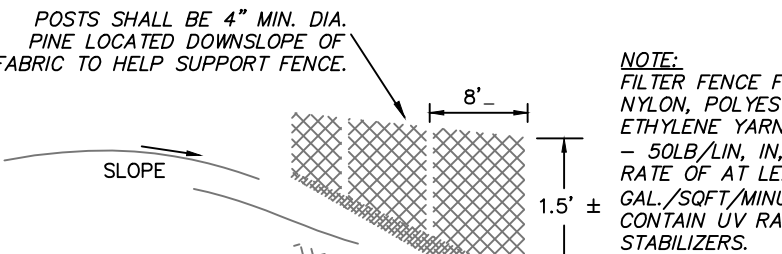


Vicinity Map

N.T.S.



POSTS SHALL BE 4" MIN. DIA. PINE LOCATED DOWN-SLOPE OF SLOPE TO HELP SUPPORT FENCE.

NOTE: FILTER FENCE FABRIC SHALL BE OF NYLON, POLYESTER, PROPYLENE, OR ETHYLENE YARN WITH EXTRA STRENGTH - 500D/100, 10(MIN) WITH A FLOW RATE OF AT LEAST 0.5 GAL./SQ.FOOT/MINUTE. FABRIC SHOULD CONTAIN UV RAY INHIBITORS AND STABILIZERS.

FABRIC OR EQUAL (STAPLE TO LATHE) BURY END OF FABRIC

50 FT. MIN. 3' 5:1 EXISTING PAVEMENT MOUNTABLE BERM 10 MIN. 12' WIDTH 4' MIN. 10 MIN. EXISTING PAVEMENT

PLAN VIEW

1. STONE SIZE - USE #2 STONE

2. THICKNESS - NOT LESS THAN 6 (SIX) INCHES.

3. WIDTH - FULL ENTRANCE WIDTH

4. USE FILTER FABRIC UNDER STONE FOR ENTRANCE STABILITY.

5. MAINTENANCE - THE CONTRACTOR SHALL MAINTAIN THE ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING OR SEDIMENT FLOW ONTO A PUBLIC HIGHWAY.

6. WHEN HIGHWAY WASHING IS REQUIRED, IT SHALL BE DONE IN A MANNER THAT DIRECTS SEDIMENT RUNOFF TOWARDS EROSION CONTROL DEVICES. INSTALL ADDITIONAL EROSION CONTROLS, IF NEEDED.

7. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AFTER EACH RAINSTORM

STABILIZED CONSTRUCTION ENTRANCE DETAILS

NOT TO SCALE

SEE SANITARY SEWER CLEANOUT DETAIL

FINISHED GRADE

CLEANOUT TO BE LOCATED ON THE OWNER'S PROPERTY AS CLOSE AS POSSIBLE TO THE R.O.W. OR EASEMENT LINE. PROVIDE ADDITIONAL CLEANOUTS @ 90° INTERVALS, AT ALL HORIZONTAL BENDS AND ADJACENT TO BUILDINGS.

REMAINING BACKFILL TO BE SUITABLE EXCAVATED MATERIAL EXCEPT IN PAVEMENT, WHERE SELECT GRANULAR FILL SHALL BE USED.

SEE SANITARY SEWER CLEANOUT DETAIL FOR WYE ASSEMBLY

2"x4" WOOD STAKE MARKER W/ GREEN PAINTED TOP & GREEN FLAGGING SET VERTICAL & MAINTAINED UNTIL BUILDING LATERAL IS INSTALLED.

LIMIT OF #1 & #2 CRUSHED STONE CRADLE/BEDDING, PER NYSDOT SPECIFICATION 723-02

4" MIN. REMOVABLE WATER TIGHT END PLUG

16" MIN. CRUSHED NO.1 & NO. 2 STONE

TO BE DEDICATED TO DISTRICT TO BE MAINTAINED BY PROPERTY OWNER

SANITARY SEWER LATERAL DETAIL

NOT TO SCALE

NOTE: 4" OR 6" DIAMETER SDR 21 SHALL BE USED FOR NEW LATERALS, RISERS, CLEANOUTS, & WYE CONNECTIONS. 22.5° AND 45° BENDS ONLY - 90° BENDS AND TEES ARE UNACCEPTABLE. TWO 22.5° BENDS MAY BE CONNECTED WITH A 2'(MIN) LENGTH OF STRAIGHT PIPE. ALL JOINTS MUST HAVE RUBBER GASKETS. GLUED JOINTS ARE PROHIBITED.

