

Vicinity Map

N.T.S.

Legend

- 700 --- EXISTING CONTOUR
- 700 --- PROPOSED CONTOUR
- EXISTING PROPERTY LINE
- ROADWAY CENTERLINE
- X 712.50 PROPOSED SPOT ELEVATION
- PROPOSED DIVERSION SWALE (TEMPORARY)
- SILT FENCE (TEMPORARY)
- CHECK DAM
- PROPOSED SEWER
- PROPOSED WATER
- PROPOSED GAS
- PROPOSED ELECT/TEL
- PROPOSED STORM DRAIN

Property Owner

John D. Bartholf
4959 Waters Edge
Canandaigua, NY 14424

Construction timeline = 4-8 months start to completion

Site Details:

Existing Zoning is Residential Lake District (RLD)
Minimum Lot Size: (Existing Lot >10,000 SQ FT)
Minimum Lot Width: 125FT (Existing Lot 50')
Front Setback: 50 FT
Rear Setback: 30 FT
Side Setback: 8 FT
Maximum Building Height = 25 FT
Maximum Building Coverage on Lot = 25%
Maximum Lot Coverage = 40%

Contours derived from NAVD88 Datum

Flood Zones AE & X Per Community Panel No. 360598 0015 C Last Dated March 3, 1997.

Lot Coverage Calculations:

Existing		Proposed	
House.....	734.0	House.....	1,076.0
Gravel Driveway.....	1,554.0	Gravel Driveway.....	1,568.0
Break Wall.....	58.0	Break Wall.....	58.0
Retaining Wall.....	92.0		
Porch.....	233.0		
Total Coverage.....	2,675.0	Total Coverage.....	2,700.0
Total Site Area.....	9,905.0	Total Site Area.....	9,905.0
Building Coverage.....	9.8%	Building Coverage.....	10.9%
Total Lot Coverage.....	27.0%	Total Lot Coverage.....	27.3%

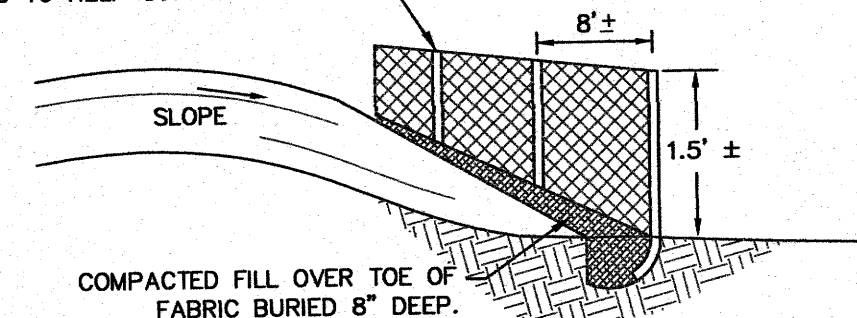
ZONING CHART

TOWN OF CANANDAIGUA

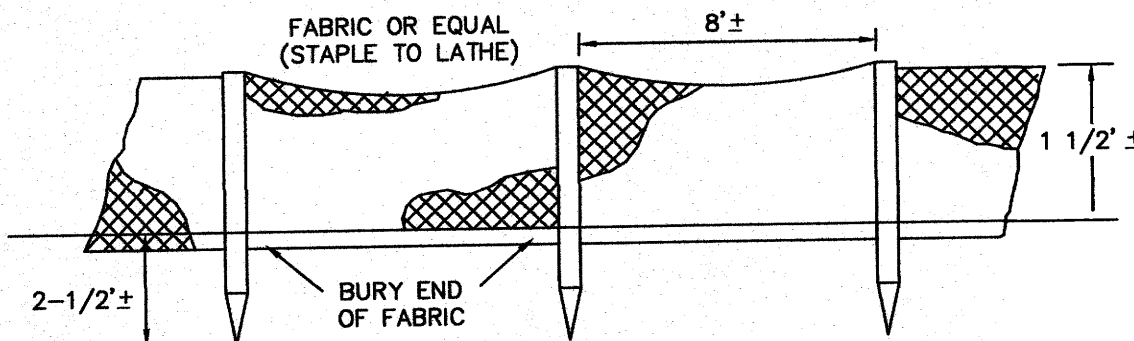
ZONING DISTRICT: RESIDENTIAL LAKE DISTRICT (RLD)

	REQUIRED	PROVIDED
MIN LOT AREA (AREA TO ROW)	20,000 SF	9,905 SF (EXISTING LOT)
MIN LOT WIDTH	125'	50'
MIN FRONT YARD SETBACK	50.0'	50.8'
MIN SIDE YARD SETBACK	8'	8.8'
MIN REAR YARD SETBACK	30'	EXISTING COTTAGE
MIN REAR YARD SETBACK (ACCESSORY)	15'	N/A
MAX BUILDING HEIGHT	25 FT	25 FT
MAX ACCESSORY STRUCTURE HEIGHT	16 FT	16 FT
MAX BUILDING COVERAGE	25%	10.9%
MAX LOT COVERAGE	40%	27.3%
SITE DISTURBANCE	5,000 SF ±	

POSTS SHALL BE 4" MIN. DIA. PINE LOCATED DOWNSLOPE OF FABRIC TO HELP SUPPORT FENCE.



NOTE: FILTER FENCE FABRIC SHALL BE OF NYLON, POLYESTER, PROPYLENE, OR ETHYLENE YARN WITH EXTRA STRENGTH - 50LB/LIN. IN.(MIN). WITH A FLOW RATE OF AT LEAST 0.3 GAL./SQFT/MINUTE. FABRIC SHOULD CONTAIN UV RAY INHIBITORS AND STABILIZERS.



SILT FENCE DETAIL

NOT TO SCALE

FINAL SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON DATE

TOWN HIGHWAY & WATER SUPERINTENDENT DATE

TOWN ENGINEER DATE

NOTE:
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.

GENERAL NOTES

- PROPERTY LINE INFORMATION SHOWN ON THIS PLAN IS BASED ON AVAILABLE RECORD INFORMATION AND A FIELD INSTRUMENT SURVEY.
- NO CHANGES ARE TO BE MADE TO THIS DESIGN WITHOUT PRIOR APPROVAL.
- PROPOSED LIGHTING TO BE COORDINATED WITH THE ARCHITECT AND OWNER. LIGHTING SHALL BE DARK SKY COMPLIANT (PER CHAPTER 220, SECTION 77).
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE ONTARIO COUNTY HIGHWAY DEPARTMENT FOR ALL WORK WITHIN THE RIGHT-OF-WAY.
- CONTOURS DERIVED FROM NAVD88 DATUM
- FLOOD ZONES AE & X PER COMMUNITY PANEL NO. 360598 0015 C LAST DATED MARCH 3, 1997.

* Unauthorized alteration or addition to a map bearing a Licensed Professional Engineer's or Professional Land Surveyor's seal in any way is a Violation of Section 7209

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TOWN OF CANANDAIGUA STANDARD NOTES

1. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE WATER/ SEWER AGENCIES, UNLESS OTHERWISE NOTED.

2. SEQUENCE - THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES IN THE FOLLOWING SEQUENCE UNLESS AUTHORIZED OTHERWISE AT THE PRE-CONSTRUCTION MEETING:

- INSTALL PERIMETER SEDIMENT CONTROLS, (I.E. EROSION FENCING).
- INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- PROTECT VEGETATION TO REMAIN.
- CLEAR GRUB AND CONSTRUCT DIVERSIONARY SWALES AND SEDIMENT BASINS.
- COMPLETE CLEARING AND GRUBBING OPERATION.
- PLACE EROSION CONTROL MEASURES AROUND TOPSOIL STOCKPILES AND STRIP TOPSOIL LOCATIONS.
- CONSTRUCT SWALES AND SILTATION DEVICES AS EARTHWORK OPERATIONS PROGRESS.
- MAINTAIN EROSION CONTROL MEASURES AND PLACE ADDITIONAL MEASURES AS EARTHWORK AND UNDERGROUND UTILITIES ARE CONSTRUCTED.
- RESTORE AREAS AS DEFINED BY CONTRACT DOCUMENTS.
- REMOVE EROSION CONTROL MEASURES AS AREAS ARE REESTABLISHED WITH GROUND COVER.
- IF SITE PREPARATIONS OCCUR BETWEEN SEPTEMBER 1 AND MARCH 31, ADDITIONAL EROSION CONTROLS MUST BE TAKEN INCLUDING REDUCING THE SIZE OF DISTURBANCE AREA AND PLACING HEAVY STRAW MULCH WHERE PRACTICAL.

