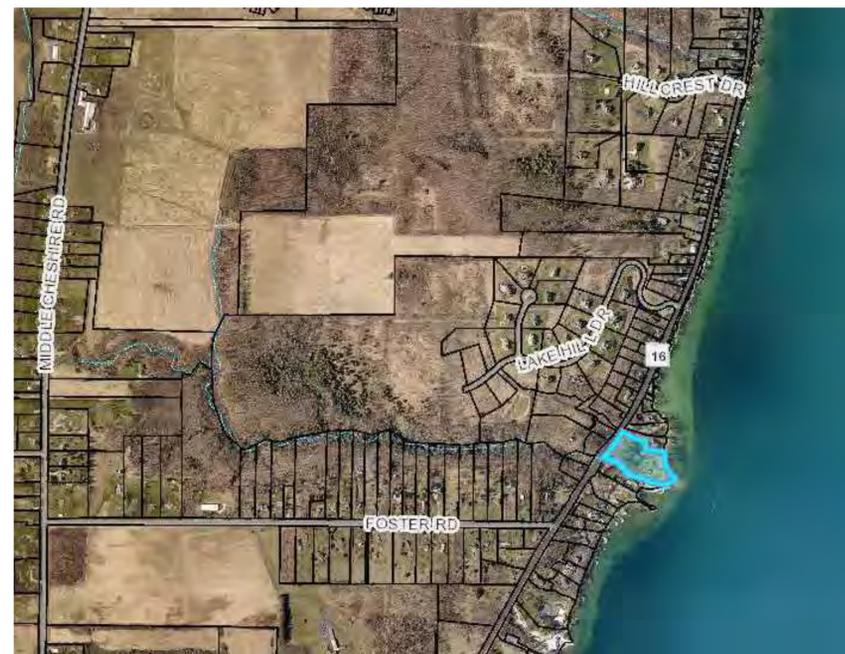


# ONE STAGE(PRELIMINARY/FINAL) SITE PLAN SET FOR

## SINGLE FAMILY HOME CONSTRUCTION 4351 TICHENOR POINT DRIVE TOWN OF CANANDAIGUA ONTARIO COUNTY -- STATE OF NEW YORK

### SHEET INDEX:

C-0	COVER SHEET
EX-1	EXISTING CONDITIONS PLAN
C-1	SITE CONSTRUCTION NOTES AND DETAILS
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AERIAL LOCUS  
NOT TO SCALE

### ONE STAGE SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

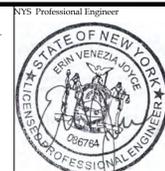
NOTE:  
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.

FOR PERMITTING ONLY

**VENEZIA**  
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PER SECTION 7209 OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW IT IS A VIOLATION FOR ANY PERSON TO ALTER ANY DOCUMENT THAT BEARS THE SEAL OF A PROFESSIONAL ENGINEER, UNLESS THE PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF A DOCUMENT BEARING THE SEAL OF AN ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE DOCUMENT THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



Revisions			
NO.	Date	Description	By
1	12/17/2021	PRC COMMENT	EVJ

NYS Land Surveyor  
Rocco A. Venezia, P.L.S.  
License # 049761

Site Plan Drawings Prepared For:

ABDB SILVER SPRINGS LLC  
4351 Tichenor Point Drive  
Town of Canandaigua  
County of Ontario State of New York

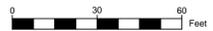
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Scale: AS NOTED  
T.m. # 126.16-1-1.10  
Date: 12/08/2021  
Sheet: **C-0**



AREA = 3.838 ACRES TO MEAN HIGH WATER LINE

T.M.#126.16-1-2.0  
N/F WANDA POLISSEN  
LIBER 1053 PAGE 190

- LEGEND**
- PROP WATER
  - PROP SEWER
  - PROP DRAIN
  - PROP ELECT
  - PROP TEL
  - PROP GAS
  - PROP GAS
  - SPOT GRADE
  - PROPOSED EROSION MAT
  - CHECK DAM
  - PROPOSED INLET PROTECTION
  - SILT FENCE
  - EXIST. CONTOUR
  - PROP. CONTOUR
  - PROPERTY LINE
  - CENTERLINE
  - LP
  - DRAIN MANHOLE
  - CATCH BASIN
  - SEWER MANHOLE
  - WATER VALVE
  - HYDRANT



FOR PERMITTING ONLY

**ONE STAGE SITE PLAN APPROVAL**

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

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Revisions			
NO.	Date	Description	By



Drawing Title: **EASEMENT PLAT**

**ABDB SILVER SPRINGS LLC**  
 4351 Tichenor Point Drive  
 Town of Canandaigua  
 County of Ontario State of New York

File# 21103
Scale: 1" = 30'
T.M. # 126.16-1-1.10
Date: 12/17/2021
Sheet: <b>EXT-1</b>

**GENERAL NOTES**

- PROPERTY LINE INFORMATION SHOWN ON THIS PLAN IS BASED ON AVAILABLE RECORD INFORMATION AND ON A FIELD INSTRUMENT SURVEY PERFORMED BY VENEZIA AND ASSOCIATES ON JUNE 8, 2021.
- UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ACTUAL LOCATION SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITY SERVICES THROUGHOUT CONSTRUCTION. CONTACT U.F.P.O. AT 1-800-962-7962 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.
- THIS UPLAND PORTION OF THE SITE DOES NOT FALL WITHIN ANY FEMA SPECIAL FLOOD HAZARD ZONES, THE LAKE FRONTAGE AND DRAINAGE AREA ALONG THE SOUTHERN PROPERTY LINE ARE LOCATED IN ZONE A, PER C.P. #3605980025C MAP REVISED MARCH 3, 1997.
- NO CHANGES ARE TO BE MADE TO THIS DESIGN WITHOUT PRIOR APPROVAL OF THE DESIGN ENGINEER.
- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE WATER/SEWER AGENCIES, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
- ELEVATIONS REFERENCE NAVD88 DATUM.

**EROSION CONTROL CONSTRUCTION SEQUENCE:**

- INSTALL ALL PERIMETER EROSION AND SEDIMENTATION CONTROL DEVICES, STABILIZED CONSTRUCTION ENTRANCE, TREE PROTECTION DEVICES, TEMPORARY SEDIMENT BASIN, AND MOBILIZE AND SET UP TEMPORARY STORAGE AREAS AT THE SITE.
  - REMOVE TREES DOWN TO STUMP WHERE APPLICABLE (STUMP REMOVAL TO HAPPEN DURING SITE WORK AT LOCATION OF STUMP).
  - BEGIN GENERAL CONSTRUCTION ACTIVITIES TO ESTABLISH ROUTE OF DRIVEWAY. DRIVEWAY CONSTRUCTION SHALL BEGIN AT TICHENOR POINT DRIVE AND HEAD TOWARDS THE PROPOSED RESIDENCE.
  - STABILIZE DRIVEWAY COURTYARD AT PROPOSED HOUSE LOCATION.
  - BEGIN GENERAL CONSTRUCTION AROUND THE BUILDING AND CONSTRUCT FOUNDATIONS.
  - ERECT BUILDINGS AND COMPLETE SANITARY AND WATER PLUMBING CONNECTIONS.
  - PERMANENTLY STABILIZE ALL AREAS AROUND THE HOUSE LOCATION.
  - REMOVE EROSION CONTROLS AND CEASE MONITORING ONLY AFTER APPROVAL HAS BEEN GRANTED BY THE TOWN OF CANANDAIGUA AND/OR THEIR PROJECT REPRESENTATIVE.
- NOTES:  
- ACTUAL ON-SITE CONDITIONS MAY PRECIPITATE A NEED TO REVISE THE PROJECTED SEQUENCING LISTED ABOVE.

