

ONE STAGE(PRELIMINARY/FINAL) SITE PLAN SET
FOR

TICHENOR POINT DRIVE RECONFIGURATION

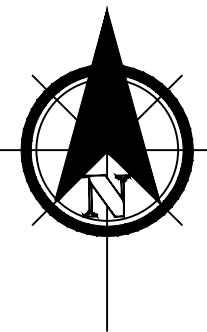
4351 TICHENOR POINT DRIVE

TOWN OF CANANDAIGUA

ONTARIO COUNTY -- STATE OF NEW YORK

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AERIAL LOCUS
NOT TO SCALE

ONE STAGE SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

NOTE:
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL
HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE
PLANNING BOARD CHAIRPERSON.

FOR PERMITTING ONLY



PROFESSIONAL LAND SURVEYORS

VENEZIA AND ASSOCIATES
5120 LAURA LANE, CANANDAIGUA NY
10000@VENEZIAsurvey.com
585.396.3267



JOYCE CONSULTING GROUP

JOYCE CONSULTING GROUP, PC
100 WYMAN ROAD, BRAintree MA
www.joyccg.com
781.817.6120

PER SECTION 7209 OF ARTICLE 145 OF THE NEW YORK STATE EDUCATION LAW IT IS A VIOLATION FOR ANY PERSON TO ALTER ANY DOCUMENT THAT BEARS THE SEAL OF A PROFESSIONAL ENGINEER, UNLESS THE PERSON IS ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER. IF A DOCUMENT BEARING THE SEAL OF AN ENGINEER IS ALTERED, THE ALTERING ENGINEER SHALL AFFIX TO THE DOCUMENT THEIR SEAL AND THE NOTATION "ALTERED BY" FOLLOWED BY THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE ALTERATION.



Revisions			
NO.	Date	Description	By

NYS Land Surveyor

Rocco A. Venezia, P.L.S.
License # 049761

Site Plan Drawings Prepared For:

ABDB SILVER SPRINGS LLC
4351Tichenor Point Drive
Town of Canandaigua
County of Ontario State of New York

File# 21103
Scale: AS NOTED
T.m. # 126.16-1-1.10
Date: 06/09/2021
Sheet: C-0

Deed Reference:
Silver Springs Associates to ABDB Silver Springs, LLC by
Deed filed May 20, 2021 in Liber 1473 of Deeds at Page 73.

Site Details:
Existing Zoning is Residential Lake District (RLD)
Minimum Lot Size: 20,000 SQ. FT.
Minimum Lot Width: 125 FT
Front Setback: 60 FT.
Rear Setback: 60 FT.
Side Setback: 12 FT.
Maximum Building Height = 25 FT.
Maximum Building Coverage on Lot = 15%
Maximum Lot Coverage = 25%

Contours derived from NAVD88 Datum

Flood Zones AE, A & X Per Community Panel
No. 360598 0025 C Last Dated March 3, 1997.



