

Vicinity Map N.T.S.

Legend

- 700--- EXISTING CONTOUR
- 700--- PROPOSED CONTOUR
- EXISTING PROPERTY LINE
- ROADWAY CENTERLINE
- X 712.50 PROPOSED SPOT ELEVATION
- PROPOSED DIVERSION SWALE (TEMPORARY)
- SILT FENCE (TEMPORARY)
- CHECK DAM
- PROPOSED SEWER
- PROPOSED WATER
- PROPOSED GAS
- PROPOSED ELECT/TEL
- PROPOSED STORM DRAIN

Property Owner

John D. Bartholf  
4959 Waters Edge  
Canandaigua, NY 14424

Construction timeline = 4-8 months start to completion

Site Details:

Existing Zoning is Residential Lake District (RLD)  
Minimum Lot Size: (Existing Lot >10,000 SQ FT)  
Minimum Lot Width: 125FT (Existing Lot 50')  
Front Setback: 50 FT.  
Rear Setback: 8 FT.  
Side Setback: 8 FT.  
Maximum Building Height = 25 FT.  
Maximum Building Coverage on Lot = 25%  
Maximum Lot Coverage = 40%

Contours derived from NAVD88 Datum

Flood Zones AE & X Per Community Panel No. 360598 0015 C Last Dated March 3, 1997.

Lot Coverage Calculations:

Existing		Proposed	
House.....	734.0	House.....	1,076.0
Gravel Driveway.....	1,554.0	Gravel Driveway.....	1,566.0
Break Wall.....	58.0	Break Wall.....	58.0
Retaining Wall.....	92.0		
Porch.....	233.0		
Total Coverage..... 2,675.0		Total Coverage..... 2,700.0	
Total Site Area..... 9,905.0		Total Site Area..... 9,905.0	
Building Coverage..... 9.8%		Building Coverage..... 10.9%	
Total Lot Coverage..... 27.0%		Total Lot Coverage..... 27.3%	

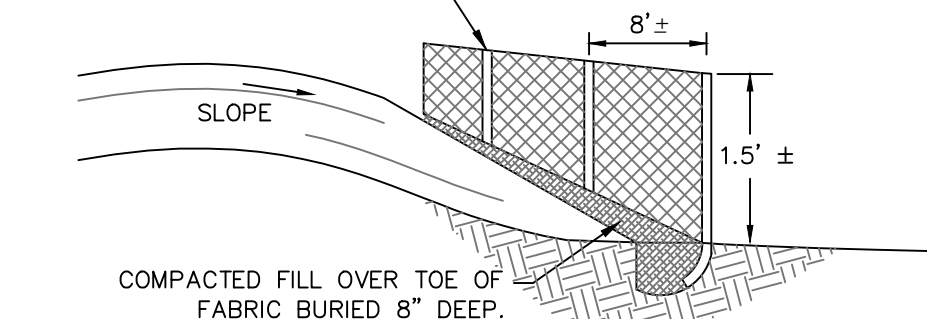
ZONING CHART

TOWN OF CANANDAIGUA

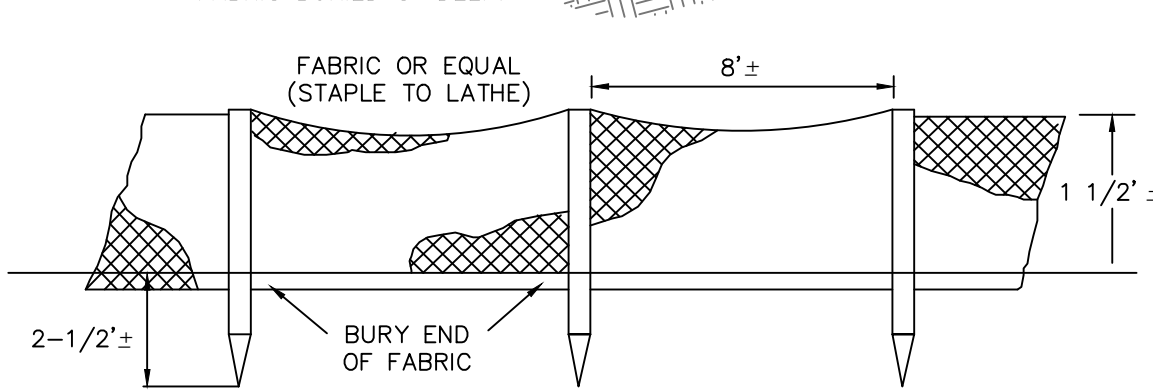
ZONING DISTRICT: RESIDENTIAL LAKE DISTRICT (RLD)