Legend

from pin or pipe found P.K. nail found Iron pin set P.K. nail set Concrete Monument Drill hole Benchmark Utility pole Utility lines E/T E/T R.O.W. line Property lines Contention

William J. Grove P.E. License No. 084111

License No. 049761 signed Rocco A. Venezia

www.veneziasurvey.com

One Stage Subdivision Site Plan prepared for: Venezia Group LLC

Developer Venezia Group LLC 5120 Laura Lane Canandaigua NY 14424

Owners Wally Jones & Diane Jones 80 South Main Street Canandaigua NY 14424

Showing Land At Thomas Road Town of Canandaigua County of Ontario State of New York

Fax No. (585) 396-0131 E-mail rocco@veneziasurvey.com

TOWN OF CANANDAIGUA STANDARD NOTES

1. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE WATER/SEWER AGENCIES, UNLESS OTHERWISE NOTED.

2. A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED TO CONFORM WITH THE LATEST NYSDC GENERAL PERMIT AND TO THE TOWN REQUIREMENTS FOR GROWTH, MAINTENANCE, AND CONTROL OF STORM WATER.

3. ALL SWPPPS ARE REQUIRED TO BE REVIEWED AND APPROVED BY THE TOWN CEO AND TOWN ENGINEER. THE TOWN SWPPP ACCEPTANCE FORM IS TO BE SIGNED AND INSERTED INTO THE PROJECT SWPPP PRIOR TO CONSTRUCTION.

4. THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED SWPPP, INCLUDING FILING OF THE "NOTICE OF INTENT" (NOI), A COPY OF THE NYSDC ACKNOWLEDGEMENT LETTER IS TO BE PROVIDED TO THE TOWN DEVELOPMENT OFFICE AND TOWN ENGINEER PRIOR TO CONSTRUCTION.

5. A COPY OF THE PROJECT SWPPP IS TO BE PROVIDED TO THE TOWN DEVELOPMENT OFFICE, TOWN ENGINEER, AND A COPY IS TO REMAIN ON-SITE DURING CONSTRUCTION AT ALL TIMES IN A MARKED AND ACCESSIBLE LOCATION.

6. ANY MODIFICATIONS OR DEVIATIONS FROM THE APPROVED PLANS, CONSTRUCTION SEQUENCE, AND/OR SWPPP, INCLUDING IMPLEMENTATION OF EROSION CONTROL MEASURES AND STORM WATER MANAGEMENT AREAS, SHALL BE APPROVED BY THE TOWN OF CANANDAIGUA AND DOCUMENTED WITHIN THE PROJECT SWPPP.

7. THE OWNER IS REQUIRED TO PROVIDE DAILY ON-SITE OBSERVATION BY A LICENSE PROFESSIONAL OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC). ALL SWPPP INSPECTIONS ARE TO BE IN A FORM ACCEPTABLE BY THE TOWN OF CANANDAIGUA AND FORWARDED TO OWNERS THE TOWN CEO, TOWN ENGINEER, AND A COPY PLACED WITHIN THE ON-SITE PROJECT SWPPP.

8. THE OWNER IS RESPONSIBLE FOR PROVIDING ON-SITE SWPPP INSPECTIONS BY A LICENSE PROFESSIONAL OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC) DURING CONSTRUCTION ONCE PER WEEK (EVERY 7 DAYS) IF UNDER 5-ACRES OF DISTURBANCE AND TWICE PER WEEK (EVERY 7 DAYS) IF 5-ACRES OR MORE WITH RECEIPT OF A 5-ACRE WAIVER FROM THE TOWN OF CANANDAIGUA (MS4).