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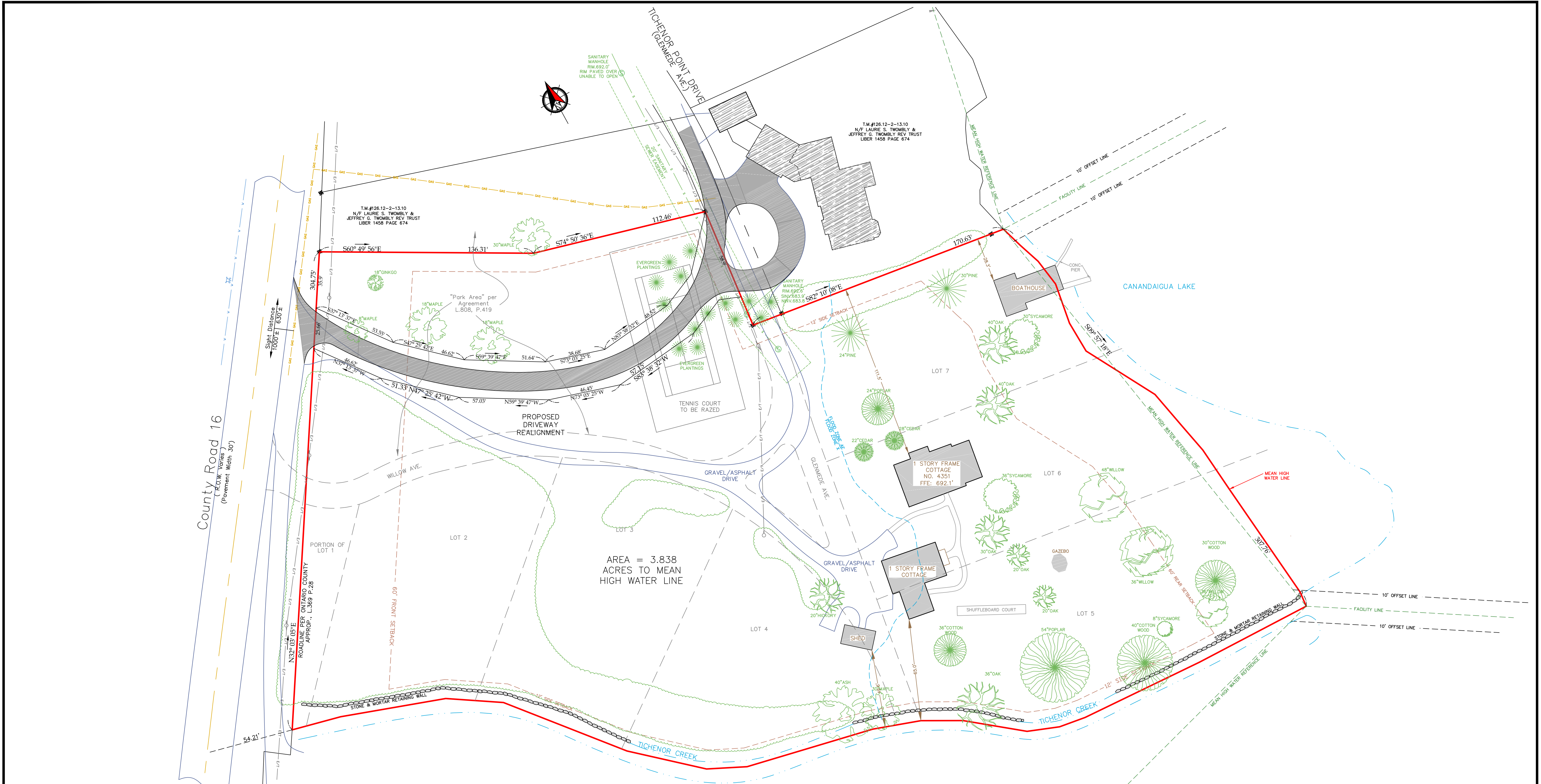
NYS Land Surveyor

Drawing Title:

EXISTING CONDITIONS PLAT

ABDB SILVER SPRINGS LLC
4351 Tichenor Point Drive
Town of Canandaigua
County of Ontario State of New York

File# 21103
Scale: 1" = 30'
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EX-1



- LEGEND
- PROP WATER
 - PROP SEWER
 - PROP DRAIN
 - PROP ELECT
 - PROP TEL
 - PROP GAS
 - 900.3 X SPOT GRADE
 - PROPOSED EROSION MAT
 - CHECK DAM
 - PROPOSED INLET PROTECTION
 - SILT FENCE
 - EXIST. CONTOUR
 - PROP. CONTOUR
 - PROPERTY LINE
 - CENTERLINE
 - LP
 - DRAIN MANHOLE
 - CATCH BASIN
 - SEWER MANHOLE
 - WATER VALVE
 - HYDRANT

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NYS Professional Engineer

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NO.	Date	Description	By

NYS Land Surveyor

Drawing Title: **EXISTING CONDITIONS PLAT**

ABDB SILVER SPRINGS LLC
4351 Tichenor Point Drive
Town of Canandaigua
County of Ontario State of New York

ONE STAGE SITE PLAN APPROVAL

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Sheet: **EASE-1**

GENERAL NOTES

1. PROPERTY LINE INFORMATION SHOWN ON THIS PLAN IS BASED ON AVAILABLE RECORD INFORMATION AND ON A FIELD INSTRUMENT SURVEY PERFORMED BY VENEZIA AND ASSOCIATES ON JUNE 8, 2021.
2. UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ACTUAL LOCATION SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITY SERVICES THROUGHOUT CONSTRUCTION. CONTACT U.F.P.O. AT 1-800-962-7962 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.
3. THIS UPLAND PORTION OF THE SITE DOES NOT FALL WITHIN ANY FEMA SPECIAL FLOOD HAZARD ZONES, THE LAKE FRONTAGE AND DRAINAGE AREA ALONG THE SOUTHERN PROPERTY LINE ARE LOCATED IN ZONE A, PER C.P. #3605980025C MAP REVISED MARCH 3, 1997.
4. NO CHANGES ARE TO BE MADE TO THIS DESIGN WITHOUT PRIOR APPROVAL OF THE DESIGN ENGINEER.
5. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE WATER/SEWER AGENCIES, UNLESS OTHERWISE NOTED.
6. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
7. ELEVATIONS REFERENCE NAVD88 DATUM.

