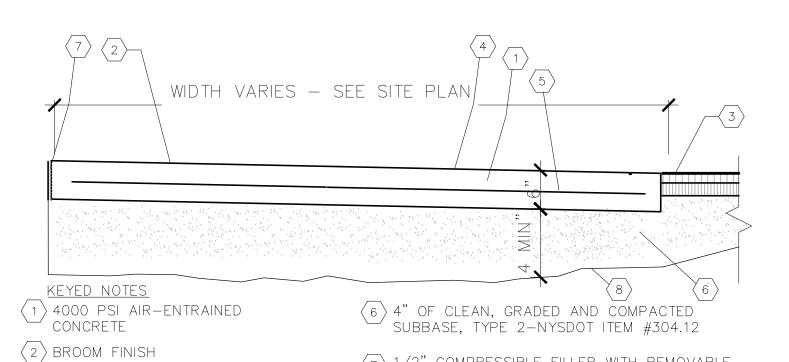
- .3 STORM DRAINS
- ) REINFORCED CONCRETE PIPE (RCP) SHALL BE SUPPLIED IN CONFORMANCE WITH ASTM C-76 CLASS II. JOINTS SHALL BE OF THE BELL AND SPIGOT TYPE WITH COMPRESSION TYPE JOINT ASTM C-443
- ) POLYVINYL CHLORIDE (PVC) PIPE SHALL MEET THE REQUIREMENTS OF ASTM D-3034 OR ASTM F-679, MINIMUM WALL THICKNESS SDR-35 WITH ELASTOMERIC GASKET JOINT, ASTM D-3212 OR ASTM F-794 FOR RIBBED GRAVITY PIPE. PVC PIPE SHALL NOT BE
- USED AS DRIVEWAY CULVERTS ) HIGH DENSITY POLYETHYLENE (HDPE) PIPES SHALL BE SMOOTH LINED (SMOOTH BORE) AND SHALL CONFORM TO THE
- REQUIREMENTS OF ASTM F-405 OR ASTM F667
- d) STORM LATERALS i) PVC CONFORMING TO ASTM D-3034, MINIMUM 4 INCHES IN DIAMETER WITH FABRICATED TEES AND WYES.
- ii) HDPE SHALL CONFORM TO ASTM F-405 WITH FABRICATED TEES AND WYES
- e) CATCH BASIN LEADS SHALL BE A MINIMUM OF 12 INCHES IN DIAMETER. ACCEPTABLE MATERIALS ARE:
- REINFORCED CONCRETE PIPE (RCP).
- ii) POLYVINYL CHLORIDE PIPE (PVC). iii) HIGH DENSITY POLYETHYLENE PIPE (HDPE).
- 3.4 MANHOLES

a) MANHOLES

- PRECAST REINFORCED CONCRETE SECTIONS SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM SPECIFICATIONS C-478. RISER SECTIONS SHALL HAVE TONGUE AND GROOVE ENDS AND SUPER "O" JOINTS AND GASKETS CONFORMING TO ASTM C-443. MANHOLE BASES MAY BE PRE-FORMED OR POURED IN THE FIELD. ROOF SLABS SHALL BE PRECAST STRUCTURAL CONCRETE, REINFORCED FOR H-20 AND 30 PERCENT IMPACT LOADING. A 24 INCH DIAMETER HOLE SHALL BE ECCENTRICALLY
- LOCATED IN THE ROOF SLAB. IN PLACE OF PREFORMED OPENINGS IN BASE SECTIONS, FLEXIBLE MANHOLE SLEEVES MAY BE CAST DIRECTLY INTO THE BASE WALLS MAY BE USED WITH COMPATIBLE PIPE MATERIAL I ALL MANHOLES SHALL BE SEALED INSIDE AND OUTSIDE COMPLETELY WITH TWO COATS OF HEAVY—DUTY WATER REPELLENT PROTECTIVE COATING WHICH COMPLIES WITH ASTM SPECIFICATION D-450, TYPE B.
- i) MANHOLES CONSTRUCTED OF OTHER MATERIALS SHALL BE CONSIDERED FOR APPROVAL FOLLOWING A REVIEW OF SAID MANHOLE CONSTRUCTION. IN SPECIFYING THESE MANHOLES, THE DEVELOPER'S ENGINEER SHALL SUBMIT ADEQUATE DESIGN DATA AND/OR SHOP DRAWINGS TO SUBSTANTIATE THE MATERIALS.
- iv) see appendix n for typical storm sewer manhole and catch basin manhole
- b) MANHOLE LADDERS AND STEPS
- MANHOLE LADDERS OR STEPS SHALL BE PROVIDED IN ALL SANITARY AND STORM MANHOLES AND SHALL BE CONSTRUCTED OF ONE OF THE FOLLOWING MATERIALS.
- (1) NON-CORRODIBLE, ALUMINUM MAGNESIUM ALLOY LADDERS, WITH INTERMEDIATE SUPPORTS AT 5-FOOT INTERVALS. (2) FORGED ALUMINUM WITH DROP FRONT DESIGN AND GROOVE TREAD SURFACE.
- (3) CAST IRON WITH ASPHALT COATING
- I STEPS SHALL BE CAST INTO WALLS OF RISER SECTIONS AND SHALL BE ALIGNED IN EACH SECTION TO FORM A CONTINUOUS LADDER WITH RUNGS EQUALLY SPACED VERTICALLY IN THE ASSEMBLED MANHOLE AT A DISTANCE OF 12 INCHES APART.
- ) STORM MANHOLE FRAMES AND COVERS SHALL BE SYRACUSE CASTING 1032, STAMPED STORM, WITH A VENTED COVER OR OTHER APPROVED EQUAL. THE INSIDE DIAMETER FOR CLEARANCE SHALL BE A MINIMUM OF 24 INCHES.
- I CATCHBASIN FRAMES AND GRATES SHALL BE RECTANGULAR, GALVANIZED (ASTM A—123) AND SIZED TO FIT GUTTER INLETS OR FIELD INLETS. THE GUTTER GRATES SHALL BE NYSDOT SIZE NO. 1 TO FIT THE CATCH BASIN INSIDE DIMENSIONS OF 18" X 24". THE MINIMUM FIELD INLET SHALL BE NYSDOT SIZE NO. 9 TO FIT A FIELD INLET OF 24" X 24" INSIDE
- ii) CATCHBASIN MANHOLES SHALL BE SET TO ALLOW A NYSDOT SIZE NO. 1 GRATE TO BE INSTALLED.
- iv) FRAMES AND GRATES SHALL BE AS SPECIFIED IN NYSDOT SPECIFICATIONS DRAWING 655—6R1 AND SECTION 655 OF THE NYSDOT STANDARD SPECIFICATION MANUAL. ALL GRATES SHALL BE BOLTED TO FRAMES
- ) CATCHBASINS INSTALLED WITHIN THE CANANDAIGUA LAKE WATERSHED SHALL BE IN STALLED WITH A PERMANENT METALLIC MARKER INDICATING "NO DUMPING - DRAINS TO LAKE".
- i) DUCTILE IRON (DIP) PIPE SHALL CONFORM TO AWWA C-151/A21.51 AND THE MINIMUM ALLOWABLE THICKNESS SHALL BE CLASS 52. PIPE SHALL BE CEMENT LINED IN ACCORDANCE WITH AWWA C-104/A21.4 AND SHALL HAVE RUBBER GASKET PUSH-ON JOINT IN ACCORDANCE WITH AWWA C-111/A21.11. IF SOIL CONDITIONS WARRANT, POLYETHYLENE WRAP SHALL BE REQUIRED. ) POLYVINYL CHLORIDE (PVC) PIPE SHALL MEET SPECIFICATIONS OF AWWA C-900 MADE FROM PVC COMPOUND 12454-B (ASTM
- D1784) WITH GASKET JOINTS MEETING ASTM D3139 ) MOLECULARLY ORIENTED POLYVINYL CHLORIDE (PVCO) PIPE PVCO SHALL MEET SPECIFICATIONS OF AWWA C-909 MADE FROM PVC
- COMPOUND 12454-B (ASTM D1784) WITH GASKET JOINTS MEETING ASTM D3139 H) HIGH-DENSITY POLYETHYLENE (HDPE) PIPE SHALL MEET SPECIFICATIONS OF AWWA C-906 MADE FROM COMPOUND 345464-C (ASTM D3350) WITH FITTINGS TO BE USED WILL BE IN ACCORDANCE WITH THE MATERIAL'S SPECIFICATION.
- ) DUCTILE IRON SHALL MEET AWWA C-153/A21.53 SPECIFICATIONS, MINIMUM CLASS 350, WITH MECHANICAL OR PUSH-ON JOINT,
- EXCEPT FOR HYDRANT BRANCHES WHICH SHALL BE MECHANICAL JOINT. i) FITTINGS SHALL BE CEMENT LINED IN ACCORDANCE WITH AWWA C-104/A21.4
- iii) BOLTS AND NUTS SHALL BE HIGH—STRENGTH, LOW ALLOY STEEL.
- iv) ALL JOINTS SHALL CONFORM TO THE REQUIREMENTS OF AWWA C-111/A21.11.
- ) DETECTOR TAPE SHALL BE BLUE IN COLOR, SIX INCHES (6") WIDE DETECTABLE MARKER TAPE AS MANUFACTURED BY TERRA TAPE
- OR EQUAL, SHALL BE INSTALLED ALONG MAIN LINE WATERMAIN (12" ABOVE TOP OF PIPE). TRACER WIRE SHALL BE SOLID COPPER WIRE (#8 GAUGE MINIMUM) INSULATED WITH HIGH DENSITY POLYETHYLENE PER ASTM D-1248 ATTACHED TO THE PIPE AT 5 FOOT INTERVALS WITH PLASTIC TIES WITH A MINIMUM OF 150# TENSILE STRENGTH. WIRE SHALL BE ATTACHED TO ALL CAST FITTINGS, HYDRANTS AND VALVE BOXES TO MAKE A CONTINUOUS TRACEABLE SYSTEM.
- B GATE VALVE AND BOX
- ) GATE VALVES SHALL CONFORM TO AWWA C-509 OR LATEST REVISION AND SHALL HAVE NON-RISING STEMS; "O" RING PACKING, AND OPEN LEFT. THEY SHALL BE OF THE 350 PSI TEST CLASS WITH A MINIMUM WORKING PRESSURE OF 250 PSI. VALVES SHALL BE MANUFACTURED BY MUELLER CO., MODEL 2360, OR TOWN APPROVED EQUAL, WITH MJ ENDS, A 2" SQUARE
- OPERATING NUT. ) VALVE BOXES SHALL BE BIBBY-STE-CROIX MODEL NUMBER VB3000 SERIES, OR APPROVED EQUAL, TWO-PIECE SCREW-TYPE, CAST-IRON CONSTRUCTION, VALVE BOX, WITH A 5-1/4 INCH INSIDE DIAMETER AND COVERS MARKED "WATER". IF THE VALVES ARE BURIED DEEP THEY MUST HAVE A VALVE BOX EXTENSION.
- TAPPING SLEEVE AND VALVE
- a) ALL VALVES SHALL HAVE MECHANICAL JOINT ENDS AND BE FURNISHED WITH SUFFICIENT QUANTITIES OF ACCESSORIES. FOR CAST/DUCTILE IRON PIPE AND PVC PIPE TS&V SHALL BE MUELLER H-615 SLEEVE WITH A T-2360-16 TAPPING VALVE, OR TOWN APPROVED EQUAL. FOR AC PIPE TS&V SHALL BE MUELLER H-619 WITH T-2360-16 TAPPING VALVE OR TOWN APPROVED
- 10 ANCHORING FITTINGS
- a) ANCHORING PIPE IN ACCORDANCE WITH ANSI-A21.4, OR LATEST REVISION, SHALL BE EMPLOYED TO ANCHOR ALL HYDRANTS TO GATE VALVES. THE ANCHORING PIPE SHALL BE COAL TAR COATED, CEMENT LINED AND PROVIDED WITH A ROTATING GLAND. THERE SHOULD BE A MINIMUM 18 INCHES BETWEEN HYDRANT AND GATE VALVE. THESE ANCHORING PIPES SHALL BE MANUFACTURED BY THE TYLER COMPANY, MODEL 5-198, OR CLOW, MODEL F-1216, OR APPROVED EQUAL.
- .14 CONCRETE GUTTERS AND SIDEWALKS a) CONCRETE:
- i) SHALL BE A MINIMUM OF 4000 PSI (28—DAY STRENGTH) CLASS A CONCRETE CONFORMING TO NYSDOT SPECIFICATION SECTION
- i) AIR ENTRAINING ADMIXTURE CONFORMING TO ASTM SPECIFICATION C-260.
- iii) EXPANSION JOINTS SHALL CONFORM TO NYSDOT SPECIFICATION 705-07.
- BACKFILLING AND FINISHING