3. PLANS SHOULD INCLUDE RE-SEEDING INSTRUCTIONS INCLUDING MATERIALS AND A TIMETABLE FOR VARIOUS SEEDING

- SEED ALL CUT AND FILL, TOPSOIL PILES AND PONDS WITHIN SEVEN (7) DAYS AFTER COMPLETION.
- TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:

NO PHOSPHOROUS SHALL BE USED AT PLANTING TIME UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY A HORTICULTURAL TESTING LAB AND THE SOILS TEST SPECIFICALLY INDICATE A PHOSPHOROUS DEFICIENCY THAT IS HARMFUL, OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.

IF SOIL TESTS INDICATE A PHOSPHOROUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHOROUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYS DEC REGULATION

THE SURFACE TWO INCHES OF SOIL SHOULD BE LOOSENEED BY DISKING, RAKING, OR BACK-BLADING WITH A BULLDOZER. IMMEDIATELY SEED WITH THE FOLLOWING MIX:

	LBS/ACRE	LBS/1,000 SQ. ACRES
SPRING/SUMMER/EARLY FALL		
ANNUAL RYE GRASS	30	0.7
PERENNIAL RYEGRASS	30	0.7
LATE FALL/EARLY WINTER		
CEREAL RYE	100	2.5

SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85 PERCENT AND MINIMAL INERT MATERIAL.

DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEEDING MIX UPON COMPLETION OF GRADING AND CONSTRUCTION:

	LBS/ACRE	LBS/1,000 SQ. ACRE	
BIRDSFOOT TREFOIL OR COMMON WHITE CLOVER 8 OR 8	0.20		0.20 OR
TALL FESCUE	20		0.45
REDFEET OR RYEGRASS (PERENNIAL)	2 OR 5		0.05 OR 0.10

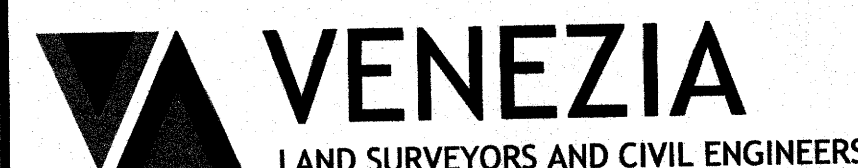
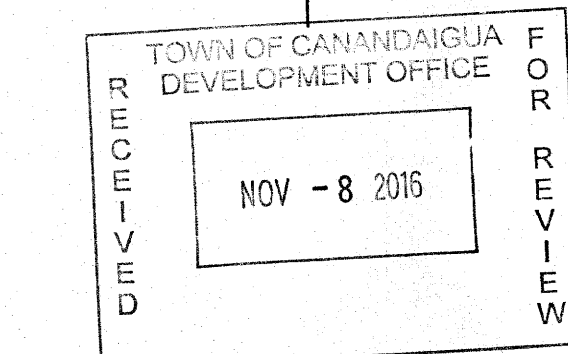
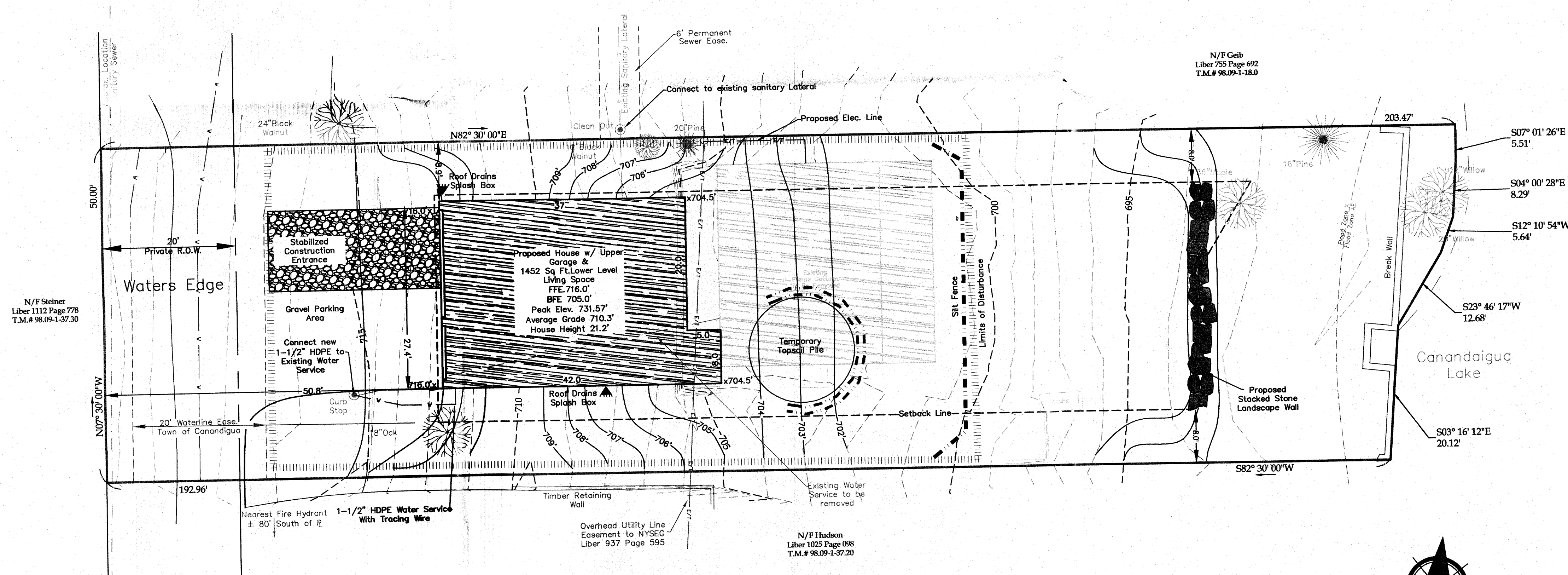
SEEDING RATE: 6.0 POUNDS PER 1,000 SQUARE FEET
MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYDRD SEEDING METHOD AT TWO TONS PER ACRE WITH TRACKIFIER.
STARTING FERTILIZER: 5:10:10 AT 20 POUNDS PER 1,000 SQUARE FEET.
FOR FALL OR EARLY WINTER, SEED WITH CERTIFIED (AROSTOCK) WINTER RYE (CEREAL RYE) AT 100 POUNDS PER ACRE.
PERMANENT STABILIZATION FOR STEEP SLOPES GREATER THAN 3:1 SHALL INCLUDE JUTE MESH BLANKET AND CROWN VETCH SEED WITH PERENNIAL RYEGRASS.

4. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENT IN THE AREAS OF CONSTRUCTION.

5. EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND /OR UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CALL THE DIG SAFELY NEW YORK (USFO) HOTLINE AT 1-800-962-7962 FOR STAKEOUT OF EXISTING UTILITIES. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND EVALUATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET THE EXISTING CONDITIONS.

6. DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/ OR DIRECTED BY THE TOWN OF CANANDAIGUA.

7. THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION.



5120 Laura Lane

Canandaigua New York, 14424

Legend

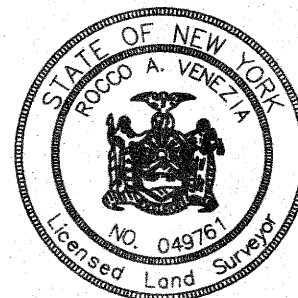
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- Iron pin set
- Drill hole
- Utility pole
- Utility lines
- R.O.W. line
- Property lines
- Centerline

Revisions

NO.	Date	Description	By
1	08/18/2016	Address PRC Comments	AAV
2	10/04/2016	Remove Proposed Cottage	AAV

This is to certify that I am a Licensed Land Surveyor and that this plan was completed on 08/11/2016 from notes of an instrument survey performed on 06/15/2016

Rocco A. Venezia
License No. 049761 signed



Site Layout and Utility Plan

John D. Bartholf

Showing Land
At
4959 Waters Edge
Town of Canandaigua
County of Ontario State of New York

www.veneziasurvey.com

(585)396-3267

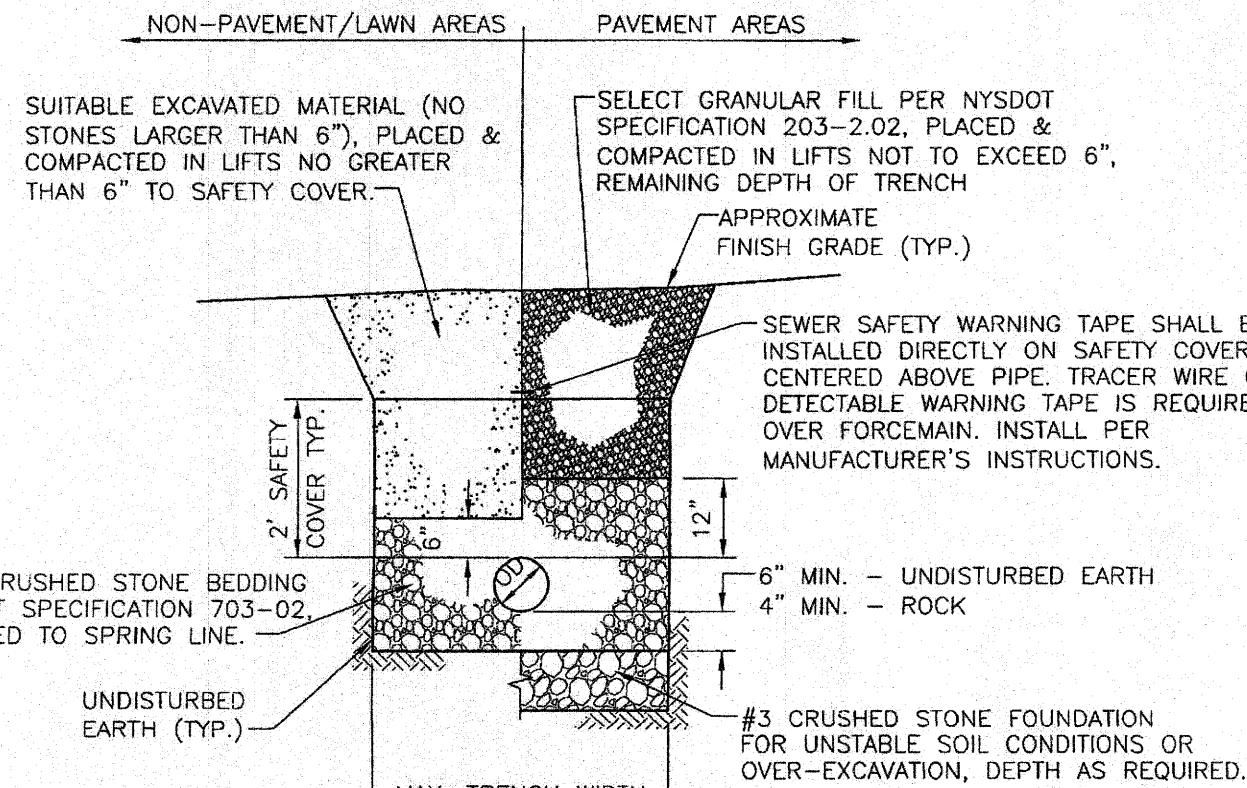
Fax. No. (585) 396-0131

E-mail rocco@veneziasurvey.com

Tax Map# 98.09-1-19

Scale: 1" = 15'

Job # 16085



NOTES:

1. MINIMUM DEPTH OF COVER FOR SEWER MAINS AND LATERALS IS 4'.
2. MINIMUM PIPE DIAMETER REQUIRED FOR DEDICATION = 8"

SANITARY SEWER MAIN AND LATERAL TRENCH & BEDDING DETAIL

PROJECT: SA_STDS	DWG: CLCSD STD	ONTARIO COUNTY DEPARTMENT OF PUBLIC WORKS
SCALE: N.T.S.	REV: 08/2010	

SANITARY LATERAL NOTES:

1. ALL SANITARY SEWER CONSTRUCTION AND/OR IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CANANDAIGUA LAKE COUNTY SEWER DISTRICT, N.Y.S. DEPARTMENT OF ENVIRONMENTAL CONSERVATION, N.Y.S. DEPARTMENT OF HEALTH, THE LATEST EDITION OF RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES AND ANY OTHER AGENCIES HAVING JURISDICTION.
2. NO SANITARY SEWER-RELATED WORK MAY BE PERFORMED WITHOUT FIRST OBTAINING A WRITTEN PERMIT FROM THE CANANDAIGUA LAKE COUNTY SEWER DISTRICT.
3. DISTRICT PERSONNEL SHALL BE NOTIFIED A MINIMUM OF 48 HOURS PRIOR TO BEGINNING ANY SANITARY SEWER-RELATED WORK.
4. THE CONTRACTOR SHALL LOCATE, MARK AND PRESERVE ANY RIGHT OF WAY MONUMENTS OR SURVEY CONTROL IN THE AREA OF CONSTRUCTION.
5. UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF UTILITIES, EXCAVATING TO EXPOSE THE UTILITY, IF NECESSARY IN THE AREA OF CONSTRUCTION, BEFORE COMMENCING CONSTRUCTION. CONTACT U.F.P.O AT 1-800-962-7892 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.
6. LATERALS SHALL BE A MIN. 4" DIA. SDR-21 WITH ELASTOMERIC JOINTS. FOR COMMERCIAL ESTABLISHMENTS, LATERALS ARE TO BE 6" DIA. SDR-21. MINIMUM DEPTH OF BURIAL IS FOUR FEET. CLEANOUTS SHALL BE INSTALLED WITHIN 30 INCHES OF THE OUTSIDE FACE OF BUILDINGS, AT ALL CHANGES IN HORIZONTAL ALIGNMENT, AT THE RIGHT OF WAY OR EASEMENT LINE, AND AT SPACING NOT TO EXCEED 90 FEET.
7. SANITARY SEWER MAINS AND LATERALS SHALL BE LOCATED A MINIMUM HORIZONTAL DISTANCE OF 10' FROM ANY EXISTING OR PROPOSED WATER MAIN (AS MEASURED FROM THE OUTSIDE OF THE SEWER TO THE OUTSIDE OF THE WATER MAIN). IN CASES WHERE THE SANITARY SEWER CROSSES A WATER MAIN, THE MINIMUM VERTICAL SEPARATION SHALL BE 18" (MEASURED OUT-TO-OUT). THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS.
8. THE CONTRACTOR SHALL PROVIDE THE DISTRICT WITH SHOP DRAWINGS AND MATERIAL SPECIFICATIONS THAT HAVE BEEN PRE-APPROVED BY THE DESIGN ENGINEER BEFORE A PERMIT WILL BE ISSUED.
9. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH OSHA REQUIREMENTS IN ALL ASPECTS OF CONSTRUCTION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SANITARY FLOWS AT ALL TIMES BY METHODS ACCEPTABLE TO THE DEVELOPER'S ENGINEER AND THE DISTRICT.
11. FLOOR DRAINS IN THE BASEMENT OR GARAGE ARE TO BE CONNECTED TO THE SANITARY SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION OR FOOTER DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUND WATER. ALL DISCHARGES TO THE SANITARY SEWER MUST COMPLY WITH EFFLUENT LIMITS OF THE ONTARIO COUNTY SEWER USE LAW. FOUNDATION AND FOOTER DRAINS SHALL BE CONSTRUCTED IN A MANNER THAT WILL PROHIBIT GROUNDWATER FROM DRAINING INTO THE SANITARY SEWER PIPE CRADLE.
12. LATERAL CONNECTIONS REQUIRING OPENINGS IN ASBESTOS CEMENT PIPE WILL BE DESIGNED, INSPECTED AND CERTIFIED BY THE DESIGN ENGINEER OR REPRESENTATIVE THEREOF.
13. ANY EXCAVATION NOT BACKFILLED BY THE END OF THE WORKDAY SHALL BE FENCED, BARRICADED AND LIGHTED FOR SAFETY AND PROTECTION OF THE PUBLIC.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING SANITARY MAINS, STRUCTURES AND APPURTENANCES, IF ANY, NEEDED TO COMPLETE THE WORK.