	REQUIRED	PROVIDED
MIN LOT AREA (AREA TO ROW)	20,000 SF	9,905 SF (EXISTING LOT)
MIN LOT WIDTH	125'	50'
MIN FRONT YARD SETBACK	50.0'	50.8'
MIN SIDE YARD SETBACK	8'	8.8
MIN REAR YARD SETBACK	30'	EXISTING COTTAGE
MIN REAR YARD SETBACK (ACCESSORY)	15'	N/A
MAX BUILDING HEIGHT	25 FT	25 FT
MAX ACCESSORY STRUCTURE HEIGHT	16 FT	16 FT
MAX BUILDING COVERAGE	25%	10.9%
MAX LOT COVERAGE	40%	27.3%
SITE DISTURBANCE	5,000 SF ±	

POSTS SHALL BE 4" MIN. DIA. PINE LOCATED DOWNSLOPE OF FABRIC TO HELP SUPPORT FENCE.



NOTE: FILTER FENCE FABRIC SHALL BE OF NYLON, POLYESTER, PROPYLENE, OR ETHYLENE YARN WITH EXTRA STRENGTH - 50LB/LIN. IN.(MIN), WITH A FLOW RATE OF AT LEAST 0.3 GAL./SQFT/MINUTE. FABRIC SHOULD CONTAIN UV RAY INHIBITORS AND STABILIZERS.



SILT FENCE DETAIL

NOT TO SCALE

FINAL SITE PLAN APPROVAL

PLANNING BOARD CHAIRPERSON DATE

TOWN HIGHWAY & WATER SUPERINTENDENT DATE

TOWN ENGINEER DATE

NOTE:

NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.

GENERAL NOTES

1. PROPERTY LINE INFORMATION SHOWN ON THIS PLAN IS BASED ON AVAILABLE RECORD INFORMATION AND A FIELD INSTRUMENT SURVEY.

2. NO CHANGES ARE TO BE MADE TO THIS DESIGN WITHOUT PRIOR APPROVAL.

3. PROPOSED LIGHTING TO BE COORDINATED WITH THE ARCHITECT AND OWNER. LIGHTING SHALL BE DARK SKY COMPLIANT (PER CHAPTER 220, SECTION 77).

4. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE ONTARIO COUNTY HIGHWAY DEPARTMENT FOR ALL WORK WITHIN THE RIGHT-OF-WAY.

5. CONTOURS DERIVED FROM NAVD88 DATUM

6. FLOOD ZONES AE & X PER COMMUNITY PANEL NO. 360598 0015 C LAST DATED MARCH 3, 1997.

" Unauthorized alteration or addition to a map bearing a Licensed Professional Engineer's or Professional Land Surveyor's seal in any way is a Violation of Section 7209

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TOWN OF CANANDAIGUA STANDARD NOTES

1. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE WATER/ SEWER AGENCIES, UNLESS OTHERWISE NOTED.