e) CLEANING UP

- ) GENERAL. TRENCHES SHALL BE IMMEDIATELY BACKFILLED FOLLOWING THE INSTALLATION OF UTILITIES UNLESS SPECIFICALLY CHANGED IN WRITING BY THE DESIGN ENGINEER AND APPROVED BY THE TOWN. THE ROADWAYS AND SIDEWALKS SHALL BE LEFT UNOBSTRUCTED, WITH THEIR SURFACE IN A SAFE PASSABLE CONDITION. THE TRENCH SHALL BE TAMPED SUFFICIENTLY TO
- PREVENT SETTLEMENT OF OR DAMAGE TO EXISTING OR NEWLY INSTALLED STRUCTURES ) BACKFILL SHALL BE COMPLETED IMMEDIATELY AFTER APPROVAL. ONLY SELECT EARTH MATERIAL SHALL BE DEPOSITED AROUND THE UTILITY AND APPURTENANCES COVERING THEM BY HAND FOR A DEPTH OF AT LEAST 12 INCHES ABOVE THE PIPE. THIS EARTH SHALL BE THOROUGHLY TAMPED AS IT IS BEING PLACED SO AS TO FILL THE LOWER PORTION OF THE TRENCH THOROUGHLY TO GIVE UTILITIES A CLASS B BED FOR THEIR ENTIRE LENGTH.
- RESTRICTIONS AS TO MATERIALS. NO ROCK OR FROZEN MATERIALS SHALL BE PLACED IN TRENCHES WITHIN EXISTING OR PROPOSED STREETS. SUCH MATERIAL MAY BE USED IN FIELDS WHERE IMMEDIATE COMPACTION IS NOT NECESSARY AND AT LEAST 2 FEET OF SELECT FILL HAS BEEN PLACED OVER THE PIPE.
- ) ALL UTILITY LINES OR LATERALS THAT CROSS EXISTING OR PROPOSED STREETS SHALL BE BACKFILLED WITH CRUSHER RUN STONE CONFORMING TO NYSDOT SPECIFICATION SECTION 304-03 GRADATION TYPE 2
- NATERIAL SHALL BE COMPACTED IN LIFTS OF 1 FOOT MAXIMUM TO THE ELEVATION OF THE ROAD SUBGRADE. FROM THERE THE BACKFILL SHALL CONFORM TO THE MATERIAL SPECIFICATIONS FOR INDIVIDUAL ROAD SECTIONS.
- ) AS THE WORK PROGRESSES OR AS DIRECTED BY THE DESIGN ENGINEER, ALL RUBBISH OR REFUSE, UNUSED MATERIALS AND TOOLS, SHALL BE REMOVED AT ONCE FROM ALONG AND NEAR THE TRENCH LINE CONSTRUCTION. ii) ALL ROADWAYS, INTERSECTIONS, GUTTERS, AND SIDEWALKS SHALL BE ROUTINELY CLEANED OF ACCUMULATED DEBRIS, SEDIMENT
- AND TOOLS THROUGHOUT THE CONSTRUCTION PROCESS. iii) ROUGH CLEAN UP ALONG THE ROUTE SHALL IMMEDIATELY FOLLOW INSTALLATION PROCEDURES. LARGE SPOIL BANKS WILL NOT
- PERMITTED IN DEVELOPED AREAS. iv) FINAL CLEAN UP AND LANDSCAPING SHALL PROCEED IMMEDIATELY AFTER THE INSTALLATION, TESTING AND APPROVAL OF THE
- ) EROSION CONTROL MEASURES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS AND REMOVED ONLY UPON THE APPROVAL OF THE TOWN.



# CONCRETE DUMPSTER PAD

(4) CONTRACTION JOINT AT MAX. 12'
O.C. EACH WAY (DETAIL 4 THIS SHEET, SEE PROJECT SPECIFICATIONS)

PREPARED COMPACTED SUBGRADE.

ALL SUBBASE MATERIAL SHALL BE COMPACTED TO 95% MODIFIED PROCTOR

 $\langle 7 \rangle 1/2$ " COMPRESSIBLE FILLER WITH REMOVABLE

AT ALL JOINTS WITH FILLER

CAP FOR BACKER ROD AND SEALANT, TYPICAL

CONCRETE SLAB SHALL HAVE 2% SLOPE

# STANDARD ACCESSIBLE DIMENSIONING

 $\langle 3 \rangle$  ASPHALT PAVEMENT

 $\langle 5 \rangle$  #4 12" O.C. IN BOTH DIRECTIONS

HANDICAP

1. A U.S. DEPARTMENT OF TRANSPORTATION R7-8 (RESERVED PARKING) AND SUPPLEMENTAL SIGNS AS NOTED IN DETAIL 2 THIS SHEET, MUST BE MOUNTED ON A PERMANENT POST NO LOWER THAN FIVE FEET FROM THE PAVEMENT. THE POST MUST BE MOUNTED IN THE CENTER OF THE 8 FOOT WIDE ACCESSIBLE PARKING SPACE, NO MORE THAN 5 FEET FROM THE FRONT OF THE PARKING SPACE. SEE ILLUSTRATION IN DETAIL 2 THIS SHEET.

2. ACCESSIBLE PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH A SLOPE OF 1 1/2% (2% MAXIMUM) (EXAMPLE: 1.92 INCHES MAX. VERTICAL IN 8 FEET HORIZONTAL) OR 1:50 IN ALL DIRECTIONS. THIS INCLUDES BOTH "RUNNING SLOPES" AND "CROSS SLOPES."

THE ACCESS AISLE SHALL BE DESIGNATED WITH HIGH QUALITY YELLOW DIAGONAL SURFACE PAINT STRIPING.

4. RAMPS <u>MUST NOT</u> EXTEND OUT FROM THE CURB INTO THE ACCESS AISLE OF ANY ACCESS PARKING SPACE.

. PAINTED HANDICAPPED SYMBOL ON PAVEMENT SHALL CONFORM TO THE U.S. DEPARTMENT OF TRANSPORTATION/FHA MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLICATION ENTITLED <u>PAVEMENT MARKINGS MUTCD-6-03</u>, I ACCORDANCE WITH FIGURE 3B-19, "INTERNATIONAL SYMBOL OF ACCESSIBILITY PARKING SPACE MARKING WITH BLUE BACKGROUND AND WHITE BORDER OPTIONS". THE WHITE BORDER IS DISCRETIONARY AND MAY BE ELIMINATED AT THE CONTRACTOR'S OPTION. THE BLUE BACKGROUND FIELD SHALL BE 6' SQUARE AND THE

STROKE. EACH ACCESSIBLE PARKING SPACE IS TO BE A MINIMUM OF 8' HAVE A 96" MINIMUM ACCESS AISLE FOR VANS OR 60"

SYMBOL PROPORTIONAL IN SIZE USING A 3.5" WIDE BRUSH

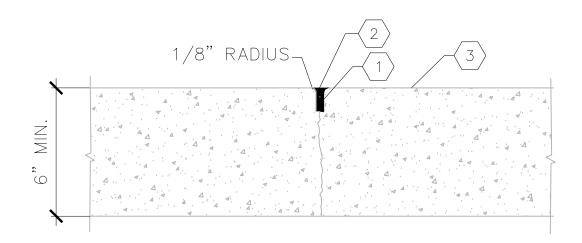
ACCESS AISLE FOR CARS ADJACENT TO THE SPACE. THE ACCESS AISLE MAY EITHER THE DRIVER'S SIDE OR THE PASSENGER'S SIDE OF THE **ACCESSIBLE** 

SIGN MUST BE SUPPLEMENTED WITH A "VAN ACCESSIBLE" SIGN

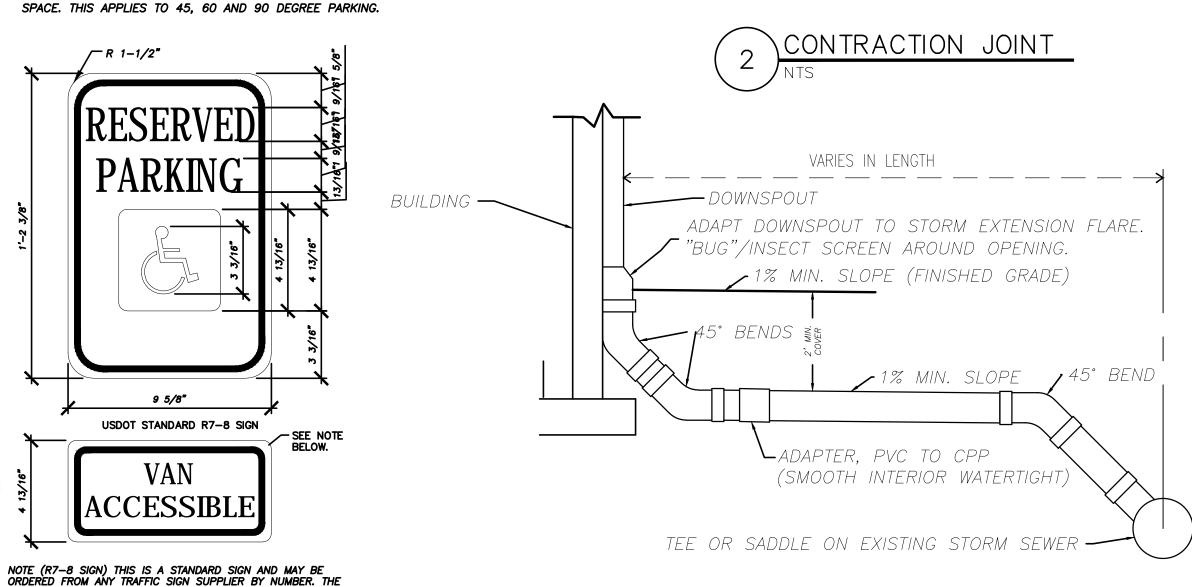
AS APPLICABLE AND/OR AMOUNT OF THE FINE FOR ILLEGALLY

ACCESSIBLE SIGNAGE

PARKING IN THE RESERVED SPACE(S) A MUNICIPALITY MAY IMPOSE. CONFIRM WITH LOCAL REGULATIONS.



- $1 \rangle 1/4$ " WIDE, 1-1/2 INCH DEEP GROOVE CREATED BY: (1) TEMPORARY EMBEDMENT OF SUITABLE MANDREL (2) INSTALLATION OF A THIN STRIP OF PREMOLDED JOINT FILLER MATERIAL (3) SAWING THE PAVEMENT AFTER THE CONCRETE HAS HARDENED.
- (2) JOINT SEALER
- FOR CONTRACTION JOINT SPACING, REFER TO DETAIL  $\stackrel{\circ}{\longrightarrow}$  6, this sheet



DOWNSPOUT CONNECTION

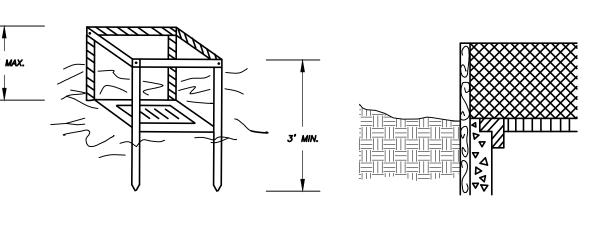


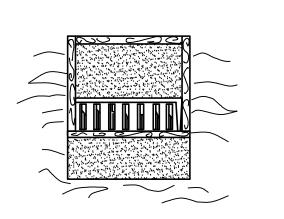
**SPECIFIED** 

#3&#4 ROUND WASHED STONE

<u>YPICAL S</u>TONE OUTLET PROTE®TION

END SECTION





MOUND CONCRETE AT

6" I.D. STEEL PIPE

FILLED WITH CONCRETE

PAINT TWO COATS OF OSHA

ON ALL EXPOSED SURFACES

6" MIN. BEDDING MATERIAL

NYSDOT 620-2.05 OR FILTER

FABRIC CONFORMING TO ASTM

D-1777 AND ASTM D-1682

-YELLOW EXTERIOR ENAMEL

TOP TO SEAL

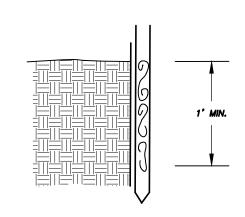
1/4" WASH

CONC. FILLED BOLLARD DETAIL

-CONCRETE FOOTING

4'-0"

4'-0"



TER FABRIC INLET PROTECTION

1. FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT-TERM APPLICATIONS.MANUFACTURED SILT SOCKS MAY ALSO BE PERMITTED.

2. CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.

3. STAKE MATERIALS WILL BE STANDARD 2x4 WOOD OR EQUIV. MINIMUM LENGTH OF 3 FEET.

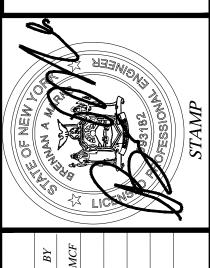
4. SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT. 5. FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW

GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED

TO THE STAKES AND FRAME. 6. A 2x4 WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVERFLOW STABILITY.