**TOWN OF CANANDAIGUA STANDARD NOTES**

- ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE WATER / SEWER AGENCIES, UNLESS OTHERWISE NOTED.
  - A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED TO CONFORM WITH THE LATEST NYSDEC GENERAL PERMIT AND TO THE TOWN REQUIREMENTS REGARDING MAINTENANCE AND CONTROL OF STORMWATER QUALITY AND QUANTITY.
  - ALL SWPPPS ARE REQUIRED TO BE REVIEWED AND APPROVED BY THE TOWN CEO AND TOWN ENGINEER. THE TOWN MS4 SWPPP ACCEPTANCE FORM IS TO BE SIGNED AND INSERTED INTO THE PROJECT SWPPP PRIOR TO CONSTRUCTION.
  - THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED SWPPP, INCLUDING FILING OF THE "NOTICE OF INTENT" (NOI), A COPY OF THE NYSDEC ACKNOWLEDGEMENT LETTER IS TO BE PROVIDED TO THE TOWN DEVELOPMENT OFFICE AND TOWN ENGINEER PRIOR TO CONSTRUCTION.
  - A COPY OF THE PROJECT SWPPP IS TO BE PROVIDED TO THE TOWN DEVELOPMENT OFFICE, TOWN ENGINEER AND A COPY IS TO REMAIN ON SITE DURING CONSTRUCTION AT ALL TIMES IN A MARKED AND ACCESSIBLE LOCATION.
  - ANY MODIFICATIONS OR DEVIATIONS FROM THE APPROVED PLANS, CONSTRUCTION SEQUENCE, AND/OR SWPPP INCLUDING IMPLEMENTATION OF EROSION CONTROL MEASURES AND STORMWATER MANAGEMENT AREAS SHALL BE APPROVED BY THE TOWN OF CANANDAIGUA AND DOCUMENTED WITHIN THE PROJECT SWPPP.
  - THE OWNER IS REQUIRED TO PROVIDE DAILY ON-SITE OBSERVATION BY A LICENSED PROFESSIONAL OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC). ALL SWPPP INSPECTIONS ARE TO BE IN A FORM ACCEPTABLE BY THE TOWN OF CANANDAIGUA AND FORWARDED TO THE OWNER, THE TOWN CEO, TOWN ENGINEER, AND A COPY PLACED WITHIN THE ON-SITE PROJECT SWPPP.
  - THE OWNER IS RESPONSIBLE FOR PROVIDING ON-SITE SWPPP INSPECTIONS BY A LICENSED PROFESSIONAL OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC) DURING CONSTRUCTION ONCE PER WEEK (EVERY 7 DAYS) IF UNDER 5 ACRES OF DISTURBANCE AND TWICE PER WEEK (EVERY 7 DAYS) IF 5 ACRES OR MORE WITH RECEIPT OF A 5-ACRE WAIVER FROM THE TOWN OF CANANDAIGUA (MS4).
  - DEVELOPMENT IN THE CANANDAIGUA LAKE WATERSHED DISTURBING MORE THAN 5 ACRES AT ONE TIME IS REQUIRED TO COORDINATE THE REGULAR SWPPP OBSERVATIONS REQUIRED BY THE LATEST GENERAL PERMIT WITH THE CANANDAIGUA LAKE WATERSHED INSPECTOR, THE WATERSHED PROGRAM MANAGER, AND THE TOWN CODE ENFORCEMENT OFFICER.
  - CONSTRUCTION SEQUENCE. ALL PLANS ARE TO BE PROVIDED WITH A DETAILED CONSTRUCTION SEQUENCE. THE CONTRACTOR SHALL COMPLETE CONSTRUCTION AND INSTALL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE APPROVED CONSTRUCTION SEQUENCE UNLESS SPECIFIED OTHERWISE ON THE APPROVED DESIGN PLANS OR AT THE PRE-CONSTRUCTION MEETING.
  - DUST SHALL CONTROL DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE TOWN OF CANANDAIGUA.
  - THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR, AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION AND UNTIL THE SITE IS FULLY STABILIZED, INSPECTED BY THE TOWN OF CANANDAIGUA, AND ISSUANCE OF THE NOTICE OF TERMINATION (NOT) HAS BEEN PROVIDED TO NYSDEC.
  - ROOF LEADERS SHOULD BE CONNECTED TO STORM SEWERS WHERE POSSIBLE UNLESS OTHERWISE SPECIFIED ON THE APPROVED PLANS AND WITHIN THE PROJECT SWPPP.
  - NO SITE PREPARATION SHALL COMMENCE UNTIL A VISUAL INSPECTION BY THE TOWN OF CANANDAIGUA CONFIRMS THE INSTALLATION OF PERIMETER SEDIMENT CONTROLS AND THE STABILIZED CONSTRUCTION ENTRANCE.
  - UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF VEGETATION, THE STORMWATER MANAGEMENT FACILITY SHALL BE CLEANED OF ACCUMULATED SILT.
  - ALL SITE STABILIZATION IS TO BE IN ACCORDANCE WITH THE LATEST VERSIONS OF THE NYSDEC STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL AND THE NYSDEC GENERAL PERMIT (WHERE APPLICABLE).
  - ADDITIONAL TEMPORARY AND PERMANENT SEEDING AND SITE STABILIZATION REQUIREMENTS:
    - ALL DISTURBED AREAS INCLUDING TOPSOIL STOCKPILES AND STORMWATER MANAGEMENT FACILITIES ARE TO BE STABILIZED WITHIN SEVEN (7) DAYS AFTER COMPLETION.
      - TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:
        - THE SURFACE TWO INCHES OF SOILING OR BACK-BLADING WITH A BULLDOZER
        - FERTILIZE WITH 300 LBS PER ACRE OR 7 LBS PER 1000 SQUARE FEET
        - NO PHOSPHORUS SHALL BE USED UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY HORTICULTURE TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHORUS DEFICIENCY THAT IS HARMFUL OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.
        - IF SOIL TESTS INDICATE A PHOSPHORUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHORUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYSDEC REGULATIONS.
        - THE FOLLOWING "SEED MIX" SHALL BE USED:
 