RENOVATION PROJECTS ONLY:

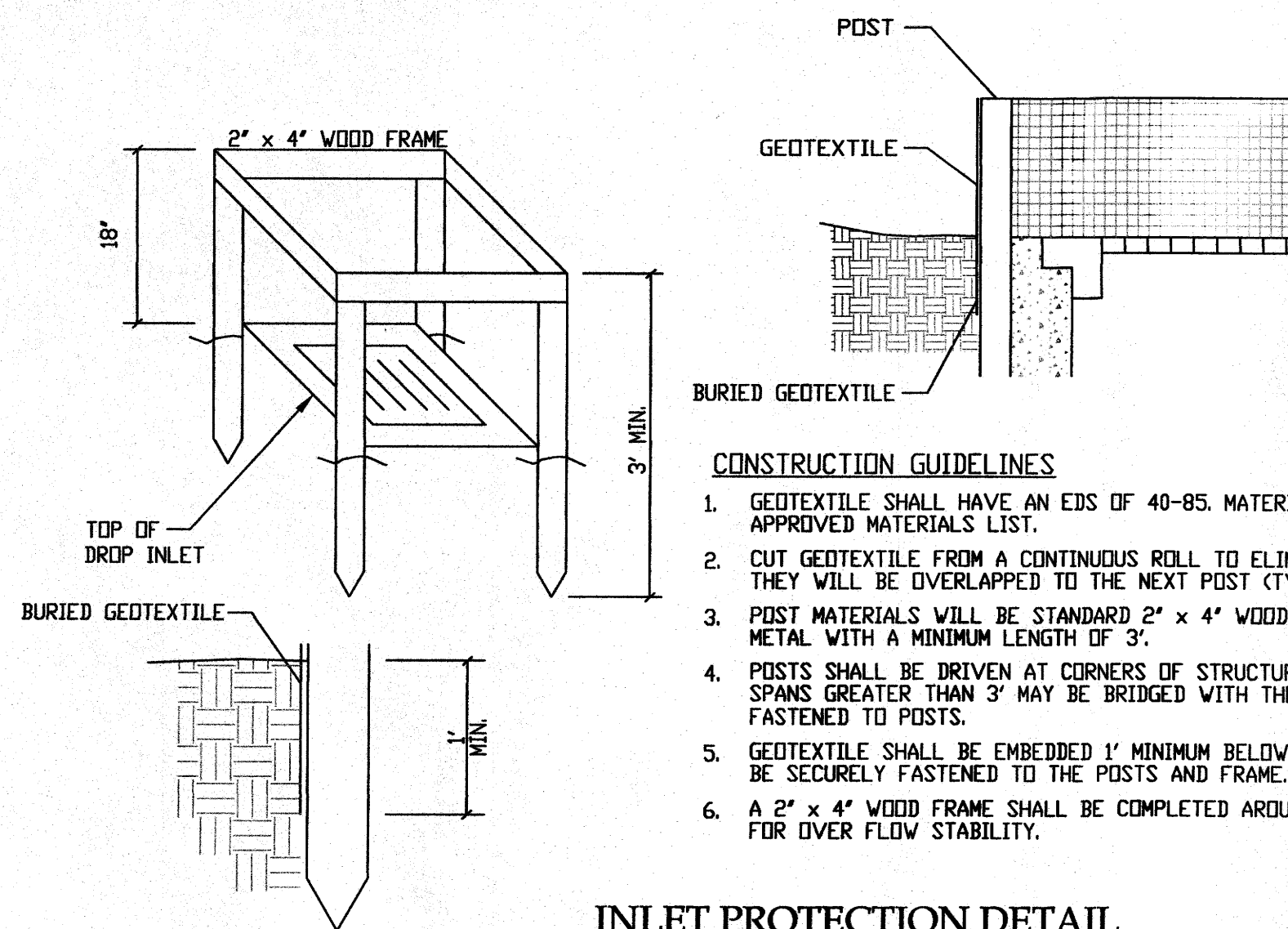
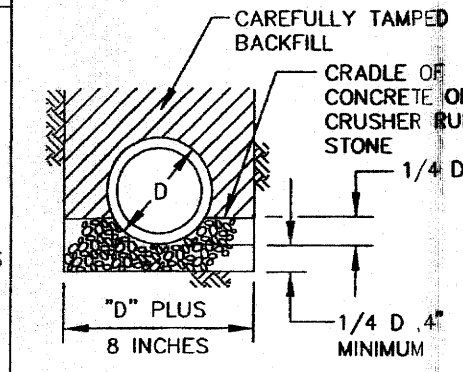
15. EXISTING LATERALS TO BE DISCONNECTED MUST BE PERMANENTLY PLUGGED OR CAPPED AT THE EASEMENT OR RIGHT OF WAY LINE UNDER THE DIRECTION OF THE CANANDAIGUA LAKE COUNTY SEWER DISTRICT SUPERVISOR. THE CONTRACTOR IS REQUIRED TO OBTAIN A PERMIT PRIOR TO PERFORMING THE WORK. THE LOCATION OF THE PLUG OR CAP SHALL BE RECORDED FOR AS-BUILT DRAWING PURPOSES.
16. PRIOR TO DEMOLISHING AN EXISTING BUILDING, THE CONTRACTOR SHALL EXCAVATE, DISCONNECT AND ABANDON THE LATERAL FROM THE BUILDING TO THE POINT OF DISCONNECTION (APPROXIMATELY 30' FROM THE EXISTING BUILDING) PER DISTRICT STANDARDS. A TEMPORARY PLUG SHALL BE INSTALLED IN THE REMAINING PORTION OF THE EXISTING SANITARY LATERAL UNTIL IT IS TESTED AND TELEVIEWED.
17. IN ORDER TO DETERMINE WHETHER AN EXISTING SANITARY LATERAL IS ACCEPTABLE FOR CONNECTION TO A NEW BUILDING, THE LATERAL SHALL BE TELEVIEWED IN THE PRESENCE OF DISTRICT PERSONNEL AT THE OWNER'S EXPENSE.
18. IF AN EXISTING LATERAL IS FOUND TO BE ACCEPTABLE AND MEET THE MINIMUM DISTRICT REQUIREMENTS, IT SHALL BE TEMPORARILY RE-PLUGGED AND BACKFILLED WITH A WITNESS STAKE IN PLACE, UNTIL CONNECTION TO THE NEW BUILDING CAN TAKE PLACE.
19. IF A NEW SANITARY LATERAL IS REQUIRED, THE EXISTING LATERAL MUST BE EXCAVATED, REMOVED, AND CAPPED AT THE EASEMENT RIGHT OF WAY LINE IN ACCORDANCE WITH DISTRICT REQUIREMENTS.
20. IF A NEW SANITARY SEWER LATERAL IS REQUIRED, THE CONNECTION TO THE EXISTING SANITARY MAIN SHALL BE MADE PER DISTRICT STANDARDS.