TOWN OF CANANDAIGUA STANDARD NOTES

1. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE WATER / SEWER AGENCIES, UNLESS OTHERWISE NOTED.
2. A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IS REQUIRED TO CONFORM WITH THE LATEST NYSDEC GENERAL PERMIT AND TO THE TOWN REQUIREMENTS REGARDING MAINTENANCE AND CONTROL OF STORMWATER QUALITY AND QUANTITY.
3. ALL SWPPPS ARE REQUIRED TO BE REVIEWED AND APPROVED BY THE TOWN CEO AND TOWN ENGINEER. THE TOWN MS4 SWPPP ACCEPTANCE FORM IS TO BE SIGNED AND INSERTED INTO THE PROJECT SWPPP PRIOR TO CONSTRUCTION.
4. THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED SWPPP, INCLUDING FILING OF THE "NOTICE OF INTENT" (NOI). A COPY OF THE NYSDEC ACKNOWLEDGEMENT LETTER IS TO BE PROVIDED TO THE TOWN DEVELOPMENT OFFICE AND TOWN ENGINEER PRIOR TO CONSTRUCTION.
5. A COPY OF THE PROJECT SWPPP IS TO BE PROVIDED TO THE TOWN DEVELOPMENT OFFICE, TOWN ENGINEER AND A COPY IS TO REMAIN ON SITE DURING CONSTRUCTION AT ALL TIMES IN A MARKED AND ACCESSIBLE LOCATION.
6. ANY MODIFICATIONS OR DEVIATIONS FROM THE APPROVED PLANS, CONSTRUCTION SEQUENCE, AND/OR SWPPP INCLUDING IMPLEMENTATION OF EROSION CONTROL MEASURES AND STORMWATER MANAGEMENT AREAS SHALL BE APPROVED BY THE TOWN OF CANANDAIGUA AND DOCUMENTED WITHIN THE PROJECT SWPPP.
7. THE OWNER IS REQUIRED TO PROVIDE DAILY ON-SITE OBSERVATION BY A LICENSED PROFESSIONAL OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC). ALL SWPPP INSPECTIONS ARE TO BE IN A FORM ACCEPTABLE BY THE TOWN OF CANANDAIGUA AND FORWARDED TO THE OWNER, THE TOWN CEO, TOWN ENGINEER, AND A COPY PLACED WITHIN THE ON-SITE PROJECT SWPPP.
8. THE OWNER IS RESPONSIBLE FOR PROVIDING ON-SITE SWPPP INSPECTIONS BY A LICENSED PROFESSIONAL OR A CERTIFIED PROFESSIONAL IN EROSION AND SEDIMENT CONTROL (CPESC) DURING CONSTRUCTION ONCE PER WEEK (EVERY 7 DAYS) IF UNDER 5 ACRES OF DISTURBANCE AND TWICE PER WEEK (EVERY 7 DAYS) IF 5 ACRES OR MORE WITH RECEIPT OF A 5-ACRE WAIVER FROM THE TOWN OF CANANDAIGUA (MS4).
9. DEVELOPMENT IN THE CANANDAIGUA LAKE WATERSHED DISTURBING MORE THAN 5 ACRES AT ONE TIME IS REQUIRED TO COORDINATE THE REGULAR SWPPP OBSERVATIONS REQUIRED BY THE LATEST GENERAL PERMIT WITH THE CANANDAIGUA LAKE WATERSHED INSPECTOR, THE WATERSHED PROGRAM MANAGER, AND THE TOWN CODE ENFORCEMENT OFFICER.
10. CONSTRUCTION SEQUENCE: ALL PLANS ARE TO BE PROVIDED WITH A DETAILED CONSTRUCTION SEQUENCE. THE CONTRACTOR SHALL COMPLETE CONSTRUCTION AND INSTALL EROSION CONTROL MEASURES IN ACCORDANCE WITH THE APPROVED CONSTRUCTION SEQUENCE UNLESS SPECIFIED OTHERWISE ON THE APPROVED DESIGN PLANS OR AT THE PRE-CONSTRUCTION MEETING.
11. DUST SHALL CONTROL DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE TOWN OF CANANDAIGUA.
12. THE OWNERS CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR, AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION AND UNTIL THE SITE IS FULLY STABILIZED, INSPECTED BY THE TOWN OF CANANDAIGUA, AND ISSUANCE OF THE NOTICE OF TERMINATION (NOT) HAS BEEN PROVIDED TO NYSDEC.