SPRING/SUMMER/EARLY FALL	LBS/ACRE	LBS/1,000 SQ. ACRE
ANNUAL RYE GRASS	30	0.7
PERENNIAL RYEGRASS	30	0.7
LATE FALL/EARLY WINTER CEREAL RYE	100	2.5
      - SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85% AND MINIMAL INERT MATERIAL.
    - DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEED MIX UPON COMPLETION OF GRADING AND CONSTRUCTION:
 

BIRDSFOOT TREFLOL OR COMMON WHITE CLOVER	LBS/ACRE	LBS/1,000 SQ. ACRE
8 OR 6	0.20	0.20
TALL FESCUE	20	0.45
REDTOP OR RYEGRASS (PERENNIAL)	2 OR 5	0.05 OR 0.10
    - SEEDING RATE 6 LBS PER 1000 SQUARE FEET
    - MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYDROSEEDING METHOD AT 2 TONS PER ACRE WITH TACKIFIER.
    - FOR FALL OR EARLY WINTER, SEED WITH CERTIFIED "AROSTOCK" WINTER RYE (CEREAL RYE) AT 100 LBS PER ACRE.
    - PERMANENT STABILIZATION FOR STEEP SLOPES GREATER THAN 3:1 SHALL INCLUDE JUTE MESH BLANKET AND CROWN VETCH SEED WITH PERENNIAL RYEGRASS.
    - NO PHOSPHORUS SHALL BE USED UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY HORTICULTURE TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHORUS DEFICIENCY THAT IS HARMFUL OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.
    - IF SOIL TESTS INDICATE A PHOSPHORUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHORUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYSDEC REGULATIONS.
- THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
- EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION THE CONTRACTOR SHALL CALL THE DIG SAFELY NEW YORK UPOH HOTLINE AT 1-800-962-7962 FOR STAKEOUT OF EXISTING UTILITIES. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET THE EXISTING CONDITIONS.
- THE HOMEOWNER WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING INDIVIDUAL LOT EROSION AND SEDIMENT CONTROL MEASURES DURING HOUSE CONSTRUCTION. MEASURES TO BE MAINTAINED UNTIL FINAL LOT LAWN GRADING AND SITE IS FULLY STABILIZED AND INSPECTED BY THE TOWN OF CANANDAIGUA.
- ANY ADDITIONAL OR EROSION OR SEDIMENT CONTROL MEASURES DEEMED NECESSARY BY THE TOWN OF CANANDAIGUA OR A REPRESENTATIVE THEREOF SHALL BE PROVIDED BY THE OWNER AND INSTALLED BY THE CONTRACTOR.
- SEDIMENT CONTROL MEASURES ARE TO BE ESTABLISHED PRIOR TO COMMENCING EARTHWORK. SEDIMENT CONTROL MEASURES ARE TO BE MAINTAINED BY THE CONTRACTOR UNTIL UPSTREAM GROUND COVER HAS BEEN ESTABLISHED AND REMOVAL IS APPROVED BY THE TOWN OF CANANDAIGUA.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, REPLACING, AND SUBSEQUENTLY REMOVING TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ADJOINING PROPERTIES, ROADWAYS, DRAINAGE WAYS, AND SINKS OF SILT ACCUMULATION AS NEEDED AND AS DETERMINED/REQUESTED BY THE TOWN OF CANANDAIGUA.
- ANY FINAL GRADE DEVIATIONS OF HOUSE PAD ELEVATIONS MORE THAN 12 INCHES SHALL BE APPROVED BY THE PLANNING BOARD.

**WATER SYSTEM NOTES**

- WATERMANS AND APPURTENANCES SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND NEW YORK STATE DEPARTMENT OF HEALTH.
- PROVIDE 10' MINIMUM SEPARATION BETWEEN THE WATERMAIN AND SEWER MAINS. VERTICAL SEPARATION BETWEEN WATERMANS SHALL BE MAINTAINED IN ACCORDANCE WITH THE WATERMAIN/SEWER CROSSING DETAIL WHERE A WATERMAIN CROSSES UNDER A SEWER. ADEQUATE STRUCTURAL SUPPORT (COMPACT SELECT FILL) SHALL BE PROVIDED FOR THE SEWERS TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING AND POSSIBLY BREAKING THE WATERMANS.
- WATERMAIN SHALL BE PVC PIPE, AWWA C-900 AND SHALL HAVE A MINIMUM OF 5-FEET OF COVER FROM FINISHED GRADE.
- THE WATERMAIN SHALL BE FLUSHED PRIOR TO TESTING AND DISINFECTION WITH A MINIMUM FLUSHING VELOCITY OF 2.5 FEET PER SECOND.
- THE WATERMAIN, INCLUDING FITTINGS AND VALVES, SHALL COMPLY WITH AWWA C-600 SECTION 2 SPECIFICATIONS AND SHALL BE PRESSURE AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA C605 SECTION AND THE LATEST SPECIFICATIONS OF THE NYSDOH.
- DISINFECTION SHALL BE ACCOMPLISHED AFTER THE PIPE HAS PASSED THE HYDROSTATIC TESTS AND SHALL BE IN CONFORMANCE WITH AWWA C-651, LATEST REVISION, BY USING THE CONTINUOUS FEED METHOD. FOLLOWING FLUSHING, SAMPLES OF THE WATER SHALL BE COLLECTED FROM THE MAIN. FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS. WATER SAMPLE COLLECTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND ANALYSIS OF THE SAMPLES SHALL BE PERFORMED BY A NYS DEPARTMENT OF HEALTH APPROVED LABORATORY. THE WATERMAIN SHALL NOT BE PLACED IN SERVICE UNTIL A "COMPLETED WORKS APPROVAL" CERTIFICATE HAS BEEN ISSUED BY THE NYS DEPT. OF HEALTH.