2. SEQUENCE - THE CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES IN THE FOLLOWING SEQUENCE UNLESS AUTHORIZED OTHERWISE AT THE PRE-CONSTRUCTION MEETING:

- INSTALL PERIMETER SEDIMENT CONTROLS, (I.E. EROSION FENCING).
- INSTALL STABILIZED CONSTRUCTION ENTRANCE.
- PROTECT VEGETATION TO REMAIN.
- CLEAR GRUB AND CONSTRUCT DIVERSIONARY SWALES AND SEDIMENT BASINS.
- COMPLETE CLEARING AND GRUBBING OPERATION.
- PLACE EROSION CONTROL MEASURES AROUND TOPSOIL STOCKPILES AND STRIP TOPSOIL LOCATIONS.
- CONSTRUCT SWALES AND SILTATION DEVICES AS EARTHWORK OPERATIONS PROGRESS.
- MAINTAIN EROSION CONTROL MEASURES AND PLACE ADDITIONAL MEASURES AS EARTHWORK AND UNDERGROUND UTILITIES ARE CONSTRUCTED.
- RESTORE AREAS AS DEFINED BY CONTRACT DOCUMENTS.
- REMOVE EROSION CONTROL MEASURES AS AREAS ARE REESTABLISHED WITH GROUND COVER.
- IF SITE PREPARATIONS OCCUR BETWEEN SEPTEMBER 1 AND MARCH 31, ADDITIONAL EROSION CONTROLS MUST BE TAKEN INCLUDING REDUCING THE SIZE OF DISTURBANCE AREA AND PLACING HEAVY STRAW MULCH WHERE PRACTICAL.

3. PLANS SHOULD INCLUDE RE-SEEDING INSTRUCTIONS INCLUDING MATERIALS AND A TIMETABLE FOR VARIOUS SEEDING

- SEED ALL CUT AND FILL, TOPSOIL PILES AND PONDS WITHIN SEVEN (7) DAYS AFTER COMPLETION.
- TEMPORARY SEEDING OF DISTURBED AREAS SHALL BE PROVIDED AS FOLLOWS:

NO PHOSPHOROUS SHALL BE USED AT PLANTING TIME UNLESS SOIL TESTING HAS BEEN COMPLETED AND TESTED BY A HORTICULTURAL TESTING LAB AND THE SOILS TEST SPECIFICALLY INDICATE A PHOSPHOROUS DEFICIENCY THAT IS HARMFUL, OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.

IF SOIL TESTS INDICATE A PHOSPHOROUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHOROUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYS DEC REGULATION

THE SURFACE TWO INCHES OF SOIL SHOULD BE LOOSENEED BY DISKING, RAKING, OR BACK-BLADING WITH A BULLDOZER. IMMEDIATELY SEED WITH THE FOLLOWING MIX:

LBS/ACRE LBS/1,000 SQ. ACRES

SPRING/SUMMER/EARLY FALL  
ANNUAL RYE GRASS 30 0.7  
PERENNIAL RYEGRASS 30 0.7

LATE FALL/EARLY WINTER  
CEREAL RYE 100 2.5

SEED SHOULD HAVE A GERMINATION RATE OF AT LEAST 85 PERCENT AND MINIMAL INERT MATERIAL.

DISTURBED AREAS SHALL BE STABILIZED USING PERMANENT LAWN SEEDING MIX UPON COMPLETION OF GRADING AND CONSTRUCTION:

LBS/ACRE LBS/1,000 SQ. ACRE  
BIRDSFOOT TREFOIL OR COMMON WHITE CLOVER 8 OR 8 0.20 OR 0.20  
TALL FESCUE 20 0.45  
REDTOP OR RYEGRASS (PERENNIAL) 2 OR 5 0.05 OR 0.10

SEEDING RATE: 6.0 POUNDS PER 1,000 SQUARE FEET

MULCH: STRAW OR WOOD FIBER MULCH USED WITH HYRDO SEEDING METHOD AT TWO TONS PER ACRE WITH TRACKRIFER

STARTING FERTILIZER: 5:10:10 AT 20 POUNDS PER 1,000 SQUARE FEET.