13. ROOF LEADERS SHOULD BE CONNECTED TO STORM SEWERS WHERE POSSIBLE UNLESS OTHERWISE SPECIFIED ON THE APPROVED PLANS AND WITHIN THE PROJECT SWPPP.
14. NO SITE PREPARATION SHALL COMMENCE UNTIL A VISUAL INSPECTION BY THE TOWN OF CANANDAIGUA CONFIRMS THE INSTALLATION OF PERIMETER SEDIMENT CONTROLS AND THE STABILIZED CONSTRUCTION ENTRANCE.
15. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF VEGETATION, THE STORMWATER MANAGEMENT FACILITY SHALL BE CLEANED OF ACCUMULATED SILT.
16. ALL SITE STABILIZATION IS TO BE IN ACCORDANCE WITH THE LATEST VERSIONS OF THE NYSDEC STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENT CONTROL AND THE NYSDEC GENERAL PERMIT REQUIREMENTS (WHERE APPLICABLE).
17. ADDITIONAL TEMPORARY AND PERMANENT SEEDING AND SITE STABILIZATION REQUIREMENTS:
- A. ALL DISTURBED AREAS INCLUDING TOPSOIL STOCKPILES AND STORMWATER MANAGEMENT FACILITIES ARE TO BE STABILIZED WITHIN SEVEN (7) DAYS AFTER COMPLETION.
- B. TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:
- THE SURFACE TWO INCHES OF SOIL SHOULD BE LOOSENEED BY DISKING RAKING OR BACK-BLAIDING WITH A BULLDOZER
 - FERTILIZE WITH 300 LBS PER ACRE OR 7 LBS PER 1000 SQUARE FEET
 - NO PHOSPHORUS SHALL BE USED UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY HORTICULTURE TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHORUS DEFICIENCY THAT IS HARMFUL OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.
 - IF SOIL TESTS INDICATE A PHOSPHORUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHORUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYSDEC REGULATIONS.
 - THE FOLLOWING SEED MIX SHALL BE USED:
- | SPRING/SUMMER/EARLY FALL | LBS/ACRE | LBS/1,000 SQ. ACRE |
|-----------------------------------|----------|--------------------|
| ANNUAL RYE GRASS | 30 | 0.7 |
| PERENNIAL RYEGRASS | 30 | 0.7 |
| LATE FALL/EARLY WINTER CEREAL RYE | 100 | 2.5 |
- SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85% AND MINIMAL INERT MATERIAL.
- C. DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEED MIX UPON COMPLETION OF GRADING AND CONSTRUCTION:
- | LBS/ACRE | LBS/1,000 SQ. ACRE |
|---|--------------------|
| BIRDSFOOT TREFOIL OR COMMON WHITE CLOVER 8 OR 8 | 0.20 OR 0.20 |
| TALL FESCUE 20 | 0.45 |
| REDTOP OR RYEGRASS (PERENNIAL) 2 OR 5 | 0.05 OR 0.10 |
- SEEDING RATE 6 LBS PER 1000 SQUARE FEET
- MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYDROSEEDING METHOD AT 2 TONS PER ACRE WITH TACKIFIER.
- FOR FALL OR EARLY WINTER, SEED WITH CERTIFIED AROOSTOCK WINTER RYE (CEREAL RYE) AT 100 LBS PER ACRE.
- PERMANENT STABILIZATION FOR STEEP SLOPES GREATER THAN 3:1 SHALL INCLUDE JUTE MESH BLANKET AND CROWN VETCH SEED WITH PERENNIAL RYEGRASS.
- NO PHOSPHORUS SHALL BE USED UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY HORTICULTURE TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHORUS DEFICIENCY THAT IS HARMFUL OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.
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NYS Professional Engineer