**SANITARY LATERAL NOTES:**

- ALL SANITARY SEWER CONSTRUCTION AND/OR IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CANANDAIGUA LAKE COUNTY SEWER DISTRICT, N.Y.S. DEPARTMENT OF ENVIRONMENTAL CONSERVATION, N.Y.S. DEPARTMENT OF HEALTH, THE LATEST EDITION OF RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES AND ANY OTHER AGENCIES HAVING JURISDICTION.
- NO SANITARY SEWER-RELATED WORK MAY BE PERFORMED WITHOUT FIRST OBTAINING A WRITTEN PERMIT FORM THE CANANDAIGUA LAKE COUNTY SEWER DISTRICT.
- DISTRICT PERSONNEL SHALL BE NOTIFIED A MINIMUM OF 48 HOURS PRIOR TO BEGINNING ANY SANITARY SEWER-RELATED WORK.
- THE CONTRACTOR SHALL LOCATE, MARK AND PRESERVE ANY RIGHT OF WAY MONUMENTS OR SURVEY CONTROL IN THE AREA OF CONSTRUCTION.
- UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF UTILITIES, EXCAVATING TO EXPOSE THE UTILITY, IF NECESSARY IN THE AREA OF CONSTRUCTION, BEFORE COMMENCING CONSTRUCTION. CONTACT U.F.P.O. AT 1-800-962-7962 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.
- LATERALS SHALL BE A MIN. 4" DIA. SDR-21 WITH ELASTOMERIC JOINTS; FOR COMMERCIAL ESTABLISHMENTS, LATERALS ARE TO BE 6" DIA. SDR-21. MINIMUM DEPTH OF BURIAL IS FOUR FEET. CLEANOUTS SHALL BE INSTALLED WITHIN 30 INCHES OF THE OUTSIDE FACE OF BUILDINGS, AT ALL CHANGES IN HORIZONTAL ALIGNMENT, AT THE RIGHT OF WAY OR EASEMENT LINE, AND AT SPACING NOT TO EXCEED 90 FEET.
- SANITARY SEWER MAINS AND LATERALS SHALL BE LOCATED A MINIMUM HORIZONTAL DISTANCE OF 10' FROM ANY EXISTING OR PROPOSED WATER MAIN (AS MEASURED FROM THE OUTSIDE OF THE SEWER TO THE OUTSIDE OF THE WATER MAIN), IN CASES WHERE THE SANITARY SEWER CROSSES A WATER MAIN, THE MINIMUM VERTICAL SEPARATION SHALL BE 18" (MEASURED OUT-TO-OUT). THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS.
- THE CONTRACTOR SHALL PROVIDE THE DISTRICT WITH SHOP DRAWINGS AND MATERIAL SPECIFICATIONS THAT HAVE BEEN PRE-APPROVED BY THE DESIGN ENGINEER BEFORE A PERMIT WILL BE ISSUED.
- THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH OSHA REQUIREMENTS IN ALL ASPECTS OF CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SANITARY FLOWS AT ALL TIMES BY METHODS ACCEPTABLE TO THE DEVELOPER'S ENGINEER AND THE DISTRICT.
- FLOOR DRAINS IN THE BASEMENT OR GARAGE ARE TO BE CONNECTED TO THE SANITARY SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION OR FOOTER DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUND WATER. ALL DISCHARGES TO THE SANITARY SEWER MUST COMPLY WITH EFFLUENT LIMITS OF THE ONTARIO COUNTY SEWER USE LAW. FOUNDATION AND FOOTER DRAINS SHALL BE CONSTRUCTED IN A MANNER THAT WILL PROHIBIT GROUNDWATER FROM DRAINING INTO THE SANITARY SEWER PIPE CRADLE.

**ZONING CHART**

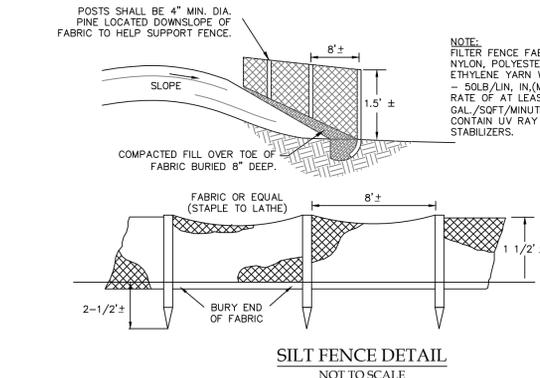
TOWN OF CANANDAIGUA  
ZONING DISTRICT: RESIDENTIAL LAKE DISTRICT (RLD)

	REQUIRED	EXISTING	PROPOSED
MIN LOT AREA (AREA TO ROW)	20,000 SF	167,183 SF	167,183 SF
MIN LOT WIDTH	125'	304.75'	304.75'
MIN FRONT YARD SETBACK	60'	368.2'(HSE) 345.3'(SHED)	347.4'
MIN SIDE YARD SETBACK	12'	65.0'(HSE) 49.6'(SHED)	41.4'(HSE) 37'(POOL)
MIN REAR YARD SETBACK	60'	93.1'	114.0'
MIN SETBACK TO STREAM	100'	65.0'(HSE) 49.6'(SHED)	41.4'(HSE) 37'(POOL)
MAX BUILDING HEIGHT	25 FT		22.42 FT
MAX BUILDING COVERAGE	15%	2.2%	4.2%
MAX LOT COVERAGE	25%	11.0%	14.0%
SITE DISTURBANCE		90,500 SF OR 2.1 ACRES	

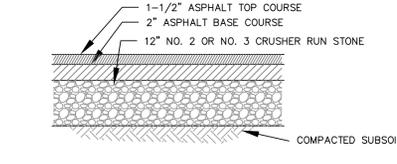
← VARIANCE REQUESTED

Existing Lot Coverage Calculations:	Sq.Ft	FINAL Proposed Lot Coverage Calculations:	Sq.Ft
Buildings	3,670	Buildings	6,957*
Asphalt Driveway	6,615	Tichenor Point Drive	3,440
Tennis Court	6,900	Asphalt Driveway	7,000
Walkways	440	Paths	1,885
Stream Wall	694	Deck/Pavers	679
		Deck	2,256
Building Coverage	3,670	Pool & Spa	575
Total Coverage	18,319	Stream Wall	694
Total Site Area	167,183	Building Coverage	6,957
Building Coverage	2.2%	Total Coverage	23,486
Total Lot Coverage	11.0%	Total Site Area	167,183
		Building Coverage	4.2%
		Total Lot Coverage	14.0%

\*2,900sf of roof area is a green roof



**BITUMINOUS CONCRETE PAVEMENT**  
NOT TO SCALE



**LEGEND**

W	PROP WATER	- - -	SILT FENCE
S	PROP SEWER	---	EXIST. CONTOUR
D	PROP DRAIN	---	PROP CONTOUR
E	PROP ELEC	---	PROPERTY LINE
T	PROP TEL	---	CENTERLINE
GA	PROP GAS	---	LIGHT POLE
900.3 X	SPOT GRADE	LP	DRAIN MANHOLE
PROPOSED EROSION MAT		CB	CATCH BASIN
CHECK DAM		SM	SEWER MANHOLE
PROPOSED INLET PROTECTION		WV	WATER VALVE
		HYD	HYDRANT

**ONE STAGE SITE PLAN APPROVAL**

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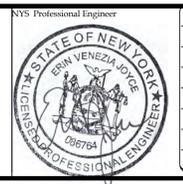
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FOR PERMITTING ONLY

**VENEZIA**  
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PER SECTION 2209 OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW IT IS A VIOLATION FOR ANY PERSON TO ALTER ANY DOCUMENT THAT BEARS THE SEAL OF A PROFESSIONAL ENGINEER, UNLESS THE PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, IF A DOCUMENT BEARING THE SEAL OF AN ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE DOCUMENT THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



**Revisions**

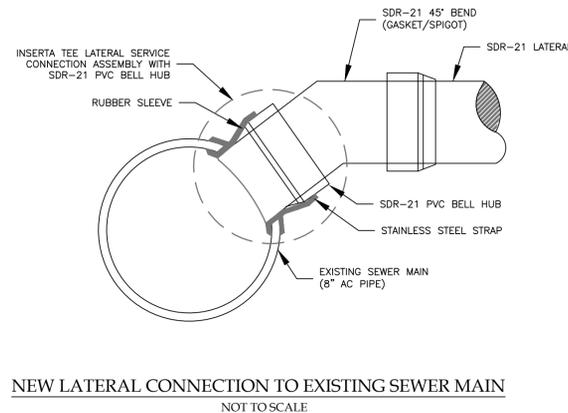
NO.	Date	Description	By
1	12/17/2021	PRC COMMENT	EVJ