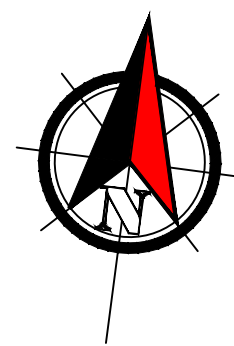
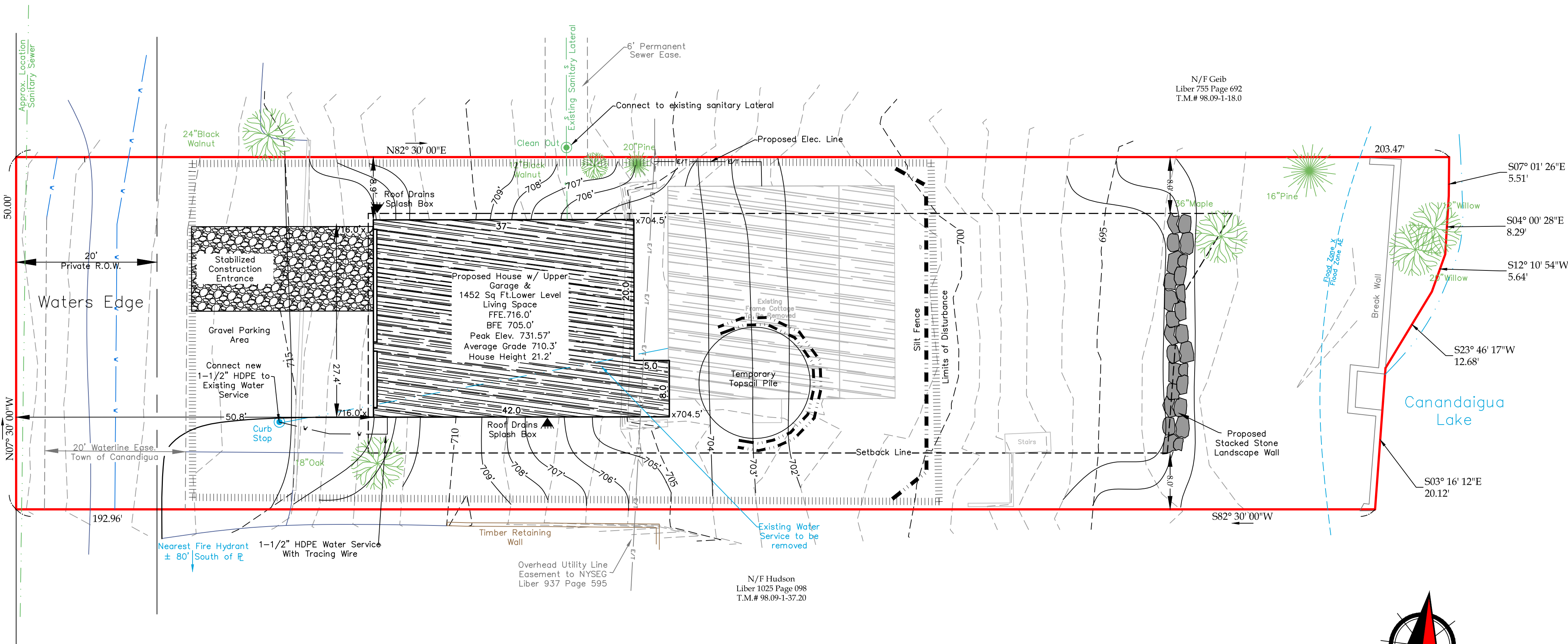
- FOR FALL OR EARLY WINTER, SEED WITH CERTIFIED "AROOSTOCK" WINTER RYE (CEREAL RYE) AT 100 POUNDS PER ACRE.
- PERMANENT STABILIZATION FOR STEEP SLOPES GREATER THAN 3:1 SHALL INCLUDE JUTE MESH BLANKET AND CROWN VETCH SEED WITH PERENNIAL RYEGRASS.

4. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENT IN THE AREAS OF CONSTRUCTION.

5. EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND /OR UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CALL THE DIG SAFELY NEW YORK (UPO) HOTLINE AT 1-800-962-7962 FOR STAKEOUT OF EXISTING UTILITIES. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND EVALUATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET THE EXISTING CONDITIONS.

6. DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/ OR DIRECTED BY THE TOWN OF CANANDAIGUA.

7. THE OWNER'S CONTRACTOR SHALL BE RESPONSIBLE FOR THE ESTABLISHMENT, MAINTENANCE, CLEANING, REPAIR AND REPLACEMENT OF EROSION CONTROL MEASURES DURING SITE CONSTRUCTION.



Legend

- Iron pin or pipe found
- ✕ Iron pin set
- Drill hole
- Utility pole
- E/T
- E/T
- R.O.W. line
- Property lines
- Contourline

Revisions

NO.	Date	Description	By
1	08/18/2016	Address PRC Comments	AAV
2	10/04/2016	Remove Proposed Cottage	AAV

This is to certify that I am a Licensed Land Surveyor and that this plan was completed on 08/11/2016 from notes of an instrument survey performed on 06/15/2016

Rocco A. Venezia  
License No. 049761 signed



Site Layout and Utility Plan

John D. Bartholf

Showing Land  
At  
4959 Waters Edge  
Town of Canandaigua  
County of Ontario State of New York