Engineering





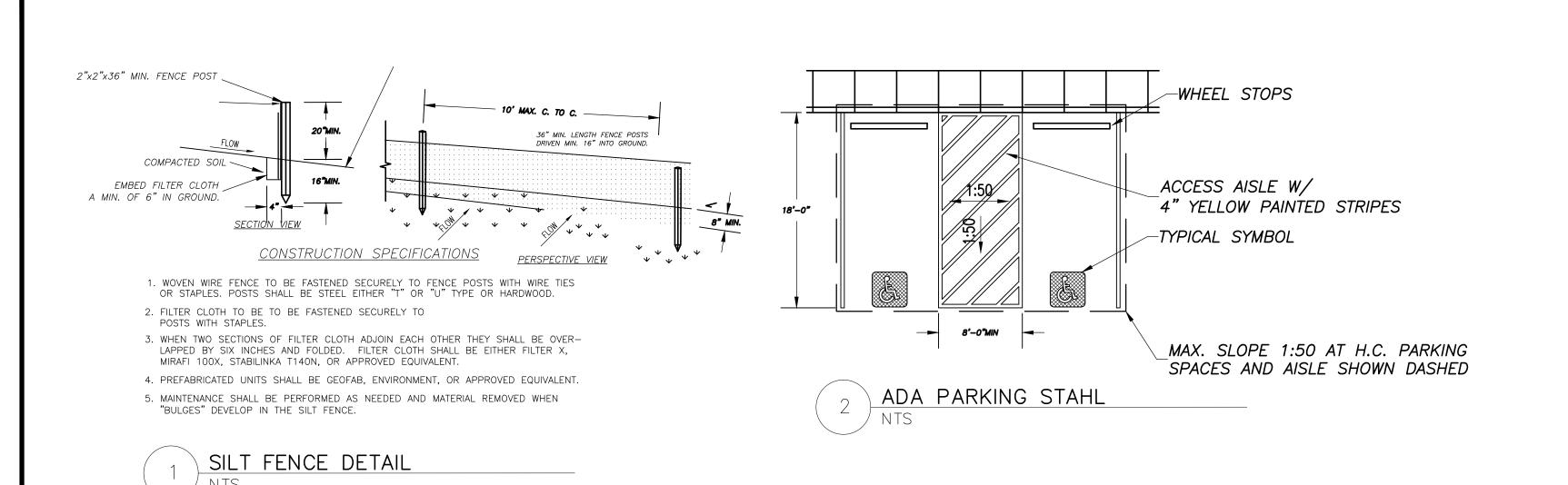
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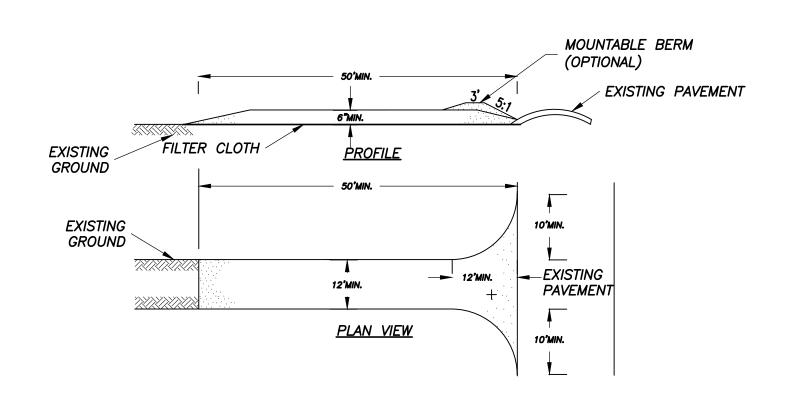
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**DETAILS** 

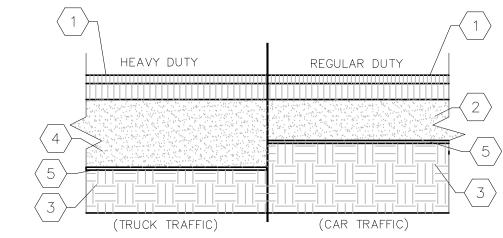
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# **CONSTRUCTION SPECIFICATIONS**

- 1. STONE SIZE USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT. 2. LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
- 3. THICKNESS NOT LESS THAN SIX (6) INCHES. 4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE
- ENTRANCE TO SITE. 5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- 6. SURFACE WATER ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED. 7. MAINTENANCE — THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY, ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACTED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. 8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON A AREA STABILIZED WITH
- STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. 9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH
  - STABALIZED CONSTRUCTION ENTRANCE



KEYED NOTES

#1 MINUS

 $\begin{pmatrix} 1 \end{pmatrix}$  2" ASPHALT MILLINGS

 $\binom{2}{9}$  9" of compacted subbase

COURSE, TYPE 2-NYSDOT

TO 95% MODIFIED PROCTOR.

ITEM #304.12 COMPACT

#40 #200 WELL-DRAINED SUB-GRADE
(SUB-CRADE TO SEE

NYS DOT ITEM 304.12

DESIGNATION

GRADATION REQUIREMENTS

PERCENT PASSING

100 25 - 60

5 - 400 - 10

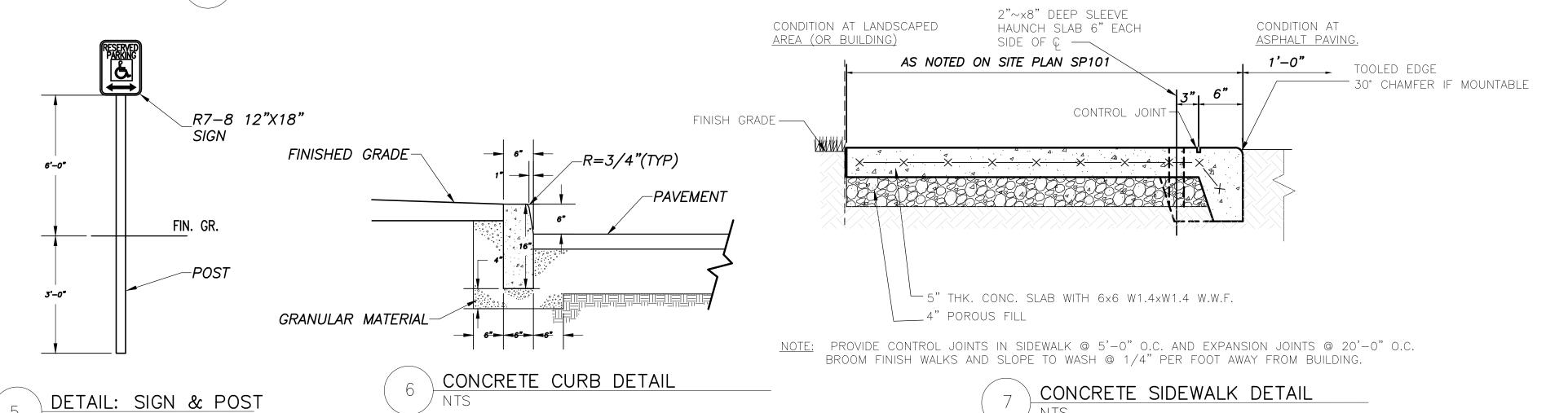
<u>BY</u> <u>WEIGHT</u>

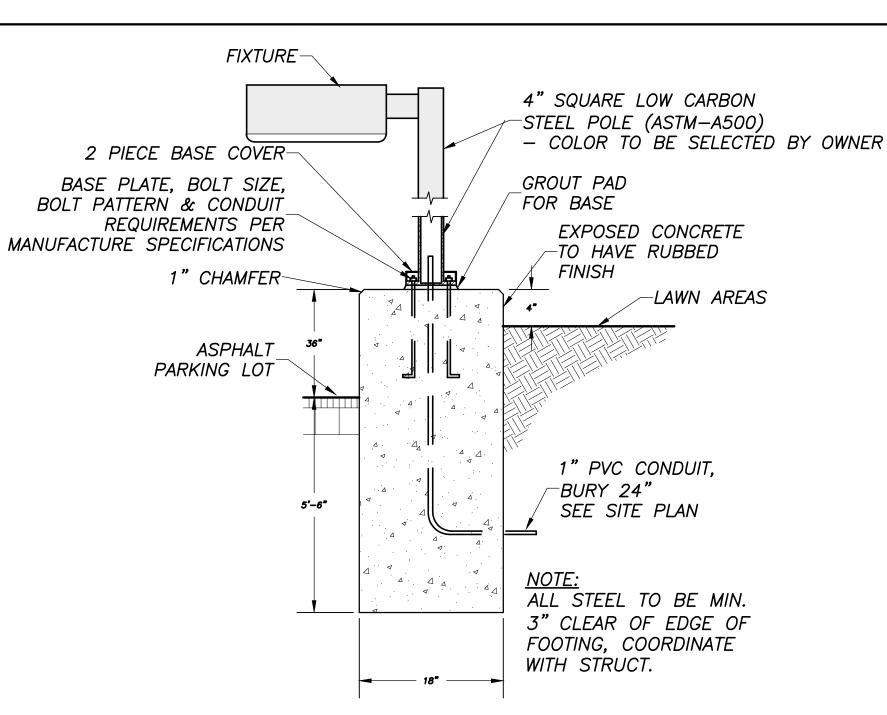
(SUB-GRADE TO 95% MODIFIED

PROCTOR MIN. COMPACTION) 4 12" OF COMPACTED SUBBASE COURSE, TYPE 2-NYSDOT ITEM #304.12. COMPACT TO 95% MODIFÏED PROCTOR

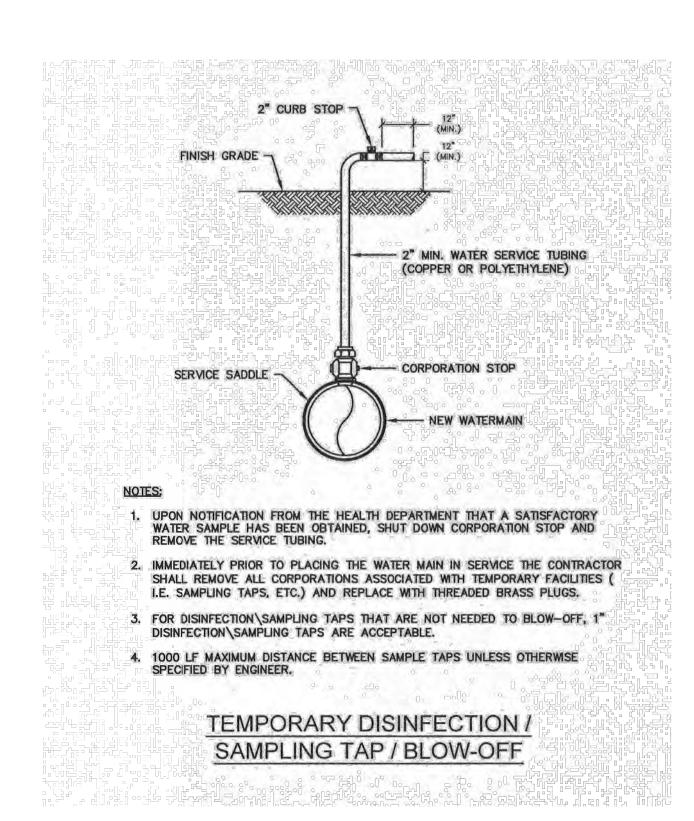
MIRAFI 500X GEOTEXTILE OR APPROVED EQUAL







DETAIL: PARKING LOT LIGHT FIXTURE & BASE







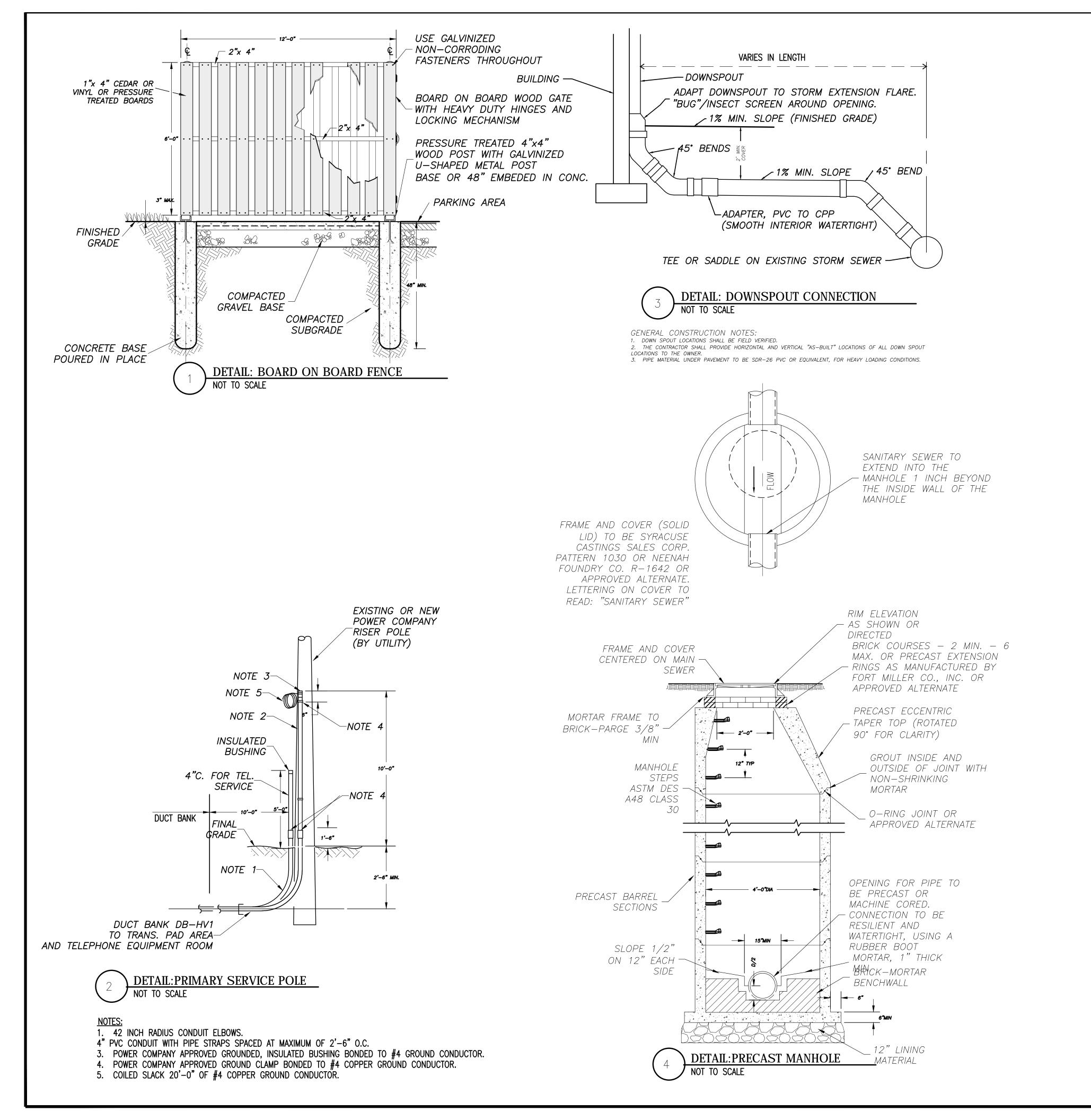
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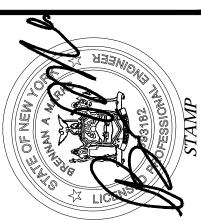
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| MarksEngineering 42 BEEMAN STREET CANADAIGUA, NY 14424 (585)905-0360 INFO@MARKSENGINEERING.COM