NYS Land Surveyor  
Rocco A. Venezia, P.L.S.  
License # 042761

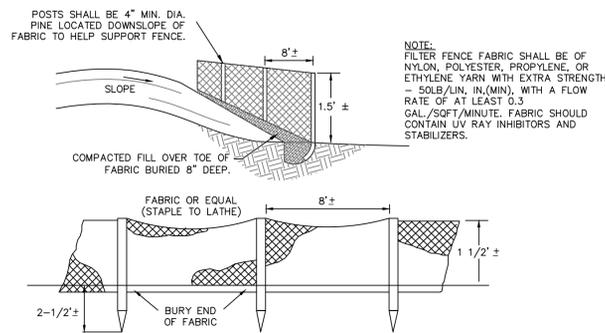
Drawing Title: **SITE CONSTRUCTION NOTES AND DETAILS**  
Site Plan Prepared For: **ABDB SILVER SPRINGS LLC**  
4351 Tichenor Point Drive  
Town of Canandaigua  
County of Ontario State of New York

File# 21103  
Scale: AS NOTED  
T.M. # 98.13-1-16.11  
Date: 12/08/2021  
Sheet: **C-1**



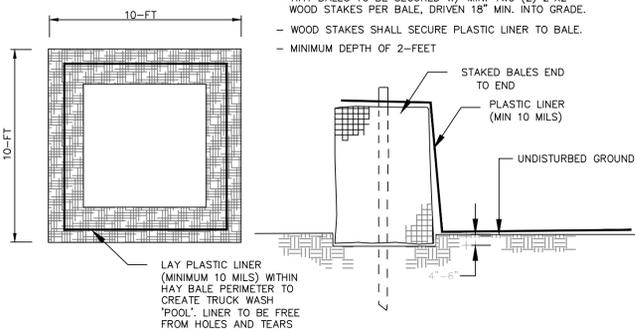


**NEW LATERAL CONNECTION TO EXISTING SEWER MAIN**  
NOT TO SCALE



**SILT FENCE DETAIL**  
NOT TO SCALE

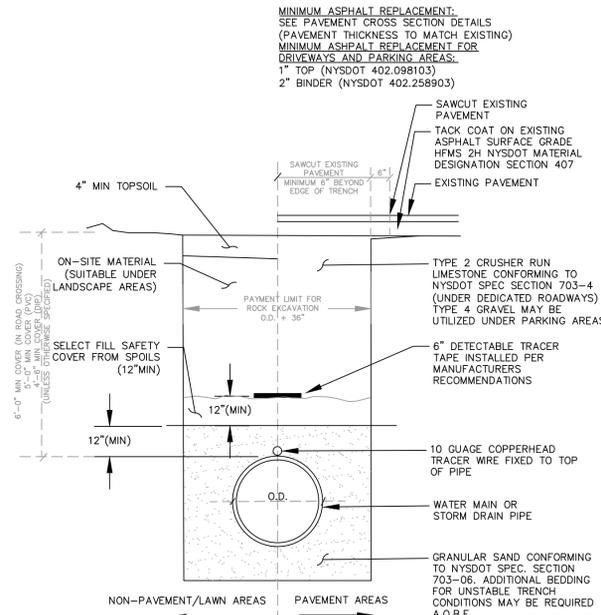
- BALES TO BE TIED W/ ORGANIC FIBER TWINE ONLY, NO PLASTIC OR WIRE.
- HAY BALES TO BE SECURED W/ MIN. TWO (2) 2"x2" WOOD STAKES PER BALE, DRIVEN 18" MIN. INTO GRADE.
- WOOD STAKES SHALL SECURE PLASTIC LINER TO BALE.
- MINIMUM DEPTH OF 2- FEET



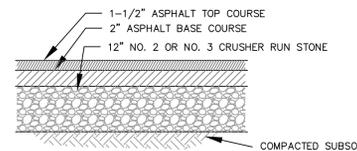
**CONCRETE TRUCK WASH AREA**  
NOT TO SCALE

**MAINTENANCE FOR CONCRETE WASH AREA:**

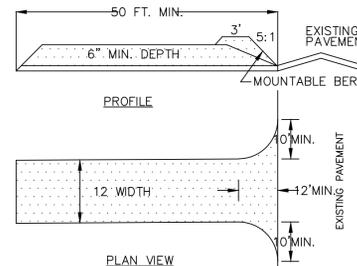
1. ALL CONCRETE WASHOUT FACILITIES SHALL BE INSPECTED DAILY. DAMAGED OR LEAKING FACILITIES SHALL BE DEACTIVATED AND REPAIRED OR REPLACED IMMEDIATELY. EXCESS RAINWATER THAT HAS ACCUMULATED OVER HARDENED CONCRETE SHOULD BE PUMPED TO A STABILIZED AREA, SUCH AS A GRASS FILTER STRIP.
2. ACCUMULATED HARDENED MATERIAL SHALL BE REMOVED WHEN 75% OF THE STORAGE CAPACITY OF THE STRUCTURE IS FILLED. ANY EXCESS WASH WATER SHALL BE PUMPED INTO A CONTAINMENT VESSEL AND PROPERLY DISPOSED OF OFF SITE.
3. DISPOSE OF THE HARDENED MATERIAL OFF-SITE IN A CONSTRUCTION/DEMOLITION LANDFILL. ON-SITE DISPOSAL MAY BE ALLOWED IF THIS HAS BEEN APPROVED AND ACCEPTED AS PART OF THE PROJECTS SWPPP. IN THAT CASE, THE MATERIAL SHOULD BE RECYCLED AS SPECIFIED, OR BURIED AND COVERED WITH A MINIMUM OF 2 FEET OF CLEAN COMPACTED EARTH/ FILL THAT IS PERMANENTLY STABILIZED TO PREVENT EROSION.
4. THE PLASTIC LINER SHALL BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.
5. INSPECT THE PROJECT SITE FREQUENTLY TO ENSURE THAT NO CONCRETE DISCHARGES ARE TAKING PLACE IN NON-DESIGNATED AREAS.