Revisions			
NO.	Date	Description	By

NYS Land Surveyor

Rocco A. Venezia, P.L.S.
License # 049761

Drawing Title:

SITE CONSTRUCTION NOTES AND DETAILS

Site Plan Prepared For:

ABDB SILVER SPRINGS LLC

4351Tichenor Point Drive
Town of Canandaigua
County of Ontario State of New York

File# 21103

Scale: AS NOTED

T.M. # 126.16-1-1.10

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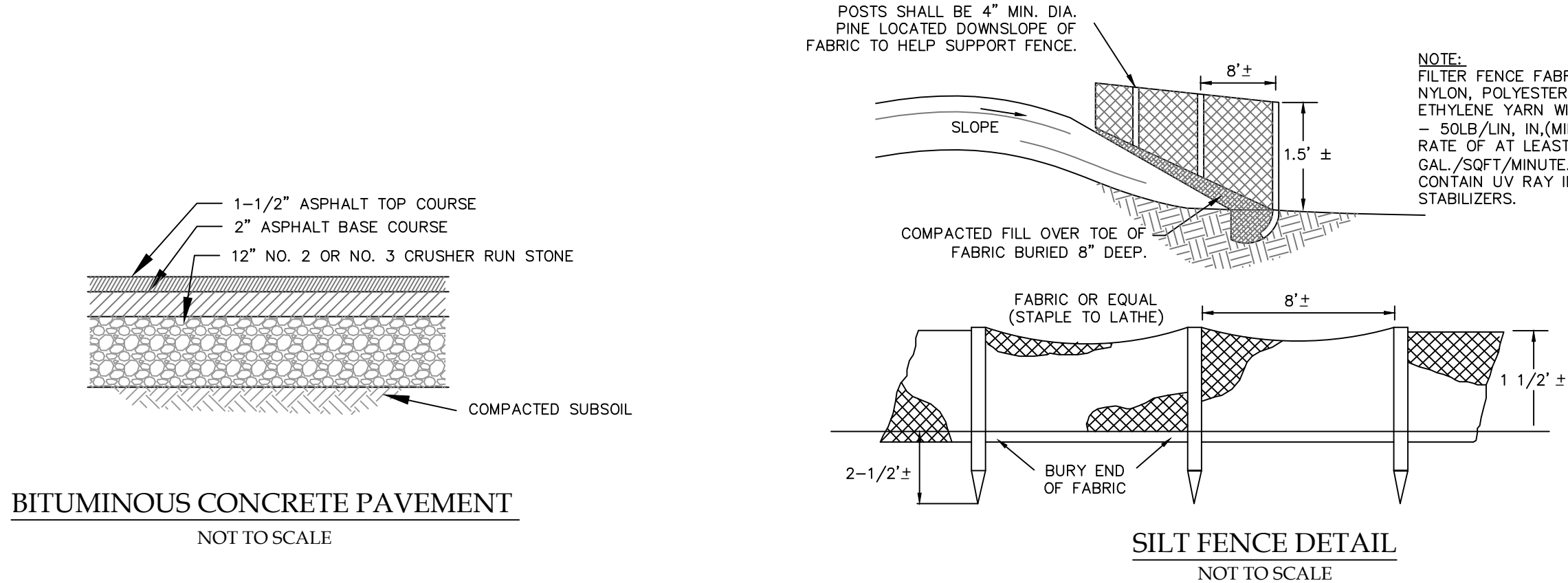
ZONING CHART

TOWN OF CANANDAIGUA

ZONING DISTRICT: RESIDENTIAL LAKE DISTRICT (RLD)

	REQUIRED	EXISTING	PROPOSED
MIN LOT AREA (AREA TO ROW)	20,000 SF	167,183 SF	167,183 SF
MIN LOT WIDTH	125'	304.75'	304.75'
MIN FRONT YARD SETBACK	60'	368.2'(HSE) 345.3'(SHED)	368.2'(HSE) 345.3'(SHED)
MIN SIDE YARD SETBACK	12'	65.0'(HSE) 49.6'(SHED)	65.0'(HSE) 49.6'(SHED)
MIN REAR YARD SETBACK	60'	93.1'	93.1'
MIN SETBACK TO STREAM	100'	65.0'(HSE) 49.6'(SHED)	65.0'(HSE) 49.6'(SHED)
MAX BUILDING HEIGHT	25 FT		
MAX BUILDING COVERAGE	15%	2.2%	2.2%
MAX LOT COVERAGE	25%	11.0%	8.7%
SITE DISTURBANCE	24,700 SF		