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NEW RESEARCH & TAS' 3365 EAST LAK TOWN OF CANAN

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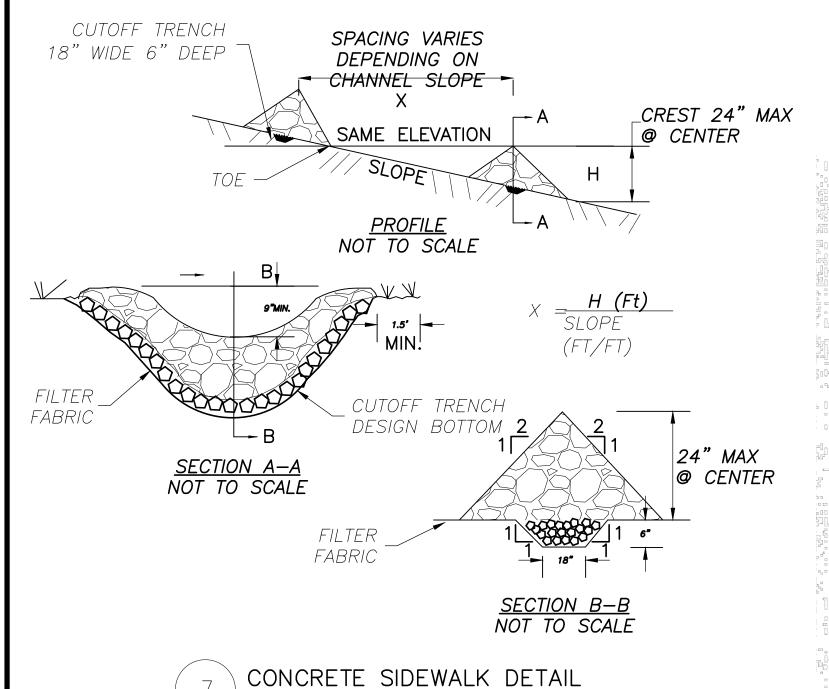
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 JOB NO.:
 16-073

 DATE:
 06/15/2018

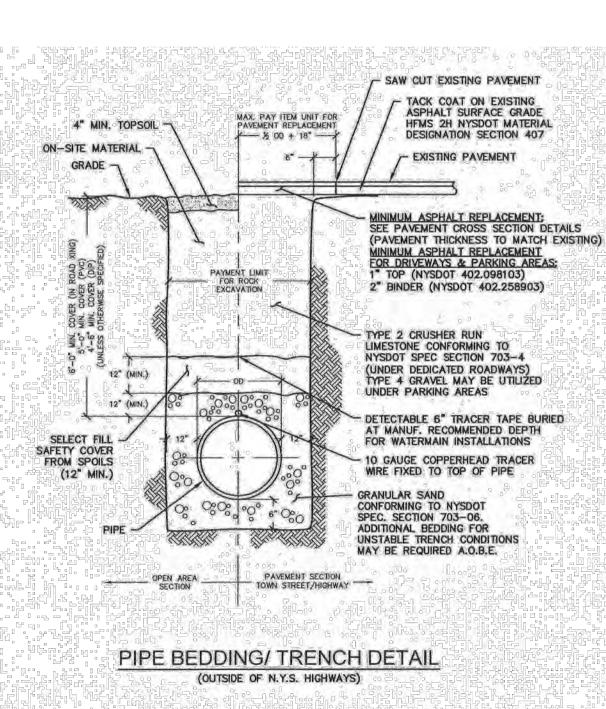
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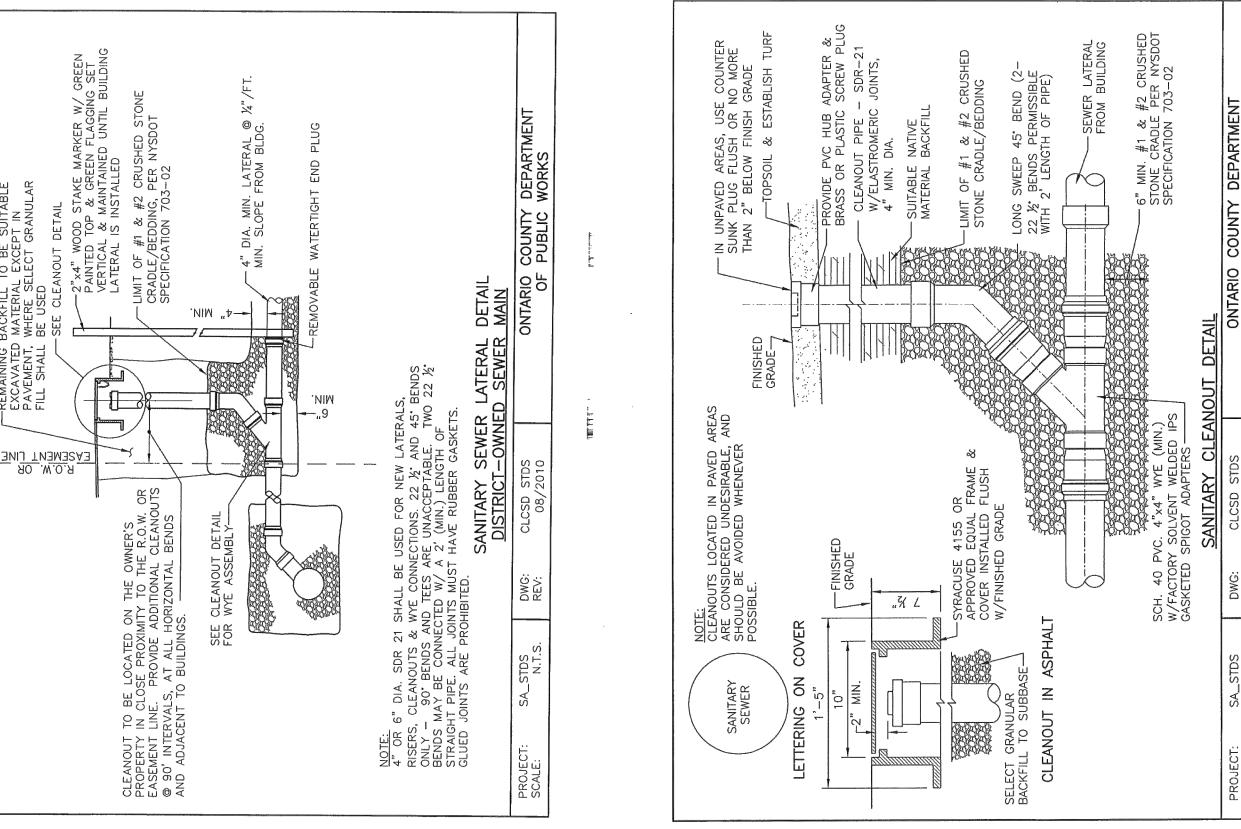


# CONSTRUCTION SPECIFICATIONS

- 1. STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATIONS SHOWN ON PLAN.
- 2. SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATIONS OF THE TOE OF THE UPSTREAM DAM.

  3. EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT
- CUTTING AROUND THE DAM. 4. PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND
- EROSION WITH STONE OR LINER AS APPROPRIATE 5. ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED ZONES





# SANITARY LATERAL NOTES

# ALL PROJECTS

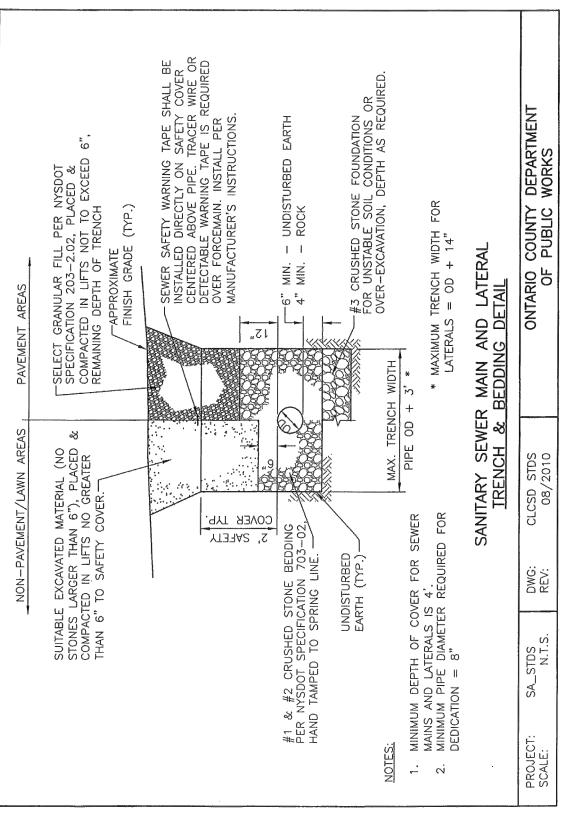
- 1. All sanitary sewer construction and/or improvements shall be in accordance with the most recent standards and specifications of the Canandaigua Lake County Sewer District, N.Y.S. Department of Environmental Conservation, N.Y.S. Department of Health, the latest edition of <u>Recommended Standards For Wastewater Facilities</u> and any other agencies having jurisdiction.
- 2. No sanitary sewer-related work may be performed without first obtaining a written permit from the Canandaigua Lake County Sewer District.
- 3. District personnel shall be notified a minimum of 48 hours prior to beginning any sanitary sewer-related work.
- 4. The contractor shall locate, mark and preserve any right of way monuments or survey control in the area of construction.
- 5. Utility locations shown are approximate only. The contractor shall determine exact location of utilities, excavating to expose the utility, if necessary in the area of construction, before commencing construction. Contact U.F.P.O. at 1-800-962-7962 at least 72 hours prior to beginning work.
- 6. Laterals shall be min. 4" dia. SDR-21 with elastomeric joints; for commercial establishments, laterals are to be 6" dia. SDR-21. Minimum depth of burial is four feet. Cleanouts shall be installed within 30 inches of the outside face of buildings, at all changes in horizontal alignment, at the right of way or easement line, and at spacing not to exceed 90 feet.
- 7. Sewer mains and laterals shall be located a minimum horizontal distance of ten feet from any existing or proposed watermain (as measured from the outside of the sewer/lateral to the outside of the watermain). In cases where the main or lateral crosses a watermain, the minimum vertical separation shall be eighteen inches (measured out-to-out). The crossing shall be arranged so that the sewer joints will be equidistant and as far as possible from the
- 8. The contractor shall provide the District with shop drawings and material specifications that have been pre-approved by the design engineer before a permit will be issued.
- 9. The contractor is responsible for compliance with OSHA requirements in all aspects of
- 10. The contractor shall be responsible for maintaining sanitary flows at all times by methods acceptable to the District.
- 11. Floor drains in basements or garages are to be connected to the sanitary sewer. Floor drains do not include foundation or footer drains installed to intercept uncontaminated groundwater. All discharges to the sanitary sewer must comply with effluent limits of the Ontario County Sewer Use Law. Foundation and footer drains shall be constructed in a manner that prohibits groundwater from draining into the sanitary sewer pipe cradle.

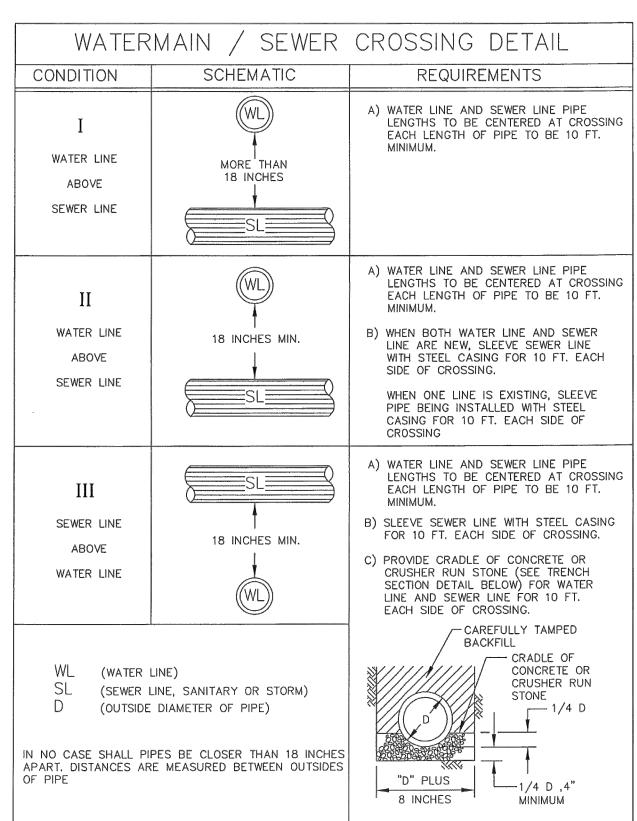
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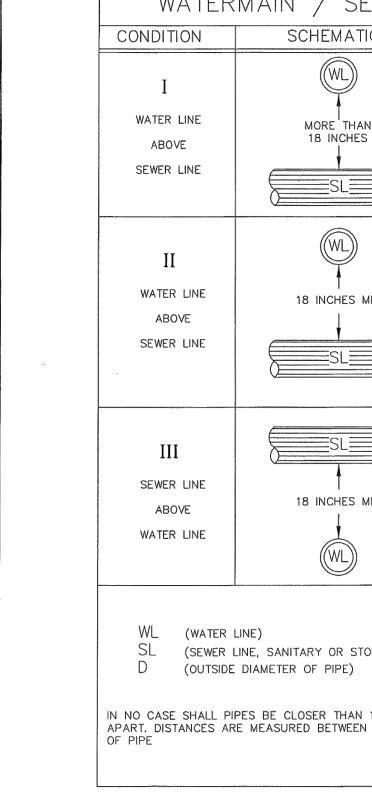
- 12. Lateral connections requiring openings in asbestos cement pipe will be designed, inspected and certified by the design engineer or representative thereof.
- 13. Any excavation not backfilled by the end of the workday shall be fenced, barricaded and lighted for safety and protection of the public.
- 14. The contractor shall be responsible for the removal of existing sanitary mains, structures and appurtenances, if any, needed to complete the work.