Tax Map # 98.09-1-19  
Scale: 1" = 15  
Job # 16085



5120 Laura Lane

Canandaigua New York, 14424

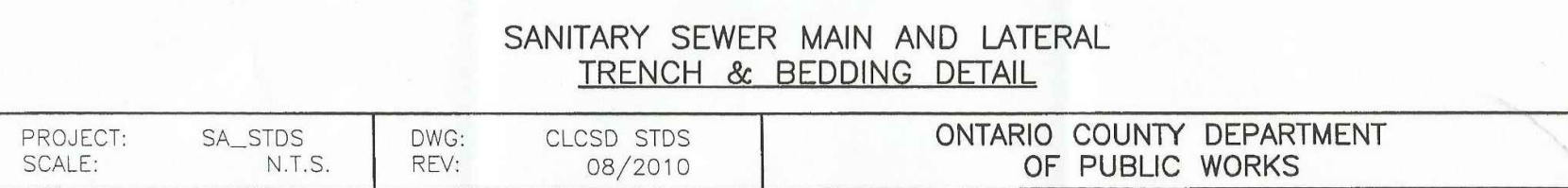
www.veneziasurvey.com

(585)396-3267

Fax No. (585) 396-0131

E-mail rocco@veneziasurvey.com

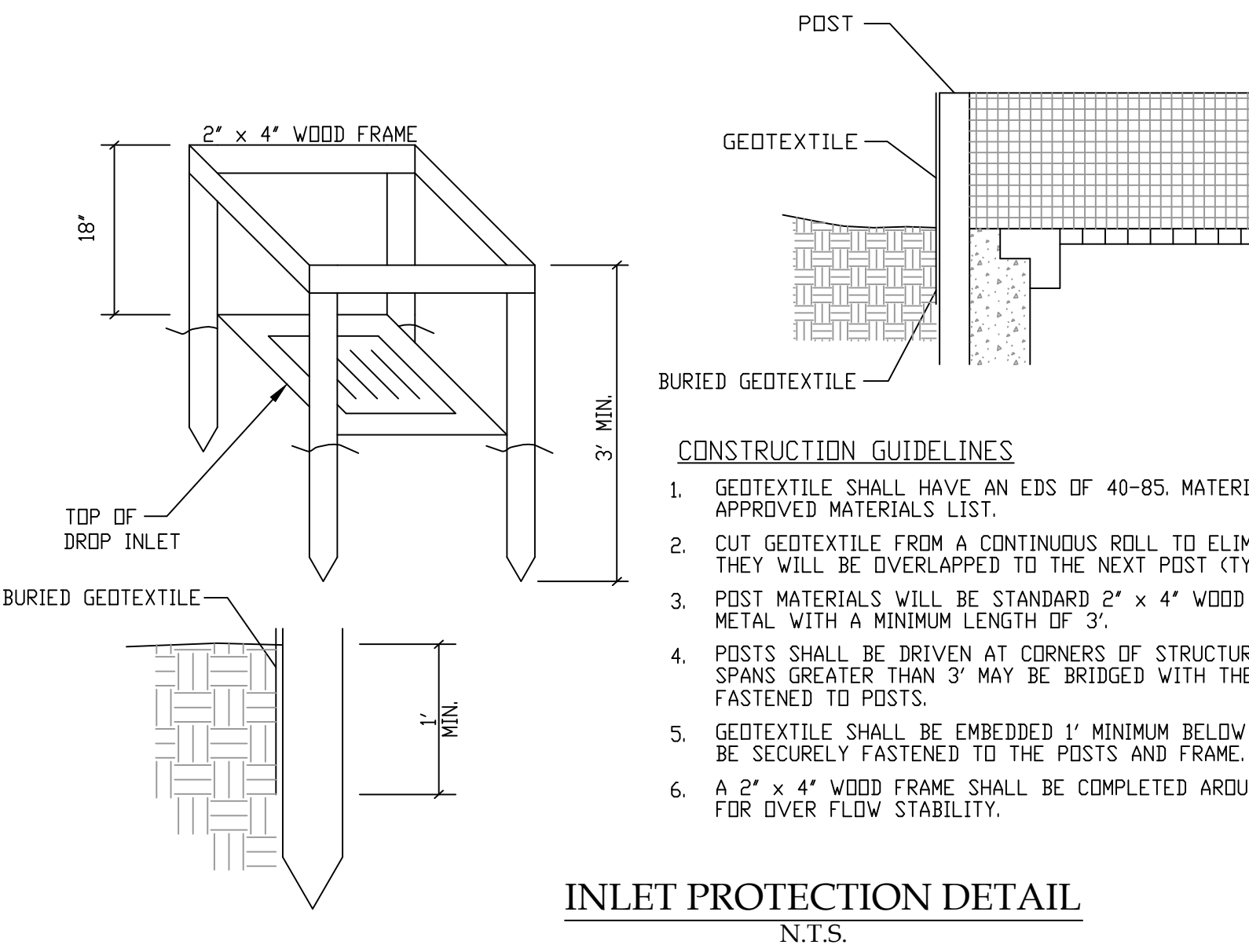




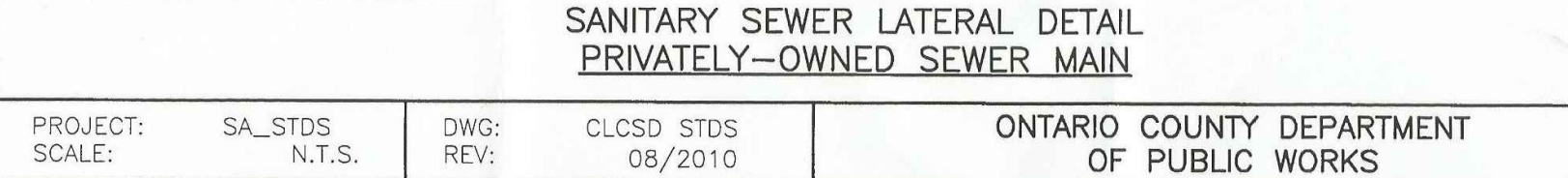
1. ANY SANITARY SEWER CONSTRUCTION AND/OR IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CANANDAIGUA LAKE COUNTY SEWER DISTRICT, N.Y.S. DEPARTMENT OF ENVIRONMENTAL CONSERVATION, N.Y.S. DEPARTMENT OF HEALTH, THE LATEST EDITION OF RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES AND ANY OTHER AGENCIES HAVING JURISDICTION.
2. NO SANITARY SEWER-RELATED WORK MAY BE PERFORMED WITHOUT FIRST OBTAINING A WRITTEN PERMIT FROM THE CANANDAIGUA LAKE COUNTY SEWER DISTRICT.
3. DISTRICT PERSONNEL SHALL BE NOTIFIED A MINIMUM OF 48 HOURS PRIOR TO BEGINNING ANY SANITARY SEWER-RELATED WORK.
4. THE CONTRACTOR SHALL LOCATE, MARK AND PRESERVE ANY RIGHT OF WAY MONUMENTS OR SURVEY CONTROL IN THE AREA OF CONSTRUCTION.
5. UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF UTILITIES, EXCAVATING TO EXPOSE THE UTILITY, IF NECESSARY IN THE AREA OF CONSTRUCTION, BEFORE COMMENCING CONSTRUCTION. CONTACT U.F.O.R AT 1-800-962-7962 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.
6. LATERSALS SHALL BE A MIN. 4" DIA. SDR-21 WITH ELASTOMERIC JOINTS; FOR COMMERCIAL ESTABLISHMENTS, LATERSALS ARE TO BE 6" DIA. SDR-21. MINIMUM DEPTH OF BURIAL IS FOUR FEET. CLEANSOUTS SHALL BE INSTALLED WITHIN 30 INCHES OF THE OUTSIDE FACE OF BUILDINGS, AT ALL CHANGES IN HORIZONTAL ALIGNMENT, AT THE RIGHT OF WAY OR EASEMENT LINE, AND AT SPACING NOT TO EXCEED 90 FEET.