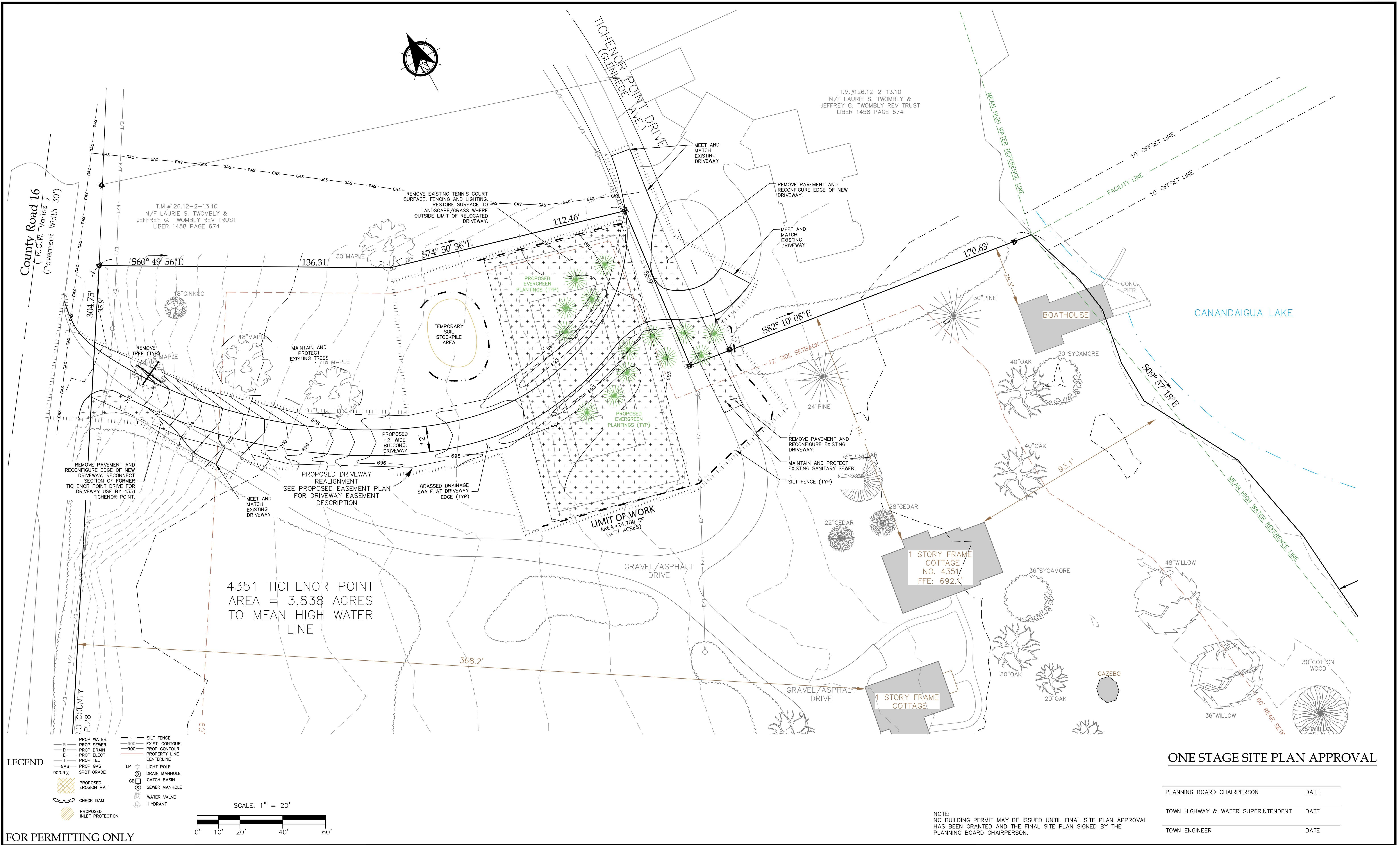
Existing Lot Coverage Calculations:	Sq.Ft	Proposed Lot Coverage Calculations:	Sq.Ft
Buildings	3,670	Buildings	3,670
Asphalt Driveway.....	6,615	Asphalt Driveway.....	9,806
Tennis Court.....	6,900	Tennis Court.....	0
Walkways	440	Walkways	440
Stream Wall	694	Stream Wall	694
Building Coverage.....	3,670	Building Coverage.....	3,670
Total Coverage.....	18,319	Total Coverage.....	14,610
Total Site Area.....	167,183	Total Site Area.....	167,183
Building Coverage.....	2.2%	Building Coverage.....	2.2%
Total Lot Coverage.....	11.0%	Total Lot Coverage.....	8.7%



ONE STAGE SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
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NYS Professional Engineer



NYS Land Surveyor

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Drawing Title: **SITE GRADING AND DRIVEWAY LAYOUT PLAN**
Site Plan Prepared For:
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ONE STAGE SITE PLAN APPROVAL

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