WATERMAIN / SEWER CROSSING DETAIL

CONDITION	SCHEMATIC	REQUIREMENTS
I WATER LINE ABOVE SEWER LINE		A) WATER LINE AND SEWER LINE PIPE LENGTHS TO BE CENTERED AT CROSSING EACH LENGTH OF PIPE TO BE 10 FT. MINIMUM.
II WATER LINE ABOVE SEWER LINE		A) WATER LINE AND SEWER LINE PIPE LENGTHS TO BE CENTERED AT CROSSING EACH LENGTH OF PIPE TO BE 10 FT. MINIMUM. B) WHEN BOTH WATER LINE AND SEWER LINE ARE NEW, SLEEVE SEWER LINE WITH STEEL CASING FOR 10 FT. EACH SIDE OF CROSSING. WHEN ONE LINE IS EXISTING, SLEEVE PIPE BEING INSTALLED WITH STEEL CASING FOR 10 FT. EACH SIDE OF CROSSING.
III SEWER LINE ABOVE WATER LINE		A) WATER LINE AND SEWER LINE PIPE LENGTHS TO BE CENTERED AT CROSSING EACH LENGTH OF PIPE TO BE 10 FT. MINIMUM. B) SLEEVE SEWER LINE WITH STEEL CASING FOR 10 FT. EACH SIDE OF CROSSING. C) PROVIDE CRADLE OF CONCRETE OR CRUSHER RUN STONE (SEE TRENCH SECTION DETAIL BELOW) FOR WATER LINE AND SEWER LINE FOR 10 FT. EACH SIDE OF CROSSING.

WL (WATER LINE)
SL (SEWER LINE, SANITARY OR STORM)
D (OUTSIDE DIAMETER OF PIPE)

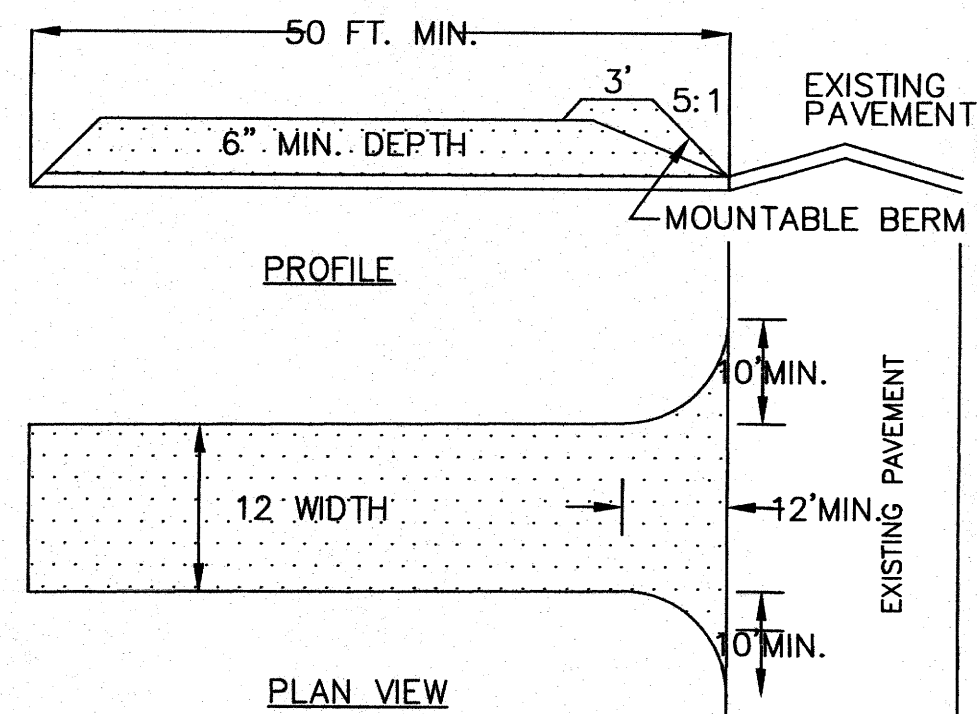
IN NO CASE SHALL PIPES BE CLOSER THAN 18 INCHES APART. DISTANCES ARE MEASURED BETWEEN OUTSIDES OF PIPE.



INLET PROTECTION DETAIL
N.T.S.

CONSTRUCTION GUIDELINES

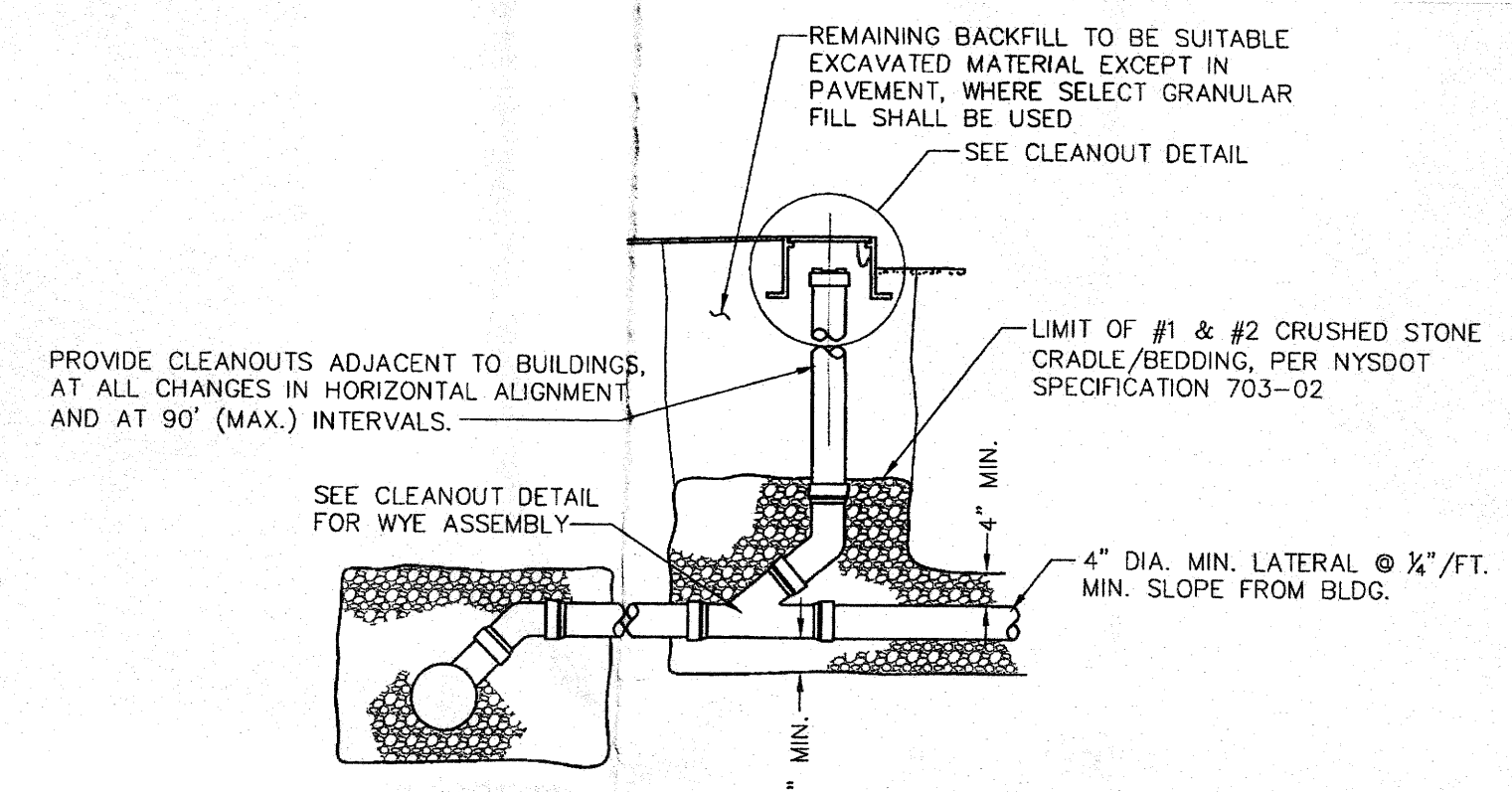
1. GEOTEXTILE SHALL HAVE AN EDS OF 40-85. MATERIAL TO BE LISTED ON THE NYSDOT APPROVED MATERIALS LIST.
2. CUT GEOTEXTILE FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT POST (TYP.).
3. POST MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT METAL WITH A MINIMUM LENGTH OF 3'.
4. POSTS SHALL BE DRIVEN AT CORNERS OF STRUCTURES AND TO A MINIMUM DEPTH OF 1-1/2'. SPANS GREATER THAN 3' MAY BE BRIDGED WITH THE USE OF MESH REINFORCEMENT FASTENED TO POSTS.
5. GEOTEXTILE SHALL BE EMBEDDED 1' MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE POSTS AND FRAME.
6. A 2' x 4' WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE GEOTEXTILE FOR OVER FLOW STABILITY.