**WATER MAIN & DRAIN BEDDING DETAIL**  
NOT TO SCALE

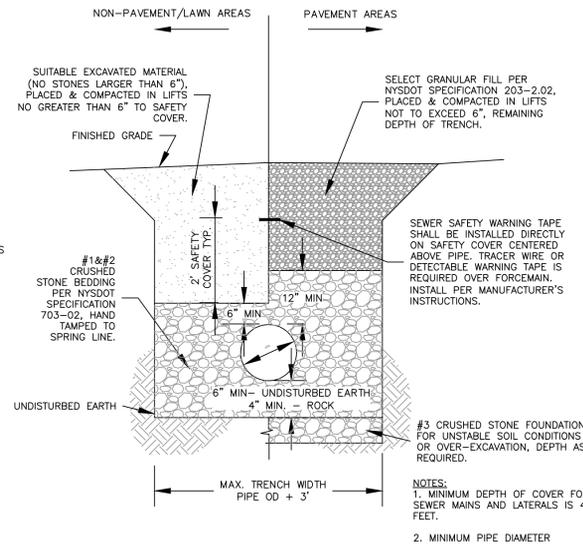


**BITUMINOUS CONCRETE PAVEMENT**  
NOT TO SCALE

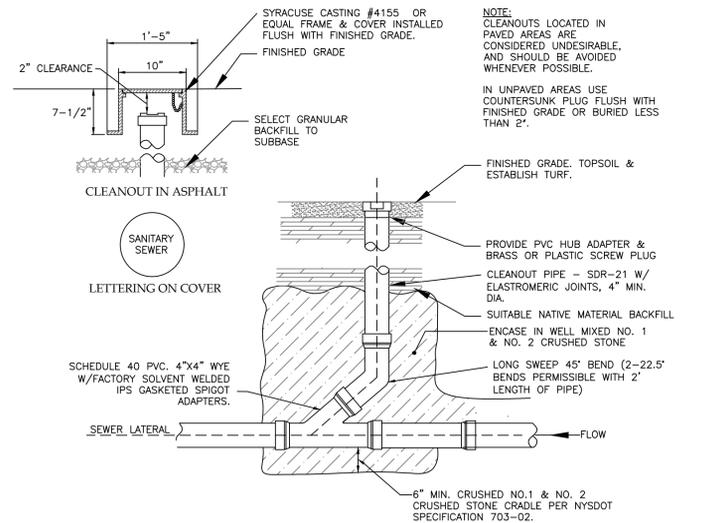


**STABILIZED CONSTRUCTION ENTRANCE DETAILS**  
NOT TO SCALE

- MINIMUM ASPHALT REPLACEMENT:  
SEE PAVEMENT CROSS SECTION DETAILS  
(PAVEMENT THICKNESS TO MATCH EXISTING)  
MINIMUM ASPHALT REPLACEMENT FOR DRIVEWAYS AND PARKING AREAS:  
1\"/>



**SANITARY SEWER MAIN & LATERAL TRENCH BEDDING DETAIL**  
NOT TO SCALE



**SANITARY CLEANOUT DETAIL**  
NOT TO SCALE

1. STONE SIZE - USE #2 STONE
2. THICKNESS - NOT LESS THAN 6 (SIX) INCHES.
3. WIDTH - FULL ENTRANCE WIDTH
4. USE FILTER FABRIC UNDER STONE FOR ENTRANCE STABILITY.
5. MAINTENANCE - THE CONTRACTOR SHALL MAINTAIN THE ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING OR SEDIMENT FLOW ONTO A PUBLIC HIGHWAY.
6. WHEN HIGHWAY WASHING IS REQUIRED, IT SHALL BE DONE IN A MANNER THAT DIRECTS SEDIMENT RUNOFF TOWARDS EROSION CONTROL DEVICES. INSTALL ADDITIONAL EROSION CONTROLS, IF NEEDED.
7. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AFTER EACH RAINSTORM.

**ONE STAGE SITE PLAN APPROVAL**

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

NOTE:  
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.

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C-3

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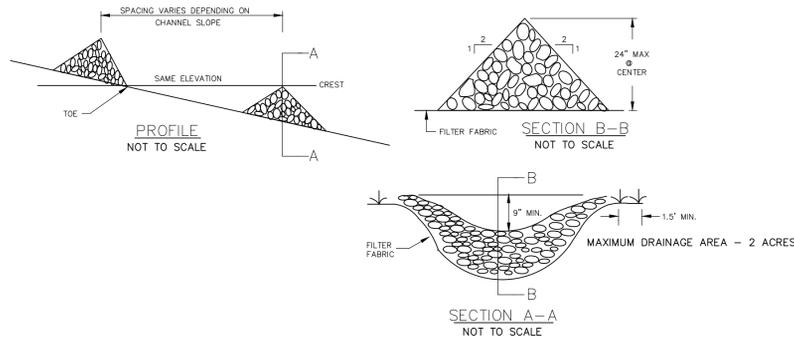
NYS Land Surveyor  
Rocco A. Venezia, P.L.S.  
License # 049761

Drawing Title: **SITE DETAILS**  
Site Plan Prepared For:  
**ABDB SILVER SPRINGS LLC**  
4351 Tichenor Point Drive  
Town of Canandaigua  
County of Ontario State of New York

**MAINTENANCE FOR STONE CHECK DAM:**  
 1. THE CHECK DAMS SHOULD BE INSPECTED AFTER EACH RUNOFF EVENT. CORRECT ALL DAMAGE IMMEDIATELY. IF SIGNIFICANT EROSION HAS OCCURRED BETWEEN STRUCTURES, A LAYER OF STONE OR OTHER SUITABLE MATERIAL SHOULD BE INSTALLED IN THAT PORTION OF THE CHANNEL OR ADDITIONAL CHECK DAMS ADDED.  
 2. REMOVE SEDIMENT ACCUMULATED BEHIND THE DAM AS NEEDED TO ALLOW CHANNEL TO DRAIN THROUGH THE STONE CHECK DAM AND PREVENT LARGE FLOWS FROM CARRYING SEDIMENT OVER THE DAM.

**CONSTRUCTION SPECIFICATIONS**

- 1.) STONE WILL BE PLACED ON A FILTER FABRIC FOUNDATION TO THE LINES, GRADES AND LOCATION SHOWN IN THE PLAN.
- 2.) SET SPACING OF CHECK DAMS TO ASSUME THAT THE ELEVATIONS OF THE CREST OF THE DOWNSTREAM DAM IS AT THE SAME ELEVATION OF THE TOE OF THE UPSTREAM DAM.
- 3.) EXTEND THE STONE A MINIMUM OF 1.5 FEET BEYOND THE DITCH BANKS TO PREVENT CUTTING AROUND THE DAM.
- 4.) PROTECT THE CHANNEL DOWNSTREAM OF THE LOWEST CHECK DAM FROM SCOUR AND EROSION WITH STONE OR LINER AS APPROPRIATE.
- 5.) ENSURE THAT CHANNEL APPURTENANCES SUCH AS CULVERT ENTRANCES BELOW CHECK DAMS ARE NOT SUBJECT TO DAMAGE OR BLOCKAGE FROM DISPLACED STONES.



**TEMPORARY STONE CHECK DAM DETAIL**  
NOT TO SCALE

**STORMWATER SYSTEM SIZING**

**REQUIRED VOLUME FOR AREA REDUCTION:**

THE STORMWATER INFILTRATION SYSTEM HAS BEEN SIZED TO CONTAIN A 2" RAIN EVENT BEFORE OVERFLOW. DUE TO THE FACT THAT THE PROJECT IS A SINGLE-FAMILY HOME A FULL STORMWATER QUANTITY ANALYSIS HAS NOT BEEN PERFORMED, BUT CONTAINMENT OF THE 2" STORM PROVIDES STORMWATER QUALITY CONTROL FOR ENHANCED PHOSPHOROUS REMOVAL DUE TO THE PROJECT BEING LOCATED IN THE CANANDAIGUA LAKE WATERSHED.