9. DEVELOPMENT IN THE CANANDAIGUA LAKE WATERSHED DISTURBING MORE THAN 5-ACRES AT ONE TIME, IS REQUIRED TO COORDINATE THE REGULAR SWPPP OBSERVATIONS REQUIRED BY THE LATEST GENERAL PERMIT WITH THE CANANDAIGUA LAKE WATERSHED INSPECTOR, THE WATERSHED PROGRAM MANAGER AND THE TOWN CODE ENFORCEMENT OFFICER.

10. CONSTRUCTION SEQUENCE: ALL PLANS ARE TO BE PROVIDED WITH A DETAILED CONSTRUCTION SEQUENCE. THE CONTRACTOR SHALL COMPLETE CONSTRUCTION AND INSTALL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE APPROVED CONSTRUCTION SEQUENCE UNLESS SPECIFIED OTHERWISE ON THE APPROVED DESIGN PLANS OR AT THE PRE-CONSTRUCTION MEETING.

11. DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE TOWN OF CANANDAIGUA.

12. THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION AND UNTIL THE SITE IS FULLY STABILIZED, INSPECTED BY THE TOWN OF CANANDAIGUA, AND ISSUANCE OF THE NOTICE OF TERMINATION (NOT) HAS BEEN PROVIDED TO NYSDC.

13. ROOF LEADERS SHOULD BE CONNECTED TO STORM SEWERS WHERE POSSIBLE, UNLESS OTHERWISE SPECIFIED ON THE APPROVED PLANS AND WITHIN THE PROJECT SWPPP.

14. NO SITE PREPARATION SHALL COMMENCE UNTIL A VISUAL INSPECTION BY THE TOWN OF CANANDAIGUA, CONFIRMS THE INSTALLATION OF PERIMETER SEDIMENT CONTROLS AND THE STABILIZED CONSTRUCTION ENTRANCE.

15. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF VEGETATION, THE STORM WATER MANAGEMENT FACILITIES SHALL BE CLEANED OF ACCUMULATED SILT.

16. ALL SITE STABILIZATION IS TO BE IN ACCORDANCE WITH THE LATEST VERSIONS OF THE NYSDC STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL AND THE NYSDC GENERAL PERMIT REQUIREMENTS (WHERE APPLICABLE).

17. ADDITIONAL TEMPORARY AND PERMANENT SEEDING AND SITE STABILIZATION REQUIREMENTS:

A. ALL DISTURBED AREAS INCLUDING TOPSOIL STOCKPILES AND STORMWATER MANAGEMENT FACILITIES ARE TO BE STABILIZED WITHIN SEVEN (7) DAYS AFTER COMPLETION.

B. TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:

THE SURFACE TWO INCHES OF SOIL SHOULD BE LOOSENEED BY DISKING, RAKING, OR BACK-BLADING WITH A BULLDOZER. FERTILIZE WITH 300 POUNDS PER ACRE (OR 7 POUNDS PER 1,000 SQUARE FEET).

NO PHOSPHORUS SHALL BE USED UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY HORTICULTURAL TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHORUS DEFICIENCY THAT IS HARMFUL, OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.

IF SOIL TESTS INDICATE A PHOSPHORUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHORUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYSDC REGULATIONS.

SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85 PERCENT AND MINIMAL INERT MATERIAL.

C. DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEEDING MIX UPON COMPLETION OF GRADING AND CONSTRUCTION.

SEEDING RATE: 8.0 POUNDS PER 1,000 SQUARE FEET MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYDRO SEEDING METHOD AT TWO TONS PER ACRE WITH TACKIFIER.

FOR FALL OR EARLY WINTER, SEED WITH CERTIFIED "AROSTOCK" WINTER RYE (CEREAL RYE) AT 100 POUNDS PER ACRE.

PERMANENT STABILIZATION FOR STEEP SLOPES GREATER THAN 3:1 SHALL INCLUDE JUTE MESH BLANKET AND CROWN VETCH SEED WITH PERENNIAL REQUIREMENTS.

18. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.

19. EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CALL THE DIO SAFELY NEW YORK (UPO) HOTLINE AT 1-800-962-7862 FOR STAKEOUT OF EXISTING UTILITIES. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET THE EXISTING CONDITIONS.