STABILIZED CONSTRUCTION ENTRANCE DETAILS

NOT TO SCALE

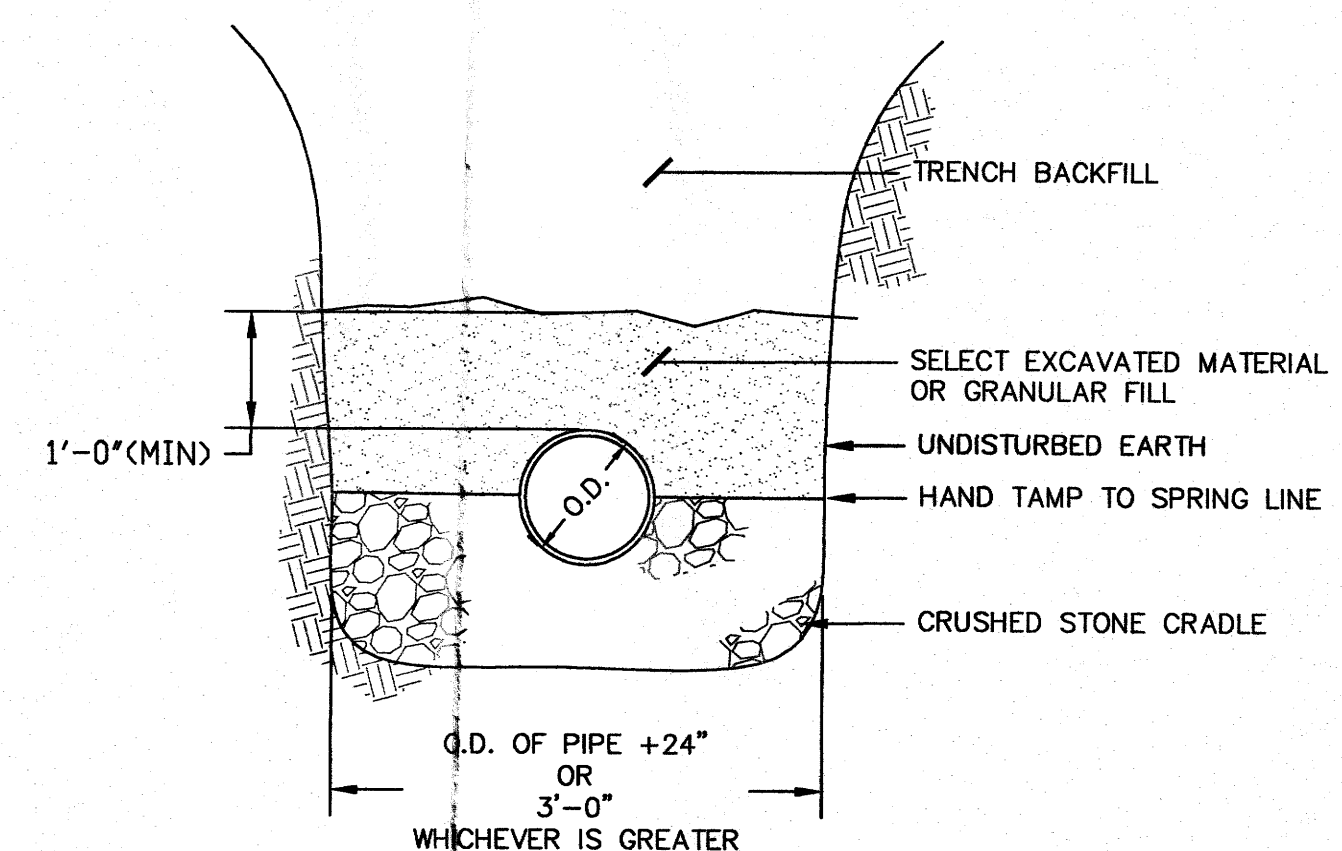
1. STONE SIZE - USE #2 STONE
2. THICKNESS - NOT LESS THAN 6 (SIX) INCHES.
3. WIDTH - FULL ENTRANCE WIDTH
4. USE FILTER FABRIC UNDER STONE FOR ENTRANCE STABILITY.
5. MAINTENANCE - THE CONTRACTOR SHALL MAINTAIN THE ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING OR SEDIMENT FLOW ONTO A PUBLIC HIGHWAY.
6. WHEN HIGHWAY WASHING IS REQUIRED, IT SHALL BE DONE IN A MANNER THAT DIRECTS SEDIMENT RUNOFF TOWARDS EROSION CONTROL DEVICES. INSTALL ADDITIONAL EROSION CONTROLS, IF NEEDED.
7. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AFTER EACH RAINSTORM.



NOTE:
4" OR 6" DIA. SDR 21 SHALL BE USED FOR NEW LATERALS, RISERS, CLEANOUTS & WYE CONNECTIONS. 22 1/2" AND 45" BENDS ONLY - 90° BENDS AND TEES ARE UNACCEPTABLE. TWO 22 1/2" BENDS MAY BE CONNECTED W/ A 2' (MIN.) LENGTH OF STRAIGHT PIPE. ALL JOINTS MUST HAVE RUBBER GASKETS. GLUED JOINTS ARE PROHIBITED.

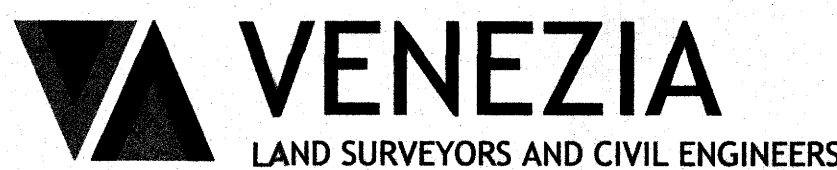
SANITARY SEWER LATERAL DETAIL
PRIVATELY-OWNED SEWER MAIN

PROJECT: SA_STDS	DWG: CLCSD STD	ONTARIO COUNTY DEPARTMENT OF PUBLIC WORKS
SCALE: N.T.S.	REV: 08/2010	



PIPE BEDDING DETAIL - PLASTIC WATER SERVICE

NOT TO SCALE



5120 Laura Lane

Canandaigua New York, 14424

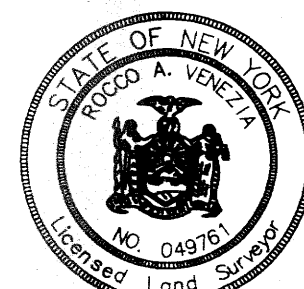
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- Concrete Monument
- Drill hole
- Benchmark
- Utility pole
- Utility lines
- E/T
- E/T
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NO.	Date	Description	By
1	2/22/16	Address PRC comments	AAV
2	4/13/2016	Revise Per MRB Comments	AAV

This is to certify that I am a Licensed Land Surveyor and that this plan was completed on 08/11/2016 from notes of an instrument survey performed on 6/15/2016