# RENOVATION PROJECTS ONLY

- 15. Existing laterals to be disconnected must be permanently plugged or capped at the easement or right of way line under the direction of Canandaigua Lake County Sewer District personnel. The location of the plug or cap shall be recorded for as-built drawing purposes.
- 16. Prior to demolishing an existing building, the contractor shall excavate, disconnect and abandon the lateral from the building to the point of disconnection (approximately 30' from the existing building) per District standards. A temporary plug shall be installed in the remaining portion of the existing sanitary lateral until it is tested and televised.
- 17. In order to determine whether an existing sanitary lateral is acceptable for connection to a new building, the lateral shall be televised in the presence of District personnel at the owner's expense.
- 18. If an existing lateral is found to be acceptable and meet the minimum District requirements, it shall be temporarily re-plugged and backfilled with a witness stake in place, until connection to the new building can take place.
- 19. If a new sanitary sewer lateral is required, the existing lateral must be excavated, removed and capped at the easement or right of way line in accordance with District requirements.
- 20. If a new sanitary sewer lateral is required, the connection to the existing sanitary main shall be made per District standards.

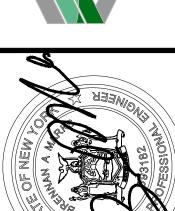






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**arks**Engineering

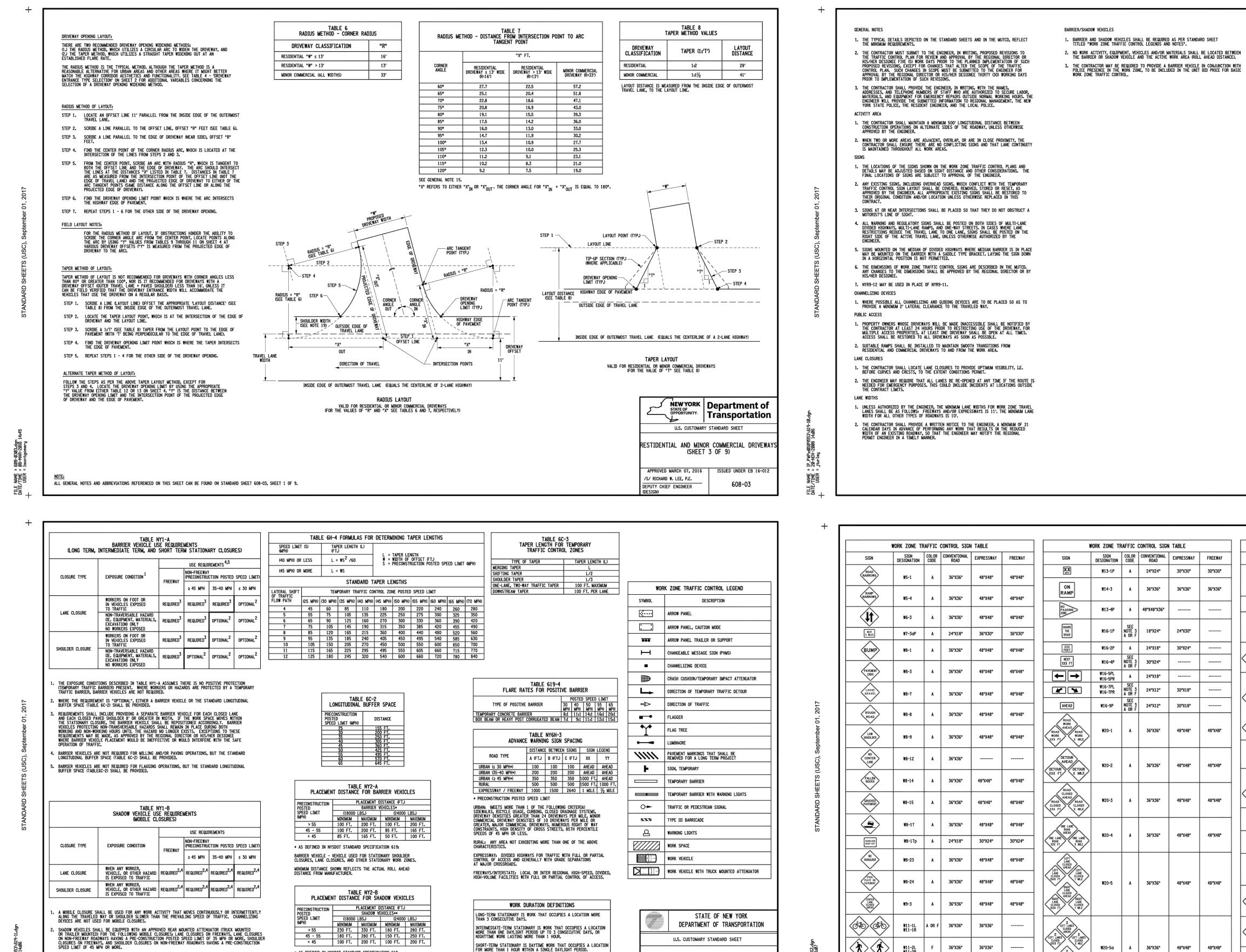


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	REVISIONS AND APPROVALS	DESCRIPTION OF REVISION OR APPROVAL	PER PRC			
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LAKE RD NANDAIG RESEA

DRAWING TITLE: **DETAILS** 

DRAWN BY: MCFBAMDESIGNED BY: BAMCHECKED BY: AS NOTED SCALE: 16-073 JOB NO.: 06/15/2018 DATE: 98.11-2-8.000 TAX MAP#:



SHORT DURATION IS WORK THAT OCCUPIES A LOCATION UP TO 1 HOUR

EFFECTIVE DATE: 01/08/09

MOBILE IS WORK THAT MOVES INTERMITTENTLY OR CONTINUOUSLY.

WORK ZONE TRAFFIC CONTROL

LEGENDS AND NOTES

ISSUED UNDER EB 08-036

APPROVED SEPTEMBER 18, 2008

/ DAVID J. CLEMENTS, P.E.

DIRECTOR, OFFICE OF TRAFFIC SAFETY AND MOBILITY

AS DEFINED IN NYSDOT STANDARD SPECIFICATION 619:

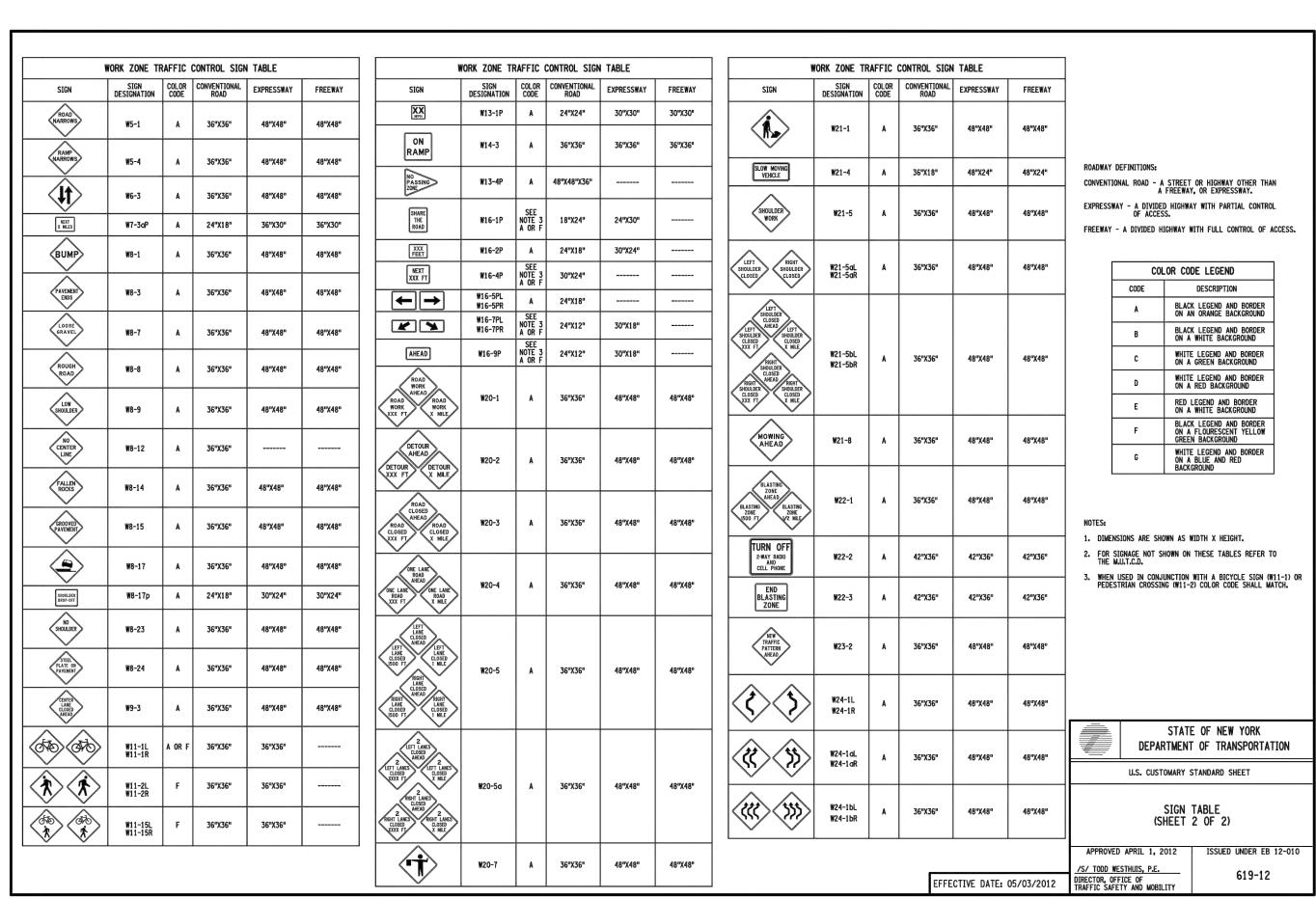
. A SHADOW VEHICLE IS USED TO PROTECT EXPOSED WORKERS (ON FOOT OR IN A VEHICLE) AND SHALL BE REQUIRE FOR ALL MOBILE CLOSURES. SHADOW VEHICLE REQUIREMENTS SHALL INCLUDE PROVIDING A SEPARATE SHADOW VEHICLE FOR EACH CLOSED LANE AND EACH CLOSED PAVED SHOULDER 8' OR GREATER IN WIDTH. ADDITIONAL SHADOW VEHICLES MAY BE REQUIREDED TO PROMOTE THE SAFE OPERATION OF TRAFFIC AND THE INCREASED PROTECTION OF EXPOSED WORKERS, AS DIRECTED BY THE REGIONAL DIRECTOR OR HIS/HER DESIGNEE.

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NAME /TIME USER

SHADOW VEHICLE - VEHICLE USED FOR MOBILE OR SHORT DURATION WORK OPERATIONS.

MINIMUM DISTANCE SHOWN REFLECTS THE ACTUAL ROLL AHEAD DISTANCE FROM MANUFACTURER.



**arks**Engineering



STATE OF NEW YORK

DEPARTMENT OF TRANSPORTATION

U.S. CUSTOMARY STANDARD SHEET

WORK ZONE TRAFFIC CONTROL GENERAL NOTES

/ DAVID J. CLEMENTS, P.E.