THE PROPOSED VOLUME OF RUNOFF, ASSUMING 100% RUNOFF FROM 2" OF RAIN, OVER THE IMPERVIOUS COVER DRAINAGE AREA (PROPOSED ROOF, PAVEMENT, DECK, ETC) IS:

IMPERVIOUS AREA X 2" = 23,486 SF X 0.16 FT = 3,914 CF

IN ORDER TO PROVIDE STORAGE FOR THIS VOLUME, INFILTRATION MEADOWS WITH STORAGE CAPACITY ALONG WITH INFILTRATION TRENCHES AROUND THE HOUSE ARE PROPOSED. THESE SYSTEMS STORE A COMBINED VOLUME OF 3,927 CF BEFORE OVERFLOW.

**VOLUME PROVIDED IN INFILTRATION SYSTEMS:**

INFILTRATION MEADOWS: [361 SF, 887 SF, 980 SF]  
 SURFACE DEPRESSIONS: 2228 SF X 6" DEEP = 1114 CF  
 STONE MEDIA: 2228SF X 40%VOIDS X 24" DEEP = 1782 CF

VOLUME OF MEADOWS = 2,896 CF

**12" STONE TRENCH (@Driveway):**

147' BASE LENGTH STONE  
 3.0' BASE WIDTH STONE  
 VOLUME OF STONE = 147' X 3.0' X 3.0' = 1323 CF - PIPE VOLUME = 1208 CF X 40% VOID = 483 CF

**PIPE VOLUME (EMBEDDED IN STONE):**

191' LF 12" PIPE  
 VOLUME OF 12" PIPE = 3.14 X (6"/12)<sup>2</sup> X 191' = 115 CF

TOTAL VOLUME OF SYSTEM:  
 VOLUME OF STONE + VOLUME OF PIPE = 483 CF + 115 CF = 598 CF

**12" STONE TRENCH (@ Front Yard):**

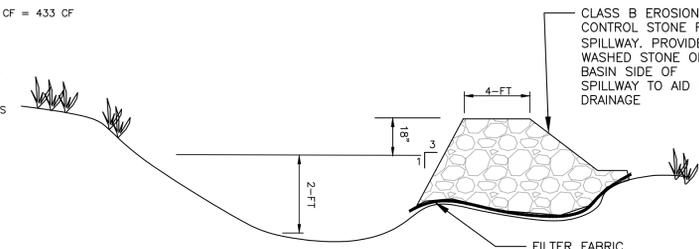
191' BASE LENGTH STONE  
 3.0' BASE WIDTH STONE  
 VOLUME OF STONE = 191' X 1.5' X 3.0' = 859 CF - PIPE VOLUME = 709 CF X 40% VOID = 283 CF

**PIPE VOLUME (EMBEDDED IN STONE):**

191' LF 12" PIPE  
 VOLUME OF 12" PIPE = 3.14 X (6"/12)<sup>2</sup> X 191' = 150 CF

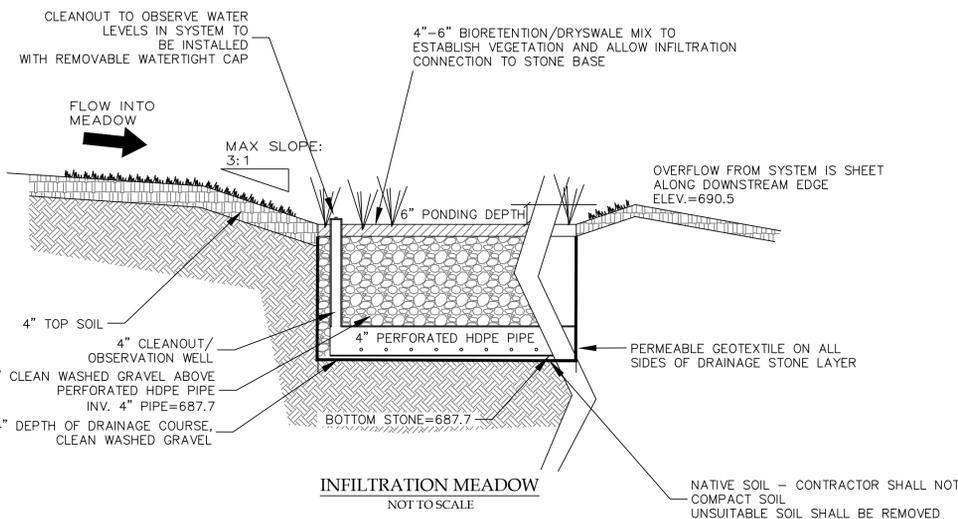
TOTAL VOLUME OF SYSTEM:  
 VOLUME OF STONE + VOLUME OF PIPE = 283 CF + 150 CF = 433 CF

**MAINTENANCE FOR TEMPORARY SEDIMENT BASIN:**  
 1. DIKE SYSTEM WILL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT.  
 2. SEDIMENT IN THE SYSTEM WILL BE REMOVED WHEN THE INTERIOR TRENCH HAS FILLED TO 75% CAPACITY.  
 3. SEDIMENT WILL BE DISPOSED OF ON-SITE AS SPECIFIED IN THE EROSION AND SEDIMENT CONTROL PLAN.  
 4. UPON STABILIZATION OF THE TRIBUTARY DRAINAGE AREA, THE TRENCH WILL BE FILLED, EXCESS DIKE FILL REMOVED, AND THE AREA GRADED AND STABILIZED IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL PLAN.

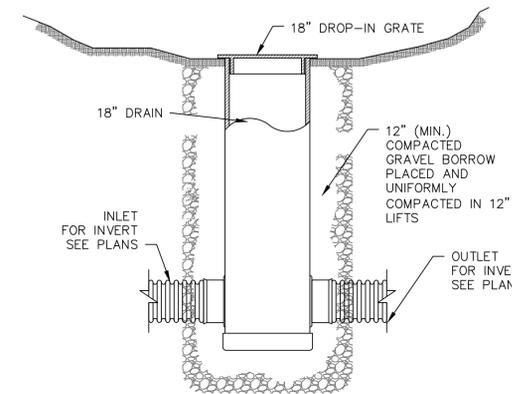


- NOTE:**
1. CLEAR, GRUB STRIP THE AREA UNDER THE EMBANKMENT OF ALL VEGETATION AND ROOT MAT.
  2. CONSTRUCT DAM AND STONE SPILLWAY.
  3. ENSURE THE SPILLWAY CREST IS LEVEL AND AT LEAST 18" BELOW THE TOP OF THE BASIN AT ALL POINTS.
  4. STONE FOR SPILLWAY SHALL BE CLASS "B" EROSION CONTROL STONE.
  5. STONE ON INSIDE SPILLWAY FACE TO CONTROL DRAINAGE SHALL BE NYSDOT#57 STONE, WASHED.
  6. ENSURE THAT THE TOP OF THE SPILLWAY STONE AT ALL POINTS IS AT LEAST 6" ABOVE THE NATURAL EXISTING GRADE.
  7. STABILIZE EMBANKMENT AND ALL DISTURBED AREA ABOVE THE SEDIMENT POOL.