Rocco A. Venezia
License No. 049761 signed



Site Details:

www.veneziasurvey.com

(585)396-3267

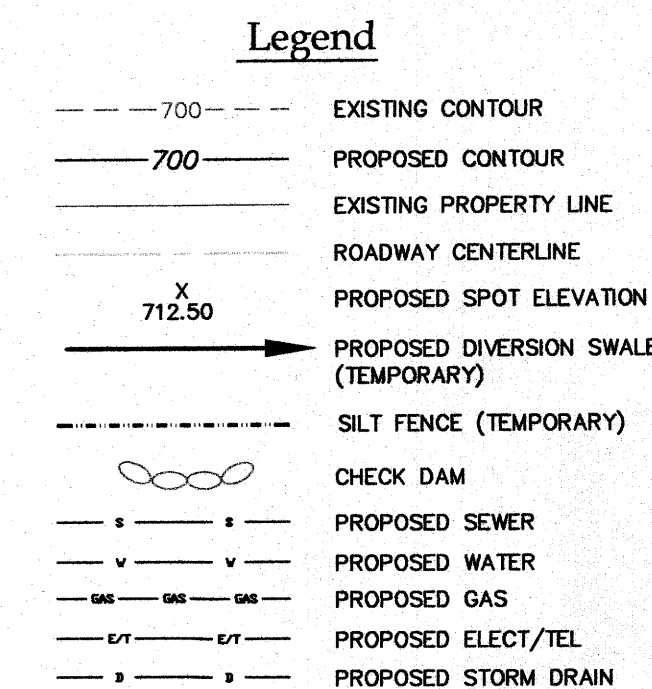
Fax No. (585) 396-0131

E-mail rocco@veneziasurvey.com

John D. Bartholf

Showing Land
At
4959 Waters Edge
Town of Canandaigua
County of Ontario
State of New York

Tax Map# 98.09-1-19
Scale: 1" = 15
Job # 16085



Property Owner
John D. Bartholf
4959 Waters Edge
Canandaigua, NY 14424
Construction timeline = 4-8 months start to completion

FINAL SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

NOTE:
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- CONTOURS DERIVED FROM NAVD88 DATUM
- FLOOD ZONES AE & X PER COMMUNITY PANEL NO. 360598 0015 C LAST DATED MARCH 3, 1997.

LAWN SEED SPEC. SUPPLIED BY
PREFERRED SEED
575 KENNEDY RD. BUFFALO NY 14227

MIX: SUMMER GREEN SUPREME
21% 3RD MILLENNIUM SRP TALL FESCUE
21% RHAMBLER SRP TALL FESCUE
21% TRAVERSE SRP TALL FESCUE
21% COCHISE IV TALL FESCUE
10% AMAZING GS PERENNIAL RYEGRASS
6% BROOKLAWN KENTUCKY BLUEGRASS
SEEDING RATE: 8 LBS/1000 SQ. FT.

Lot Coverage Calculations:	Sq.Ft
Existing	Proposed
House..... 734.0	House..... 1,076.0
Gravel Driveway..... 1,554.0	Gravel Driveway..... 1,566.0
Break Wall..... 58.0	Break Wall..... 58.0
Retaining Wall..... 92.0	
Porch..... 233.0	
Total Coverage..... 2,675.0	Total Coverage..... 2,700.0
Total Site Area..... 9,905.0	Total Site Area..... 9,905.0
Building Coverage..... 9.8%	Building Coverage..... 10.9%
Total Lot Coverage..... 27.0%	Total Lot Coverage..... 27.3%

NOTE:
NO PHOSPHOROUS SHALL BE USED AT PLANTING TIME UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY A HORTICULTURAL TESTING LAB AND THE SOIL TEST SPECIFICALLY INDICATE A PHOSPHOROUS DEFICIENCY THAT IS HARMFUL, OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.

IF SOIL TESTS INDICATE A PHOSPHOROUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHOROUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYS DEC REGULATIONS.

Plant Schedule

KEY	BOTANICAL	COMMON	SIZE	ROOT	SPACING
TREES					
AS	Amelanchier canadensis 'Autumn brilliance'	service berry	8'+/-	B&B	AS SHOWN
SHRUBS					
BG	Buxus x 'green velvet'	green vel. Boxwood	24"-30"	CONT.	AS SHOWN
HA	Hydrangea arborescens 'Annabelle'	smooth hydrangea	#3 - #5	CONT.	AS SHOWN
RA	Rhus aromatica	fragrant sumac	#3 - #5	CONT.	AS SHOWN
PERENNIALS					
EP	Echinacea purpurea	purple coneflower	#2 - #3	CONT.	AS SHOWN

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

SET TOP OF ROOT BALL AT LEAST 25-50 MM (1-2 IN.) ABOVE GRADE (OR HIGHER IN SLOWLY DRAINING SOILS)

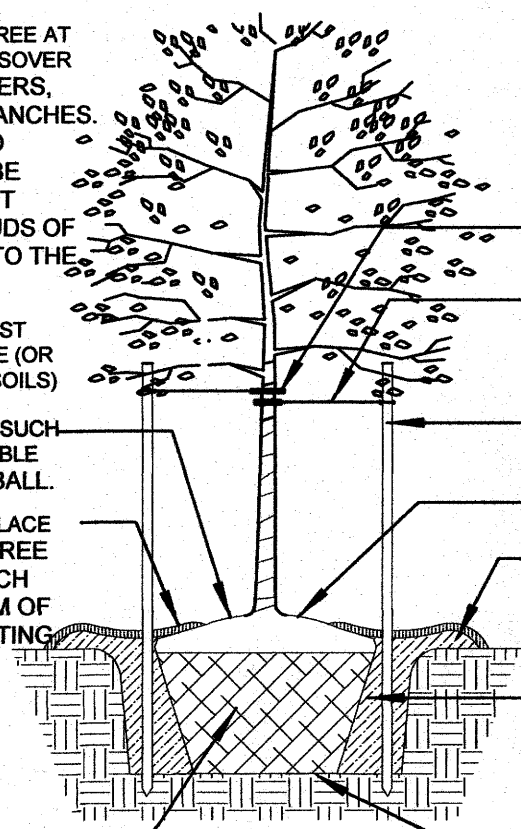
EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL.

50 MM (2 IN.) MULCH: DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. MAINTAIN THE MULCH WEED-FREE FOR A MINIMUM OF THREE YEARS AFTER PLANTING.

ALL STAKES SHALL BE DRIVEN OUTSIDE THE EDGE OF THE ROOT BALL.

IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CUT THE WIRE BASKET IN FOUR PLACES AND FOLD DOWN 200 MM (8 IN.) INTO PLANTING HOLE.

L2 DECIDUOUS TREE PLANTING DETAIL
TYPICAL INSTALLATION - 3" (76MM) CALIPER OR LESS N.T.S.



13 MM (1/2 IN.) DIAM. PLASTIC HOSE GALVANIZED WIRE OR CABLE TWIST WIRE TO TIGHTEN.

1800 x 40 MM (72 IN. x 1-1/2 IN.) HARDWOOD STAKES OR OTHER APPROVED STAKE MATERIAL DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.

TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT ROOT BALL DOES NOT SHIFT. REMOVE ALL TWINE, ROPE AND WIRE, AND BURLAP FROM TOP HALF OF ROOT BALL.

PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.

PLANT HEIGHT SHALL BE MEASURED FROM FINISHED GRADE TO THE UPPER MAIN BODY OF THE PLANT

SHRUBS PLANTED IN GROUPS SHALL BE SET IN CONTINUOUS BEDS AS SHOWN ON PLAN

PLANTING METHOD ILLUSTRATED SHALL APPLY EQUALLY TO BARE-ROOT STOCK & BALLED & BURLAP STOCK

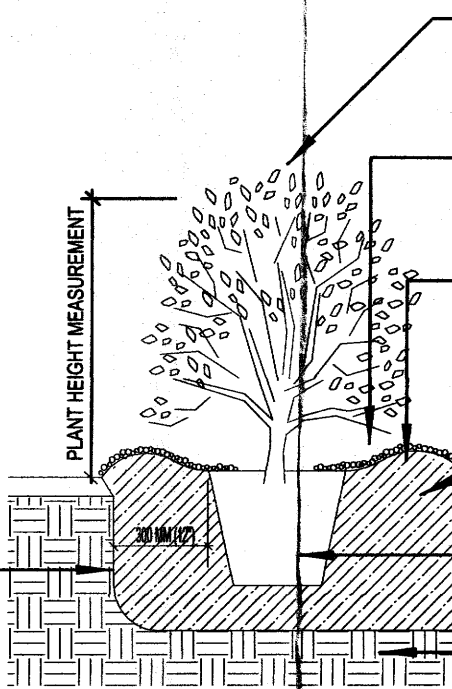
SET SHRUBS 50 MM (2") HIGHER THAN SURROUNDING GRADE TO ALLOW FOR SETTLEMENT

DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL

SCARIFY & IRRIGATE INSIDE OF SHRUB PLANTING PIT PRIOR TO PLANTING

EXCAVATE & PREPARE PLANTING BED TO 450 MM (18") DEEP OR AS SPECIFIED

L3 SHRUB PLANTING DETAIL
TYPICAL INSTALLATION N.T.S.