DIRECTOR, OFFICE OF TRAFFIC SAFETY AND MOBILITY

EFFECTIVE DATE: 01/08/09

DRAWING TITLE: NYSDOT DETAILS DRAWN BY: MCFBAMDESIGNED BY: BAMCHECKED BY: AS NOTED SCALE: 16-073 JOB NO.: 06/15/2018 DATE: 98.11-2-8.000 TAX MAP#:

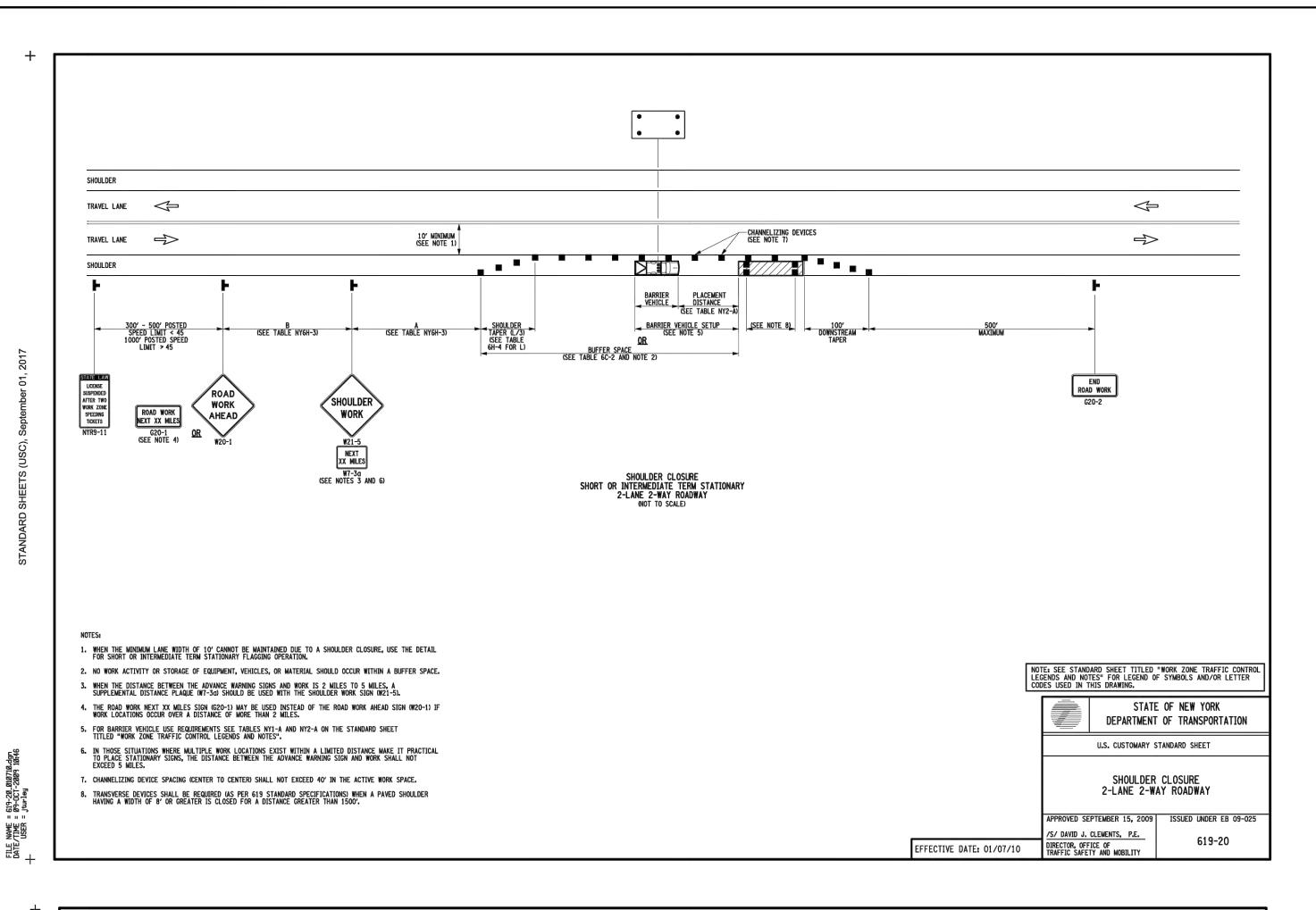
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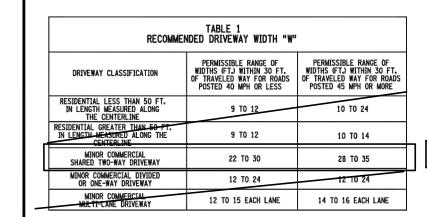
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MA	TABLE 2 KIMUM DRIVEWAY SL	OPE .
ROADWAY Classification	MINOR COMMERCIAL DRIVEWAY	RESIDENTIAL DRIVEWAY
RURAL	10%	12%
URBAN	6%	8%

			DRIVE	TABLE 3 WAY MATERIALS AND THI	CKNESS		
		WITHIN DR	IVEWAY PAVEMENT LE	NGTH ("PL")	WITH	IN TRANSITION LENGTH (	TL")
	PROPOSED OR EXISTING DRIVE	MATERIAL	THICKNESS FOR RESIDENTIAL (IN.)	THICKNESS FOR MINOR COMMERCIAL (IN.)	MATERIAL	THICKNESS FOR RESIDENTIAL (IN.)	THICKNESS FOR MINOR COMMERCIAL (IN.)
	DIRT. GRASS.	НМА	3	4	SUBBASE COURSE, EXCAVATE AS	6	
	DIRT, GRASS, OR GRAVEL	SUBBASE COURSE	6	8	NECESSARY	6	9
	STONE	НМА	3	4	STONE, EXCAVATE	_	
	STUNE	SUBBASE COURSE	6	8	AS NECESSARY	8	11
	НМА	HMA	11/2	11/2	NOT APPLICAB	LE – ALL WORK ON AN E	XISTING PAVED
_	(RESUREACING)	TRUE AND LEVELING COURSE	AS NECESSARY	AS NECESSARY	DRIVEWAY IS W	VITHIN THE DRIVEWAY PA	VEMENT LENGTH
	HMA	НМА	3	4 (SEE NOTE 8)	NOT APPLICAB	LE - ALL WORK ON AN E	XISTING PAVED
	RECONSTRUCTION)	SUBBASE COURSE		8 (SEE NOTE 10)	DRIVEWAY IS W	ITHIN THE DRIVEWAY PA	VEMENT LENGTH
	PCC	PCC	6	6 (SEE NOTE 9)	NOT APPLICAB	LE - ALL WORK ON AN E	XISTING PAVED
	100	SUBBASE COURSE	6	8 (SEE NOTE 10)	DRIVEWAY IS W	VITHIN THE DRIVEWAY PA	VEMENT LENGTH

				DRIVEWA	TABLE Y ENTRANCE	TYPE SELECTION		
DRIVEWAY	ENTRANCE				CONDITIONS F	OR USE		
ENTRANCE TYPE	WIDENING METHOD	DRIVEWAY CLASSIFICATION (NOTE 1)	CORNER ANGLE	TRAVEL LANE AND SHOULDER WIDTH	CURB	SIDEWALK	HIGHWAY Design Speed	RECOMMENDED USE
TYPE 1	RADIUS	RESIDENTIAL OR MINOR COMMERCIAL	60° T0 120°	ANY	USE WITH OR WITHOUT CURB	USE WITHOUT SIDEWALK	ANY SPEED	RECOMMENDED FOR ALL LOCATIONS (EXCEPT FOR MINOR COMMERCIAL WITH CURB)
TYPE 2	RADIUS	MINOR COMMERCIAL ONLY	60° T0 120°	ANY	USE ONLY WITH CURB	USE WITH OR WITHOUT SIDEWALK	ANY SPEED	RECOMMENDED ONLY FOR MINOR COMMERCIAL WITH CURB
TYPE 3	TAPER	RESIDENTIAL OR MINOR COMMERCIAL	80° T0 100°	0R GREATER (SEE NOTE 6)	USE ONLY WITH CURB (SEE NOTE 7)	USE ONLY WITH SIDEWALK OFFSET A MIN. OF 2' FROM THE EDGE OF PAVEMENT OR WITHOUT SIDEWALK	ONLY LOW SPEED (45 MPH OR LESS)	ALTERNATIVE ENTRANCE TYPE (TYPICALLY FOR URBAN AREA USE)
TYPE 4	TAPER	RESIDENTIAL OR MINOR COMMERCIAL	80° T0 100°	16' OR GREATER (SEE NOTE 6)	USE ONLY WITH CURB (SEE NOTE 7)	USE ONLY WITH SIDEWALK LESS THAN 2' FROM OR ADJACENT TO THE EDGE OF PAVEMENT	ONLY LOW SPEED (45 MPH OR LESS)	ALTERNATIVE ENTRANCE TYPE (TYPICALLY FOR URBAN AREA USE)

	MINIMUM LENG For Change in	TABLE 5 TH OF VERTICAL CURV GRADE IN DRIVEWAY I	/E, L, PROFILE
	CHANGES IN GRADE A=   G2-G1	CREST, Lc	SAG, Ls (FT.)
ŀ	4-6%	5	6
Ť	6-8%	5	
	8-10%	6	8
Γ	10-12%	6	8
E	12-14%		8
E	14-16%	7	8
Г	16-18%	8	8
Æ	18-20%	8	8
	LENGTH OF VERTICAL CURVE BASED ON 3 AND SINGLE UNIT TRUCK CLEARANCES.	35' CURVE RADIUS AND THE	AASHTO PASSENGER VEHICLE

OF VERTICAL CURVE BASED ON 35' CURVE RADIUS AND THE AASHTO PASSENGER VEHICLE GLE UNIT TRUCK CLEARANCES.	
	NEW YORK STATE OF OPPORTUNITY. Department of Transportation
	U.S. CUSTOMARY STANDARD SHEET
	RESIDENTIAL AND MINOR COMMERCIAL DRIVEN (SHEET 2 OF 9)

ALL GENERAL NOTES AND ABBREVIATIONS REFERENCED ON THIS SHEET CAN BE FOUND ON STANDARD SHEET 608-03, SHEET 1 OF 9.

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NAME USER

DRIVEWAY – EVERY ENTRANCE OR EXIT USED BY VEHICULAR TRAFFIC TO AND FROM LANDS OR BUILDINGS ABUTTING A HIGHWAY. RESIDENTIAL DRIVEWAY - A DRIVEWAY SERVING FOUR OR FEWER PRIVATE HOMES OR AN APARTMENT BUILDING FOR FOUR OR FEWER FAMILY UNITS. MAJOR COMMERCIAL DRIVEWAY - ANY COMMERCIAL DRIVEWAY WHERE THE ACTUAL OR ANTICIPATED TRAFFIC VOLUME ON A TYPICAL DAY IS DEFINED BY THE DRIVEWAY POLICY AS DEFINED IN THE HIGHWAY DESIGN ANNUAL HIGHD CHAPTER 5 APPENDIX 5A.

MINOR COMMERCIAL DRIVEWAY - ANY COMMERCIAL DRIVEWAY WHERE THE ACTUAL OR ANTICIPATED TRAFFIC VOLUMES ON A TYPICAL DAY ARE LESS THAN THE VALUES STIPULATED FOR A MAJOR COMMERCIAL DRIVEWAY. FIELD ENTRANCE - A DRIVEWAY SERVING A FARMYARD, CULTIVATED OR UNCULTIVATED FIELD, TIMBERLAND, OR UNDEVELOPED LAND NOT USED FOR INDUSTRIAL, COMMERCIAL, OR RESIDENTIAL PURPOSES.

URBAN / RURAL - THE AREA CHARACTER BASED ON NYSDOT HIGHWAY DESIGN MANUAL CHAPTER 2, SECTION 2.4. DRIVEWAY OFFSET - THE DISTANCE IN FEET MEASURED FROM THE INSIDE EDGE OF THE OUTERMOST TRAVEL LANE, OR TURNING LANE, TO THE HIGHWAY EDGE OF PAVEMENT. THE DISTANCE IS EQUIAL TO THE WIDTH OF THE OUTERMOST LANE AND THE WIDTH OF THE PAVED SHOULDER, OR CURB OFFSET.

HIGHWAY EDGE OF PAVEMENT - THE OUTSIDE EDGE OF THE PAVED HIGHWAY SURFACE. MINIMUM PAYING LIMIT (MPL) - THE MINIMUM DISTANCE IN FEET MEASURED ALONG THE CENTERLINE OF A DRIVEWAY FROM THE OUTSIDE EDGE OF THE OUTERMOST TRAVEL LANE THAT A DRIVEWAY MUST BE PAYED (INCLUDES THE SHOULDER WIDTH). PAVEMENT LENGTH (PL) - THE DISTANCE IN FEET MEASURED ALONG THE CENTERLINE OF A DRIVEWAY FROM THE HIGHWAY EDGE OF PAVEMENT TO THE END OF PROPOSED DRIVEWAY PAVEMENT.

TRANSITION LENGTH (TL) - THE DISTANCE IN FEET MEASURED ALONG THE CENTERLINE OF A DRIVEWAY BEYOND THE DRIVEWAY PAYEMENT LENGTH (FL) TO THE END OF PROPOSED DRIVEWAY WORK. THE TRANSITION LENGTH (TL) IS TYPICALLY USED FOR GRADING, LAYOUT, OR TRANSITION REASONS. THE TRANSITION LENGTH (TL) ONLY APPLIES TO DRIVEWAYS THAT ARE INDEADED. BUFFER ZONE - A PHYSICAL DISTANCE SEPARATING THE PEDESTRIAN ACCESS ROUTE AND THE VEHICLE TRAVELED WAY. THE BUFFER ZONE BUFFERS PEDESTRIANS FROM TRAFFIC AND PROVIDES SPACE FOR SNOW STORAGE, UTILITIES, PLANTS, AND OTHER STREET APPURTENANCES. THE BUFFER ZONE MAY BE PLANTED OR PAVED.

SHARED-USE-PATH (SUP) - A BICYCLE AND PEDESTRIAN FACILITY, TYPICALLY WITHIN THE RIGHT-OF-WAY, SEPARATED FROM MOTORIZED VEHICULAR TRAFFIC BY A BUFFER ZONE OR BARRIER. REFER TO HIGHWAY DESIGN MANUAL CHAPTER 17 AND AASHTO GUIDE FOR THE DEVELOPMENT OF BICYCLE FACILITIES FOR GUIDANCE ON BUFFER ZONE WIDTH AND SEPARATION OF SHARED USE PATHS FROM ROADWAYS.

# GENERAL NOTES FOR DRIVEWAY STANDARD SHEETS: THE DRIVEWAY STANDARD SHEETS APPLY TO FIELD ENTRANCES, RESIDENTIAL DRIVEWAYS AND MINOR COMMERCIAL DRIVEWAYS. FIELD ENTRANCES AND RESIDENTIAL DRIVEWAYS ACCOMMODATE AN AASHTO PASSENGER CAR DESIGN VEHICLE. MINOR COMMERCIAL DRIVEWAYS ACCOMMODATE AN AASHTO SINGLE UNIT TRUCK DESIGN VEHICLE.