20. THE HOMEOWNER WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING INDIVIDUAL LOT EROSION & SEDIMENT CONTROL MEASURES DURING HOUSE CONSTRUCTION. MEASURES TO BE MAINTAINED UNTIL FINAL LOT LAWN GRADING AND SITE IS FULLY STABILIZED AND INSPECTED BY THE TOWN OF CANANDAIGUA.

21. ANY ADDITIONAL EROSION OR SEDIMENT CONTROL MEASURES DEEMED NECESSARY BY THE TOWN OF CANANDAIGUA OR A REPRESENTATIVE THEREOF SHALL BE PROVIDED BY THE OWNER AND INSTALLED BY THE CONTRACTOR.

22. SEDIMENT CONTROL MEASURES ARE TO BE ESTABLISHED PRIOR TO COMMENCING EARTHWORK. SEDIMENT CONTROL MEASURES ARE TO BE MAINTAINED BY THE CONTRACTOR UNTIL UPSTREAM GROUND COVER HAS BEEN ESTABLISHED AND REMOVAL IS APPROVED BY THE TOWN OF CANANDAIGUA.

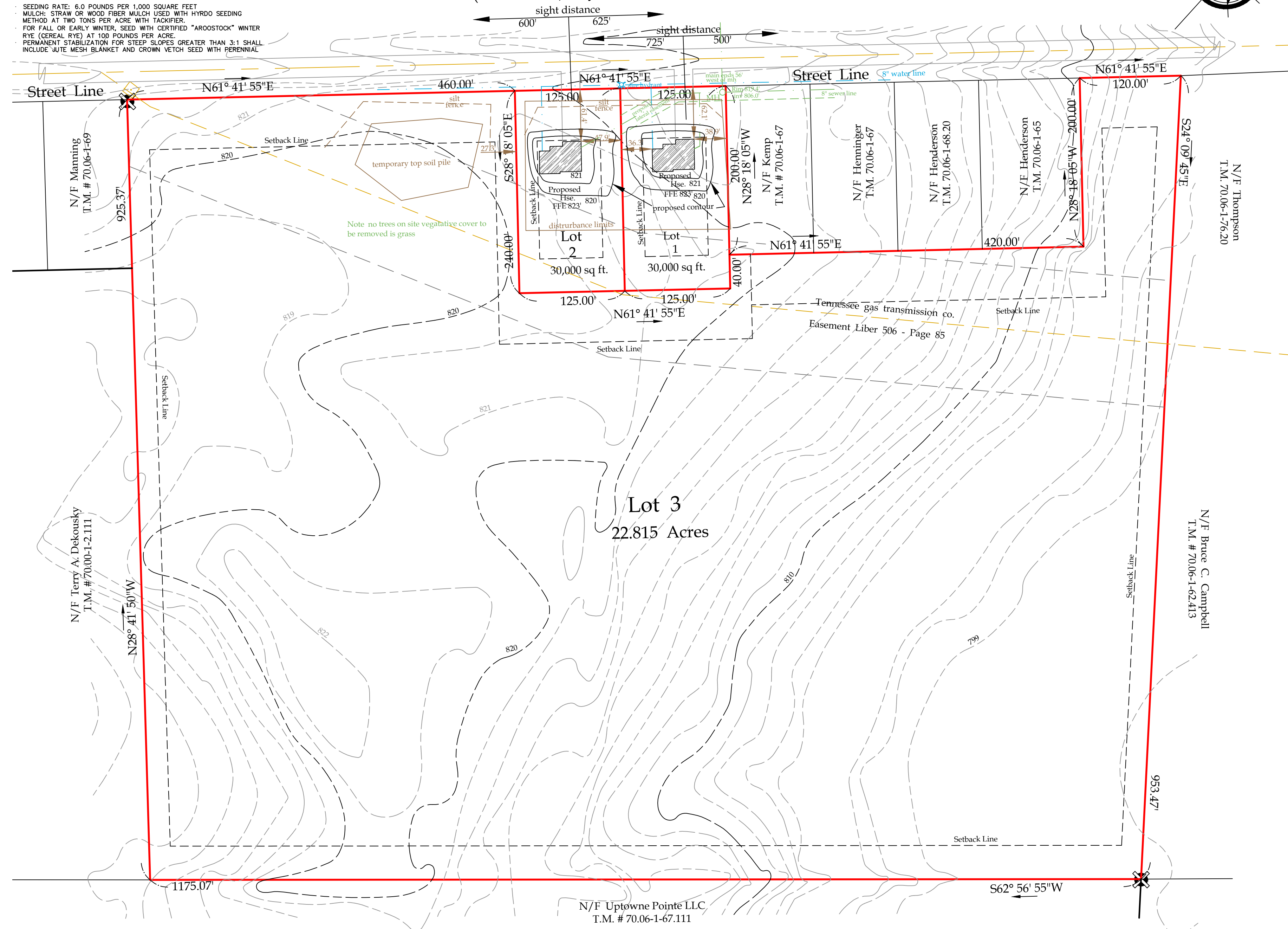
23. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, REPLACING AND SUBSEQUENTLY REMOVING TEMPORARY EROSION & SEDIMENT CONTROL DEVICES.

24. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ADJOINING PROPERTIES, ROADS, DRAINAGE WAYS AND SINKS OF SILT ACCUMULATION AS NEEDED AND AS DETERMINED/REQUESTED BY THE TOWN OF CANANDAIGUA.

25. ANY FINAL GRADE DEVIATIONS OF HOUSE PAD ELEVATIONS MORE THAN 12 INCHES SHALL BE APPROVED BY THE PLANNING BOARD.

Thomas Road

(66.0' wide r/way 24' pavement width)



SITE PREPARATION & EARTHWORK SEQUENCE

1. SILT FENCING, EROSION CONTROL MEASURES AND LIMITS OF WORK BOUNDARIES ARE TO BE PLACED PER PLAN. INSTALL CONSTRUCTION ENTRANCE. ESTABLISH STAGING AREAS AND SOIL STOCKPILE AREAS.
2. ESTABLISH PROPOSED DRIVEWAY AREA AND HOUSE BUILDING PAD PER SITE PLAN. INSTALL NEW UTILITY SERVICE CONNECTIONS.
3. INSTALL FOUNDATION/BASEMENT, GRADE, STABILIZE DRIVEWAY.
4. BEGIN HOUSE FRAMING.
5. REMOVE EROSION CONTROLS AND CEASE MONITORING ONLY AFTER APPROVAL HAS BEEN GRANTED BY THE TOWN OF CANANDAIGUA AND/OR THEIR PROJECT REPRESENTATIVE.

NOTES: - ACTUAL ON-SITE CONDITIONS MAY PRECIPITATE A NEED TO REVISE THE PROJECT SEQUENCING LISTED ABOVE.

This is to certify that I am a Licensed Land Surveyor and that this plan was completed on October 7, 2020 from notes of an instrument survey performed on September 18, 2020.



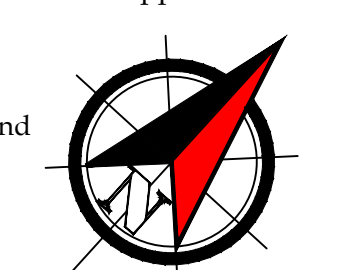
| Revisions | | | |
|-----------|------------|------------------------|----|
| NO. | Date | Description | By |
| 1 | 10/19/2020 | address PRC comments | RV |
| 2 | 1/14/2021 | address staff comments | RV |

Site Details:
Existing Zoning is R-1-30
Minimum Lot Size: 30,000 Sq. Ft
Minimum Lot Width: 125 FT
Front Setback: 60 FT.
Rear Setback: 40 FT.
Side Setback: 25 FT.
Maximum Building Height = 35 FT.
Maximum Building Coverage on Lot = 20%

Property is located in Flood Zone X per FEMA Community Panel Number 360598 0015 C Map last revised March 3, 1997.

Distances shown are horizontal ground distances. All distances and elevations shown are measured in Decimal Feet. Vertical Datum is NAVD 88. Horizontal Datum is NAD 83.

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Task Map # 70.06-1-68.10
Job # Thomas Lot 1&2
Scale: 1" = 100'