PRUNE DAMAGED OR OBJECTIONABLE BRANCHES IN SUCH A MANNER AS TO PRESERVE THE NATURAL CHARACTER OF THE PLANT

50 MM (2 IN.) MULCH. DO NOT PLACE MULCH IN CONTACT WITH SHRUB TRUNK.

100 MM (4 IN.) HIGH EARTH SAUCER BEYOND EDGE OF ROOT BALL.

SPECIFIED SOIL MIXTURE FIRMLY COMPACTED TO ELIMINATE AIR POCKETS AND PREVENT SETTLEMENT

REMOVE NURSERY POT PRIOR TO PLANTING (IF APPLICABLE)

COMPACTED SUBGRADE

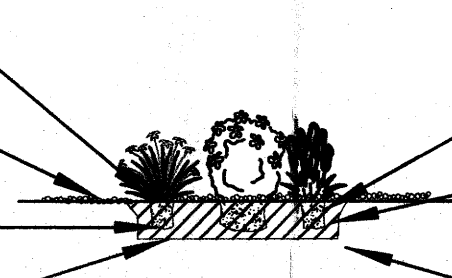
SET PERENNIALS AT OR ABOVE SURROUNDING GRADE NO MORE THAN 1" TO ALLOW FOR SETTLEMENT

PLANTS SET WITHIN MULCH BED TO A CONSISTENT 1.5" - 2.5" DEPTH THROUGHOUT ON TOP OF EXISTING GRADE OR AS PER PLAN

SCARIFY & TILL PLANTING ZONE WITH ORGANIC FERTILIZER / COMPOST PRIOR TO PLANTING

EXCAVATE & PREPARE PLANTING BED TO 450 MM (18") DEEP OR AS SPECIFIED

L4 PERENNIAL PLANTING DETAIL
TYPICAL INSTALLATION N.T.S.

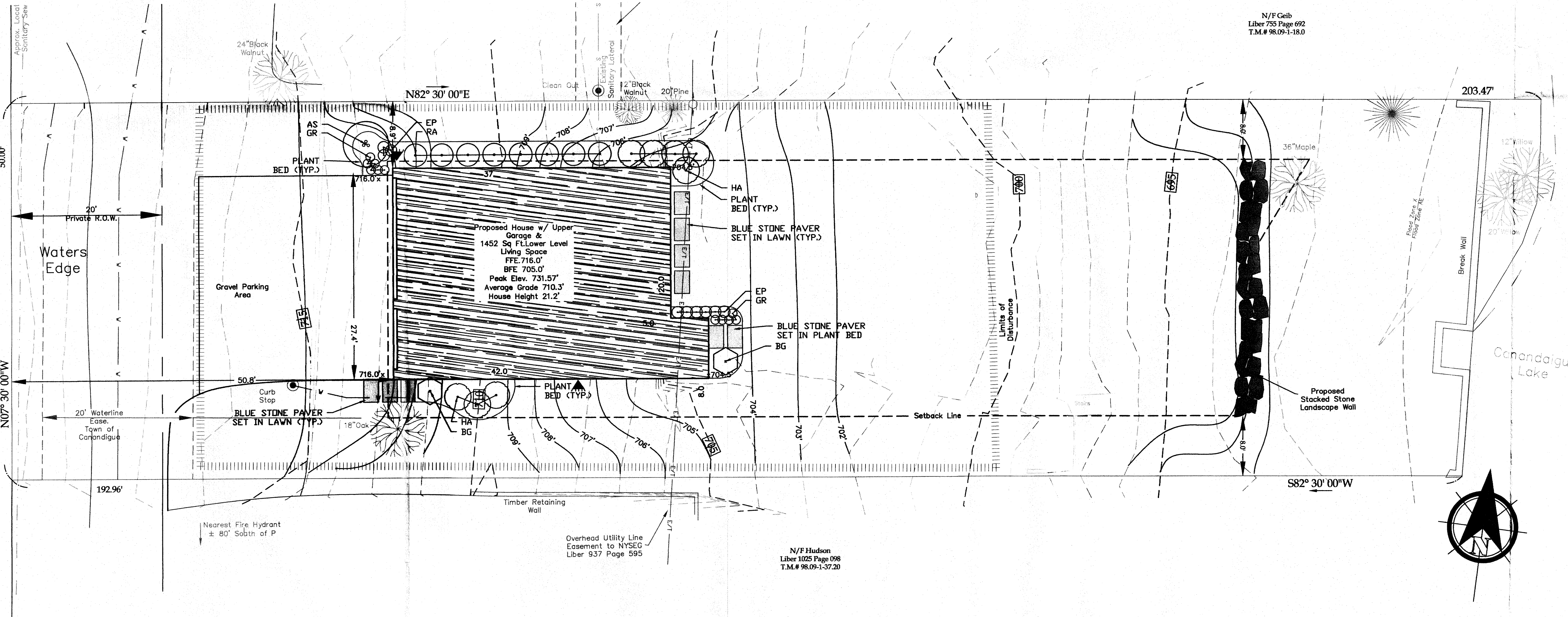


PERENNIALS PLANTED IN GROUPS SHALL BE SET IN CONTINUOUS BEDS AS SHOWN ON PLAN

REMOVE NURSERY POT PRIOR TO PLANTING (IF APPLICABLE)

SPECIFIED SOIL MIXTURE FIRMLY COMPACTED TO ELIMINATE AIR POCKETS AND PREVENT SETTLEMENT

COMPACTED SUBGRADE



VENEZIA
LAND SURVEYORS AND CIVIL ENGINEERS

5120 Laura Lane
Canandaigua New York, 14424

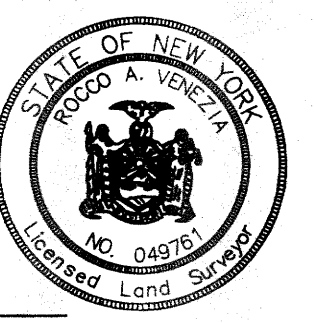
Legend

Iron pin or pipe found
Iron pin set
Drill hole
Utility pole
E/T
E/T
R.O.W. line
Property lines
Centerline

Revisions			
NO.	Date	Description	By
1	08/18/2016	Address PRC Comments	AAV
2	10/04/2016	Remove Proposed Cottage	AAV

This is to certify that I am a
Licensed Land Surveyor and that this plan
was completed on 08/11/2016
from notes of an instrument survey
performed on 06/15/2016

Rocco A. Venezia
License No. 049761 signed



Site Layout and Utility Plan

Showing Land
At
4959 Waters Edge
Town of Canandaigua
County of Ontario State of New York

(585)396-3267 Fax No. (585) 396-0131 E-mail rocco@veneziasurvey.com

Tax Map# 98.09-1-19
Scale: 1" = 8'
Job # 16085

DRAWING TITLE:
**SHEET L-1
LANDSCAPE PLAN**

CLIENT:
**JOHN D. BARTHOLF RES.
4959 WATERS EDGE
CANANDAIGUA, NY 14424**

NOTES:
-

VICINITY MAP: N.T.S.

Property Owner
**JOHN D. BARTHOLF RES.
4959 WATERS EDGE
CANANDAIGUA, NY 14424**

DATE: DESCRIPTION:

SCALE: AS NOTED
NORTH ARROW: AS NOTED

Stamp:
REGISTERED LANDSCAPE ARCHITECT
JOHN D. BARTHOLF
STATE OF NEW YORK

SCALE: AS NOTED
DRAWN BY: MVV
CHECKED BY: D.HACKETT RLA
DATE: 2016-8-19
DATE OF PRINT: 2016-11-7

PROJECT NO.
2016-2
SHEET NO.
9 OF 9