- SEE THE DRIVEWAY TABLE IN THE CONTRACT PLANS FOR SPECIFIC DRIVEWAY LOCATIONS, WIDTHS ("W"), CORNER ANGLES, LENGTHS ("L"), MATERIAL, AND ENTRANCE TYPE. DETECTABLE WARNING SURFACES SHALL BE PROVIDED WHERE THE PEDESTRIAN ACCESS ROUTE CROSSES DRIVEWAYS WITH SIGNAL, YIELD OR STOP CONTROL. DETECTABLE WARNING SURFACES SHALL NOT BE PROVIDED AT CROSSINGS OF UNCONTROLLED DRIVEWAY APRONS.
- TYPE 3 AND TYPE 4 DRIVEWAY ENTRANCES CAN BE USED WITHOUT CURB IF A TAPER STYLE ENTRANCE BETTER MATCHES THE HIGHWAY CORRIDOR AESTHETICS OR SPECIFIC SITE CONDITIONS THAN A RADIUS STYLE ENTRANCE. 8. UP TO 10" OF HMA MAY BE REQUIRED FOR HEAVY TRUCKS PER CONTRACT DOCUMENTS.
- 9. UP TO 9" OF PCC MAY BE REQUIRED FOR HEAVY TRUCKS PER CONTRACT DOCUMENTS.
- 10. UP TO 12" OF SUBBASE MAY BE REQUIRED FOR HEAVY TRUCKS PER CONTRACT DOCUMENTS.
- 12. A DRIVEWAY TIP-UP SECTION SHOULD EXTEND TO A LOGICAL TERMINI (EXAMPLE: SIDEWALK EDGE, WHERE THE DRIVEWAY GRADE MATCHES EXISTING GROUND, OR LAYOUT POINT). FOR REFERENCE, A REASONABLE LENGTH FOR TAPERING THE TIP-UP SECTION BACK TO THE EDGE OF DRIVEWAY IS 3 TO 4 TIMES THE LENGTH OF CURB DROP. THE TIP-UP SECTION IS NOT PART OF THE DRIVEWAY OPENING WIDTH. REFER TO NYSDOT STANDARD SHEET 609-02 "MISCELLANEOUS CURB DETAILS" FOR THE CURB TRANSITION.
- TO DETERMINE THE LIMITS OF SHOULDER RECONSTRUCTION, REFER TO THE DRIVEWAY OPENING TABLES ON SHEET 4 FOR NO SHOULDER (O' OFFSET).
- 14. FOR PCC SHOULDERS, SEE STANDARD SHEET 502-02 FOR LONGITUDINAL JOINT TIE DETAILS.
- 15. DIMENSIONS AND ANGLES MAY BE INTERPOLATED FOR VALUES OTHER THAN THOSE SHOWN IN THE TABLES. 16. THE SHOULDER PAVEMENT THICKNESSES SHOWN ARE DEFAULT VALUES UNLESS OTHERWISE SHOWN IN THE PLANS. MATERIALS SHALL BE AS SPECIFIED IN THE CONTRACT DOCUMENTS.

# WIDTH / LENGTH: 17. WHERE THERE ARE CONSTRAINTS THAT PREVENT THE CONSTRUCTION OF THE DRIVEWAY OPENING USING EITHER OF THE LAYOUIT METHODS, THE ENGINEER MAY SPECIFY A SMALL CORNER CURB RADIUS OF 2' (OR A "1/2 BULL NOSE" CURB ALONG LOW SPEED HIGHWAYS, PROVIDED THE DRIVEWAY OPENING MEETS THE REQUIREMENTS OF THE "DRIVEWAY OPENING" TABLES ON SHEET 4.

- 18. FOR RESIDENTIAL DRIVEWAYS, THE MINIMUM PAVING LIMIT SHALL BE 10' FROM THE OUTSIDE EDGE OF TRAVEL LANE OR 2' BEHIND ANY SIDEWALK, IF PRESENT, WHICHEVER IS GREATER. FOR MINOR COMMERCIAL DRIVEWAYS, THE MINIMUM PAVING LIMIT SHALL BE 30' FROM THE OUTSIDE EDGE OF TRAVEL LANE, OR 2' BEHIND ANY SIDEWALK, IF PRESENT, OR EXTEND TO THE RIGHT-OF-WAY LINE, WHICHEVER IS GREATER. THE PAVING LIMIT MAY EXTEND BEYOND THE MINIMUM PAVING LIMIT FOR NEW DRIVEWAYS AND TO TRANSITION TO EXISTING PAVED DRIVEWAYS. THE PAVING LIMIT WILL BE NOTED IN THE DRIVEWAY TABLE OF THE CONTRACT PLANS.
- 19. FOR GRADING AND CONSTRUCTION REQUIREMENTS OF TRANSITIONS FROM PLACED HMA TO EXISTING HMA DRIVEWAYS, REFER TO DETAIL 9 "TIE-IN TO EXISTING DRIVEWAYS" ON SHEET 9, AND TABLE 3 "DRIVEWAY MATERIALS AND THICKNESS" ON SHEET 2.
- 20. FOR PCC DRIVEWAYS, REFER TO THE 502 SERIES STANDARD SHEETS FOR METAL REINFORCEMENT, JOINT TIES, SAWING AND SEALING, ETC.

# SITE CONDITIONS (SIDEWALK / CURB):

- ANY PCC SIDEWALK WHICH CROSSES A DRIVEWAY SHALL HAVE A MINIMUM THICKNESS OF 6" AND INCLUDE STEEL MESH REINFORCEMENT WITH 3" OF TOP COVER.
- 23. FOR GRADE CHANGES REFER TO THE DRIVEWAY PROFILES ON SHEET 8. VERTICAL CURVES ARE RECOMMENDED TO CONNECT TANGENTS. SEE TABLE 5 'MINIMUM LENGTH OF VERTICAL CURVE' ON SHEET 2 FOR TYPICAL VERTICAL CURVE LENGTHS "L".
- 24. WHERE THE EXISTING GRADE OF THE DRIVEWAY PROFILE IS LESS THAN OR EQUAL TO 2%, MATCH THE CROSS SLOPE OF THE SIDEWALK TO THE EXISTING DRIVEWAY PROFILE GRADE.
- 26. TO PREVENT DRIVEWAY GRADES FROM EXCEEDING THE VALUES IN TABLE 2 'MAXIMUM DRIVEWAY SLOPE' ON SHEET 2, IT MAY BE NECESSARY TO DEPRESS THE SIDEWALK ACROSS THE DRIVEWAY. SIDEWALK RAMPS SHALL HAVE THE LEAST RUNNING SLOPE POSSIBLE, WITH A MAXIMUM DESIGN AND LAVOUT SLOPE OF 7.5%. THE RUNNING SLOPE FOR WORK ACCEPTANCE SHALL BE A MAXIMUM OF 8.3%. WHERE EXISTING CONDITIONS DO NOT ALLOW THE CONSTRUCTION OF A SIDEWALK RAMP AT 8.3% OR LESS RUNNING SLOPE, THE RAMP LENGTH SHALL NOT BE REQUIRED TO EXCEED 15'-1" FOR DESIGN AND LAYOUT. THE RAMP LENGTH SHALL NOT BE REQUIRED TO EXCEED 15'-0" FOR WORK ACCEPTANCE.
- 27. WHERE DRAINAGE IS CARRIED ALONG THE CURB, CONSTRUCT THE DRIVEWAY WITH A SHORT UPGRADE TO PREVENT RUNOFF FROM PONDING AT THE DRIVEWAY ENTRANCE (FLAT DRIVEWAY) OR RUNNING DOWN THE DRIVEWAY (DOWNHILL DRIVEWAY SLOPE). IF CONDITIONS MAKE THE ADDITION OF A SHORT UPGRADE IMPRACTICAL, USE 1" CURB REVEAL AND CONTINUE CURB ACROSS THE DRIVEWAY OPENING, TYPICALLY, CURB REVEAL WILL NOT BE CONSTRUCTED IN RURAL AREAS. IF CURB REVEAL IS SPECIFIED FOR A SPECIFIC DRIVEWAY, IT WILL BE NOTED IN THE DRIVEWAY TABLE OF THE CONTRACT PLANS IN THE 'COMMENTS' COLUMN.

# ENTRANCE TYPE:

- 28. THE ENGINEER MAY INTERCHANGE TYPE 1, TYPE 3 AND TYPE 4 RESIDENTIAL DRIVEWAYS TO BETTER MATCH THE EXISTING ENTRANCE TYPES ALONG THE HIGHWAY CORRIDOR WHILE CONSIDERING AVAILABLE SPACE, CONSTRUCTABILITY, SAFETY, AND FUNCTIONALITY. THE DRIVEWAY TYPE SHALL COMPLY WITH TABLE 4 'ORIVEWAY ENTRANCE TYPE SELECTION' ON SHEET 2.
- 29. FOR DRIVEWAYS WITH VARYING WIDTHS AND/OR CURVED ALIGNMENTS, DETERMINE THE DRIVEWAY WIDTH AND CORNER ANGLE 20'-0" FROM THE EDGE OF TRAVEL LANE.
- 30. FOR A ONE-WAY DRIVEWAY ENTRANCE OR EXIT, THE DRIVEWAY ENTRANCE WIDENING IS ONLY NECESSARY ON ONE SIDE OF THE DRIVEWAY TO ACCOMMODATE THE SHARPER TURNING MOVEMENT, ONE-WAY DRIVEWAYS WILL BE IDENTIFIED ON THE DRIVEWAY TABLE OF THE CONTRACT PLANS UNDER "COMMENTS", FOR CURBED HIGHWAYS, A SMALL CORNER CURB RADIUS OF 2" (OR "1/2 BULLNOSF," CURB ALONG LOW SPEED HIGHWAYS HALL BE CONSTRUCTED TO ELIMINATE A SHARP CORNER BEND IN THE CURB LINE (WHICH IS SAFER FOR SNOWPLOW OPERATIONS).

# 31. FOR DRIVEWAY MATERIAL REQUIREMENTS, USE TABLE 3 - 'DRIVEWAY MATERIALS AND THICKNESS' ON SHEET 2.

32. FOR FIELD ENTRANCES, THE MATERIAL WITHIN THE PAVEMENT LENGTH ("PL") CAN CONSIST OF GRAVEL OR STONE AND BE CONNECTED TO THE EDGE OF THE HIGHWAY SHOULDER WITHOUT REMOVING ANY OF THE EXISTING SHOULDER MATERIAL.

NEW YORK STATE OF OPPORTUNITY.	Department of Transportation
U.S. CUSTOMAR	RY STANDARD SHEET

RESIDENTIAL AND MINOR (SHEET	COMMERCIAL 1 OF 9)	DRIVEWA
APPROVED MARCH 07, 2016	ISSUED UNDER	EB 16-01

608-03

/S/ RICHARD W. LEE, P.E.

DEPUTY CHIEF ENGINEER

DRAWN BY:	MCF	Ĺ
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NYSDOT DETAILS

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3365 EAST. TOWN OF CAN

FINAL SITE PLAN I STAR CIDER EW RESEARCH & TASTING E

DRAWING TITLE:

**arks**Engineering

C504

SEE TABLE THIS SHEET) 2'-0"  1'-0"  FLAT (SEE NOTE 5)	SEE TYPICAL SECTION FOR DIMENSION OTHER THAN MINIMUM PARKING LARE OR SHOULDER  BITUMINOUS OR EXISTING CONCRETE PAVEMENT OR SHOULDER  SUBBASE COURSE ISEE NOTE 1)  AT DRIVES OR DRAINAGE STRUCTURES  AT DRIVES OR DRAINAGE STRUCTURES  TYPE "BB" ADJACENT TO NEW OR EXISTING BITUMINOUS OR EXISTING PCC PAVEMENT	PARKING LAME OR SHOULDER EDGE  1.00,	1. SEE TYPICAL SECTIONS IN THE CONTRACT PLANS FOR SUBBASE COURSE MATERIAL.  2. REFER TO THE DRAINAGE STRUCTURE STANDARD SHEETS FOR DRAINAGE STRUCTURE SIZES AND DIMENSIONS.  3. THE FRAME IS TO BE CAST INTO THE CONCRETE GUTTER SLAB DO NOT CAST THE FRAME INTO THE DRAINAGE STRUCTURE WALLS OR TOP SLAB. GRATES SHALL BE INSTALLED SO THAT THE LENGTH OF GRATE IS PARALLE TO THE SURFACE FLOW. SEE THE APPROPRIATE STANDAINSHETS FOR DIMENSIONS OF FRAMES AND GRATES.  4. JOINTS LOCATED AT THE CORNERS OF THE FRAME SHALL BE SCORED AND TOOLED ONLY. THE MINIMUM DEPTH OF THE SCORED SHEET SHALL BE 1"-1/2".  5. SLOPE OF THE TRIANGULAR AREA BOTH UPSTREAM AND DOWNSTREAM OF THE DRAINAGE STRUCTURE GRATE SHALL MATCH THE ROADWAY CENTERLINE PROFILE.  6. ANCHORS SHALL NOT BE LADING THE LONGITUDINAL JOINT BETWEEN NEW PCC PAVEMENT AND THE CONCRETE GUTTER IN THE AREA OF A DRAINAGE STRUCTURE. THIS WILL BE A VARIABLE DISTANCE DEPENDING ON THE SIZE OF THE DRAINAGE STRUCTURE FRAME. THE DISTANCE SHALL SPAN FROM A POINT 1"-8" PRIOR TO THE DRAINAGE STRUCTURE.
CINMITS OF WELLOED WIRRE FABRIC AT A " - "0"-1"  A " X 4" - "WELLOED WIRRE FABRIC AT A " - "CANA"  A " X 4" - "WELLOED WIRRE FABRIC AT A " - "CANA"  A " X 4" - "WELLOED WIRRE FABRIC AT A " - "CANA"  A " X 4" - "CANA"  A "	PARKING LANE OR SHOULDER  SEE STANDARD SHEET CRETE CURB, CURB AND AND HOT MIX ASPHALT "FOR ANCHOR DETAILS (SEE NOTE 6)  SUBBASE COURSE (SEE NOTE 1)	GUTTER TREATMENT AT DRIVEWAY	FRAME WIDTH AT DRAINAGE STRUCTURE  3 48" 12"
PARKING LANE OR SHOULDER EDGE	AT DRIVES OR DRAINAGE STRUCTURES  TYPE "BC" ADJACENT TO NEW PCC PAVEMENT  4'-0"  (SEE TABLE)  X FRAMES AND GRATES X		6 48" 11"  11 48" 10"  16 49½" 10"  22 57" 10"  10 PCB 48" 11"  11 PCB 48" 10"  12 PCB 53" 10"
JOINT	PAVEMENT OR SHOULDER SLOPE  WWF 4" X 4" - W2.9 X W2.9  DRAINAGE STRUCTURE  WIDTH AND GOEMETRY VARIES (SEE NOTE 2)  VARIES (SEE NOTE 2)		STATE OF NEW YORK DEPARTMENT OF TRANSPORTATION  U.S. CUSTOMARY STANDARD SHEET