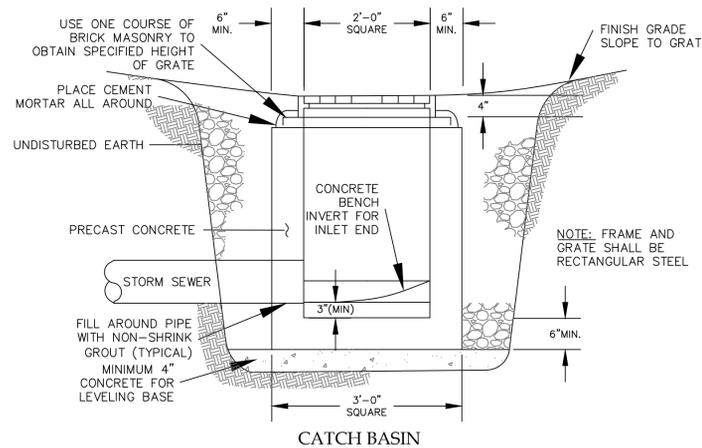
**TEMPORARY SEDIMENT BASIN DETAIL**  
NOT TO SCALE



**INFILTRATION MEADOW**  
NOT TO SCALE

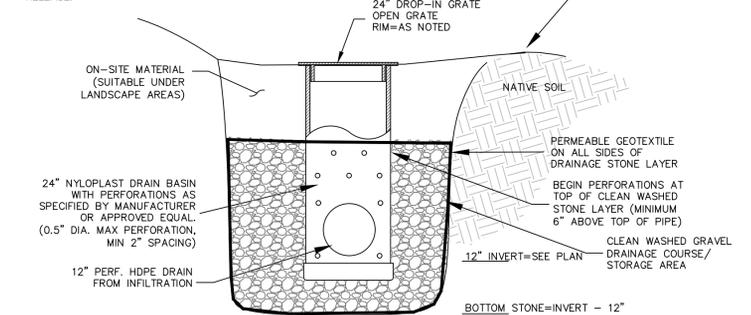


**AREA DRAIN DETAIL (18" DRAIN BASIN)**  
NOT TO SCALE

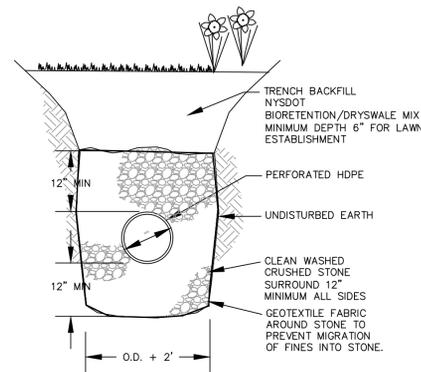


**CATCH BASIN**

**DESIGN INTENT:** OUTFALL FOR STORMWATER MANAGEMENT SYSTEM, DISSIPATE VELOCITY OF OUTFALL RUNOFF AND INCREASE OPPORTUNITY FOR WATER FILTRATION AND INFILTRATION PRIOR TO DOWNSTREAM RELEASE.



**DRYWELL AREA DRAIN**  
NOT TO SCALE



**INFILTRATION TRENCH DETAIL**  
NOT TO SCALE

**ONE STAGE SITE PLAN APPROVAL**

PLANNING BOARD CHAIRPERSON \_\_\_\_\_ DATE \_\_\_\_\_  
 TOWN HIGHWAY & WATER SUPERINTENDENT \_\_\_\_\_ DATE \_\_\_\_\_  
 TOWN ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_

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NYS Professional Engineer



**Revisions**

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NYS Land Surveyor



Drawing Title: **STORMWATER MANAGEMENT DETAILS**

Site Plan Prepared For:

**ABDB SILVER SPRINGS LLC**  
 4351 Tichenor Point Drive  
 Town of Canandaigua  
 County of Ontario State of New York

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**C-4**



PLANT COMMUNITY  
HER (NATIVE FLOWERING  
FASTBERRY) (EXIST)

PLANT COMMUNITY  
UMF (UPLAND MIXED  
FOREST)  
RESTORE WITH NATIVE  
HICKORY SEED, PLY

GRADE ALL ROAD/DRIVE PROFILES  
WITH EXCAVATOR. DO NOT BUILD  
DOSE LEAVE NATURAL FALLING  
TREES. ALLOW TO HOSE TO DRY  
EDGES ALL STOPS TO  
BE REMOVED FROM WOODS  
DO NOT SPREAD IN WOODS  
AREA!

PLANT COMMUNITY  
WL (WOODLAND)

PLANT COMMUNITY  
UHL (UPLAND HARDWOOD)  
EXISTING

PLANT COMMUNITY  
MSC (MEADOW STREET-CUT)

PLANT COMMUNITY  
MTC (MEADOW TALL-CUT)

PLANT COMMUNITY  
LPC (LEAFY-PAV)

PLANT COMMUNITY  
RSL (RESTORE SUCCESSIONAL GROWTH)

PLANT COMMUNITY  
MTC (MEADOW TALL-CUT)

PLANT COMMUNITY  
BF (BUTTERFLY)

PLANT COMMUNITY  
RSL (RESTORE SUCCESSIONAL  
GROWTH)

PLANT COMMUNITY  
AM (ASPEN-MEADOW)

PLANT COMMUNITY  
RHR (RESTORATIVE HERB-RAV)

TUZOMBAY

PLANT COMMUNITY  
HE (HERB-FOAM) EXISTING

PLANT COMMUNITY  
WH (WETLAND MEADOW)

PLANT COMMUNITY  
LGC (GROUND COVER)

PLANT COMMUNITY  
WIP (WETLAND PERENNIAL)

CANANDAIGUA  
LAKE

PLANT COMMUNITY  
RGL (RAIN-GARDEN)

PLANT COMMUNITY  
UT (UPLAND TRANSITION)

PLANT COMMUNITY  
SL (SHORE-LINE)

PLANT COMMUNITY  
ISLT (INTERMEDIATE SHORELINE  
TRANSITION)

SHALE  
BEACH

PLANT COMMUNITY  
SL (SHORE-LINE)

PLANT COMMUNITY  
WP (WOODLAND PERENNIAL)

PLANT COMMUNITY  
USB (UPLAND-STREAM BANK)

PLANT COMMUNITY  
RGL (RAIN-GARDEN)

PLANT COMMUNITY  
ISLT (INTERMEDIATE SHORELINE  
TRANSITION)

PLANT COMMUNITY  
SBR (STREAM-BANK RESTORATION)

**PLANT COMMUNITY PLAN**

PAO HACKETT LANDSCAPE ARCHITECT

1/23/00

BOULDERS FOR STREAM  
BANK RESTORATION