EFFECTIVE DATE: 01/12/2012 DEPUTY CHIEF ENGINEER DESIGN

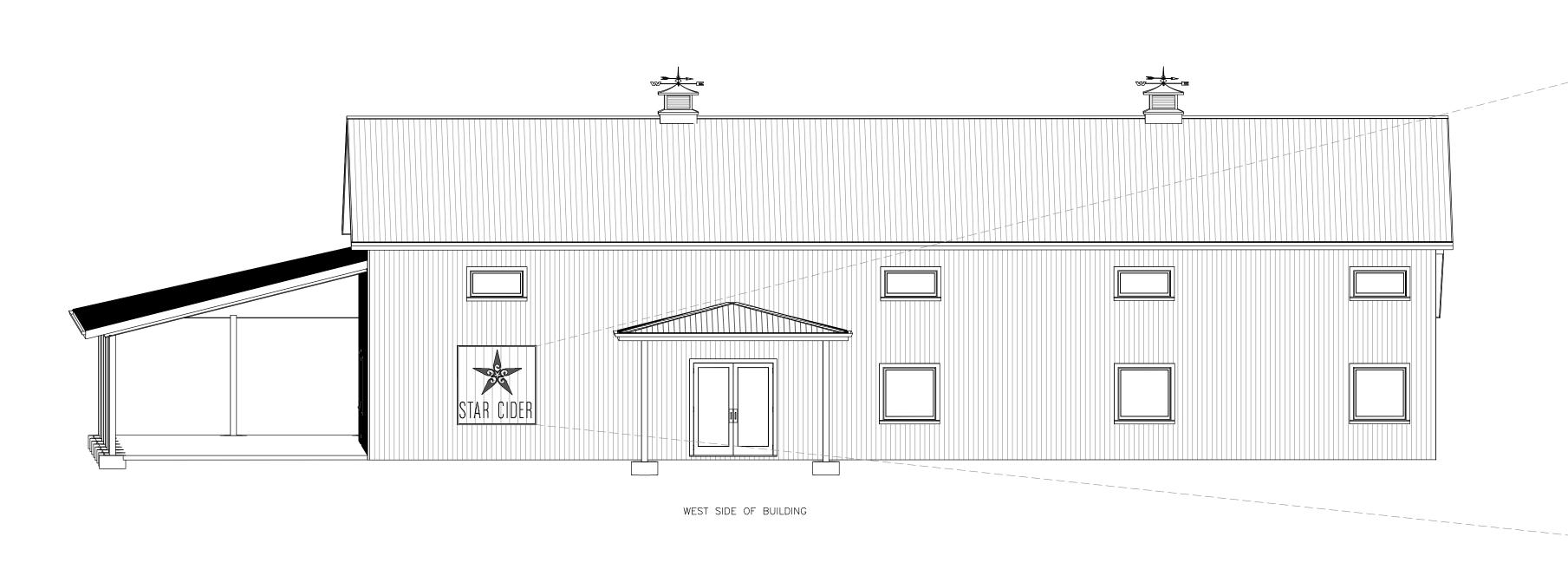
NAME /TIME USER

SIDEWALK - A SMOOTH, STABLE AND SLIP RESISTANT EXTERIOR PATHWAY INTENDED FOR PEDESTRIAN USE ALONG A VEHICULAR WAY SEPARATED WITH A CURB OFFSET. HMA - HOT MIX ASPHALT PCC - PORTLAND CEMENT CONCRETE DESIGN ELEMENT TOLERANCES ELEMENT SIDEWALK CROSS SLOPE - SEE NOTE 12 SIDEWALK GRADE (RUNNING SLOPE) - SEE NOTE 11 4.5% MAX. 5.0% MAX. CURB RAMP GRADE (RUNNING SLOPE) - SEE NOTE 21 BLENDED TRANSITION GRADE (RUNNING SLOPE) - SEE NOTE 7 4.5% MAX. NOTES REFERENCED IN THE TABLE ABOVE CAN BE FOUND ON STANDARD SHEET 608-01 SHEET 1 OF 9. ALL VALUES SHOWN ON THE 608-03 STANDARD SHEETS REFER TO DESIGN AND FIELD LAYOUT LIMITS.

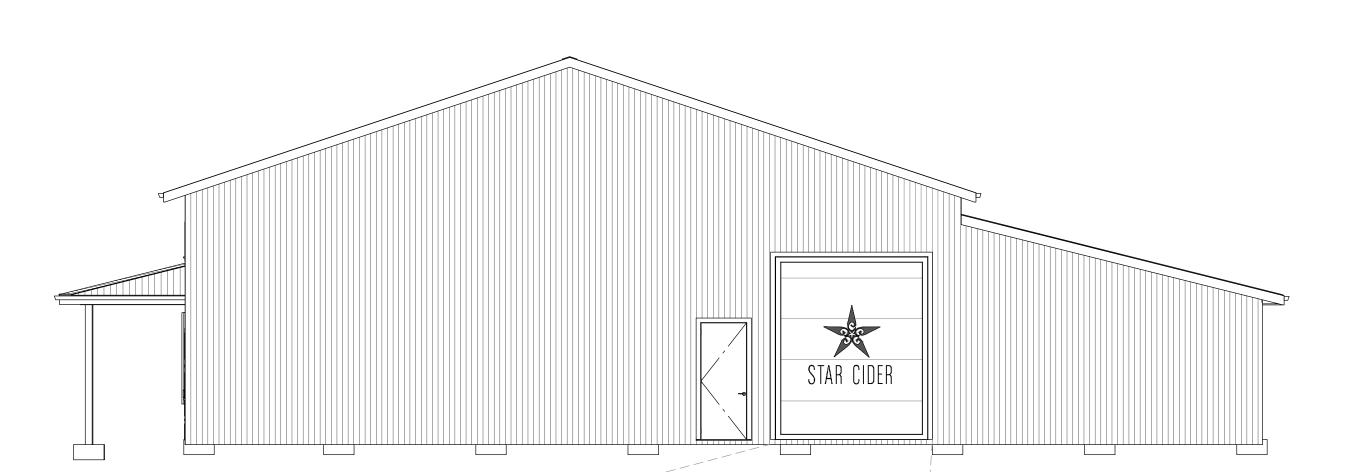
21. A 5' MINIMUM BUFFER ZONE SHALL BE USED UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS.

DESIGN AND FIELD LIMIT FOR WORK LAYOUT LIMIT ACCEPTANCE

FOR ADDITIONAL REQUIREMENTS AND TOLERANCES, SEE "CRITICAL ELEMENTS FOR THE DESIGN, LAYOUT, AND CONSTRUCTION OF PEDESTRIAN FACILITIES" AVAILABLE ON THE NYSDOT HIGHWAY DESIGN MANUAL CHAPTER 18 WEBSITE.







SOUTH SIDE OF BUILDING



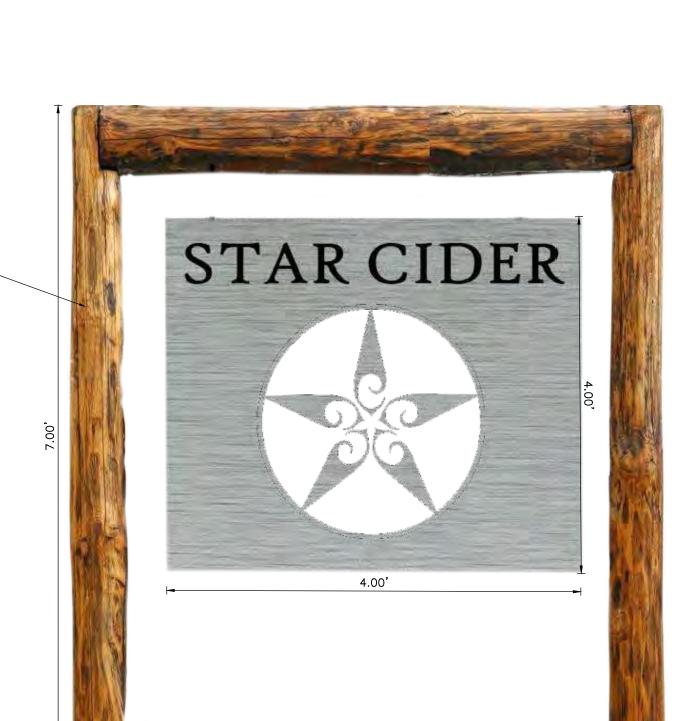
4" ADDRESS NUMBERS NAILED TO POST  $\sim$ 







THE SIGN DIMENSIONS WILL BE 6' X 6'. THE STAR CIDER LOGO AND THE WORDS STAR CIDER WILL BE PAINTED ON THE GARAGE DOOR WITH BLACK PAINT. THE LETTERS WILL BE 1.75' TALL. THE STAR CIDER LOGO WILL BE 4' IN DIAMETER. THE SIGN WILL BE SEALED WITH POLYURETHANE TO SEAL THE PAINT AND PREVENT FLAKING AND AGING. DOOR SIZE SUBJECT TO ARCHITECTURAL REVIEW.



WOOD SIGN - WEST SIDE BUILDING

1" THICK AND BUILT ON A WOOD FRAME THAT IS CONNECTED TO THE BARN WITH METAL LAG SCREWS. THE STAR CIDER LOGO AND THE WORDS STAR CIDER WILL BE PAINTED ON THE

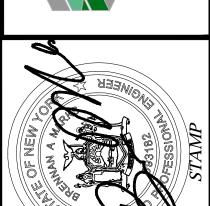
WILL BE 4' IN DIAMETER. THE SIGN WILL BE SEALED WITH POLYURETHANE TO SEAL THE PAINT AND PREVENT FLAKING AND AGING.

WOOD SIGN WITH BLACK PAINT. THE LETTERS WILL BE 1.75' TALL. THE STAR CIDER LOGO



6-8" DIAMETER NATURAL LOCUST HARDWOOD LOGS STATIONED IN CONCRETE BASE. THE LOGS WILL BE FASTENED WITH INTERLOCKING JOINTS AND METAL LAG SCREWS FOR ADDED SUPPORT. THE 2 VERTICAL LOG SIGN POSTS WILL BE 7' TALL AND THE TOP HORIZONTAL LOG WILL BE 5.5' LONG. THE INNER SIGN WILL BE MADE OF STEEL AND WILL BE APPROXIMATELY 1/4" THICK. THE STAR CIDER LOGO WILL BE CUT INTO THE METAL WITH A CAD LASER CUTTER. THE STAR CIDER WORDS WILL BE BLACK AND WILL BE 10" TALL. THE STAR CIDER LOGO WILL BE 3' IN DIAMETER. THE METAL SIGN WILL BE 4' X 4'. THE METAL SIGN WILL BE HUNG FROM THE HORIZONTAL SIGN POST USING EYELETS AND METAL CABLE.





	BY	MCF			
REVISIONS AND APPROVALS	DESCRIPTION OF REVISION OR APPROVAL	PER PRC			
/ SNOISI/	DATE	06/22/18			
REV	NO.	I			

DRAWING TITLE: **DETAILS** 

DRAWN BY:	MCF
DESIGNED BY:	BAM
CHECKED BY:	BAM
SCALE:	AS NOTED
JOB NO.:	16-073
DATE:	06/15/2018
TAX MAP#:	98.11-2-8.000



WEST



NORTH/EAST



EAST

SOUTH/WEST







APPROVALS DESCRIPTION OF REVISION OR APPROVAL PER PRC
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# STAR CIDER NEW RESEARCH & TASTING FACILITY 3365 EAST LAKE RD

DRAWING TITLE:			
ARCHITECTURAL			
RENDERING			
DRAWN BY:	MCF		

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DRAWN BY:	MCF	
DESIGNED BY:	BAM	
CHECKED BY:	BAM	
SCALE:	AS NOTED	
JOB NO.:	16-073	
DATE:	06/15/2018	
TAX MAP#:	98.11-2-8.000	