7. SANITARY SEWER MAINS AND LATERSALS SHALL BE LOCATED A MINIMUM HORIZONTAL DISTANCE OF 10' FROM ANY EXISTING OR PROPOSED WATER MAIN (AS MEASURED FROM THE OUTSIDE OF THE SEWER TO THE OUTSIDE OF THE WATER MAIN), IN CASES WHERE THE SANITARY SEWER CROSSES A WATER MAIN, THE MINIMUM VERTICAL SEPARATION SHALL BE 18" (MEASURED OUT-TO-OUT). THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS.
8. THE CONTRACTOR SHALL PROVIDE THE DISTRICT WITH SHOP DRAWINGS AND MATERIAL SPECIFICATIONS THAT HAVE BEEN PRE-APPROVED BY THE DESIGN ENGINEER BEFORE A PERMIT WILL BE ISSUED.
9. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH OSHA REQUIREMENTS IN ALL ASPECTS OF CONSTRUCTION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SANITARY FLOWS AT ALL TIMES BY METHODS ACCEPTABLE TO THE DEVELOPER'S ENGINEER AND THE DISTRICT.
11. FLOOR DRAINS IN THE BASEMENT OR GARAGE ARE TO BE CONNECTED TO THE SANITARY SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION OR FOOTER DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUND WATER. ALL DISCHARGES TO THE SANITARY SEWER MUST COMPLY WITH EFFLUENT LIMITS OF THE ONTARIO COUNTY SEWER USE LAW. FOUNDATION AND FOOTER DRAINS SHALL BE CONSTRUCTED IN A MANNER THAT WILL PROHIBIT GROUNDWATER FROM DRAINING INTO THE SANITARY SEWER PIPE GRADE.
12. LATERAL CONNECTIONS REQUIRING OPENINGS IN ASBESTOS CEMENT PIPE WILL BE DESIGNED, INSPECTED AND CERTIFIED BY THE DESIGN ENGINEER OR REPRESENTATIVE THEREOF.
13. ANY EXCAVATION NOT BACKFILLED BY THE END OF THE WORKDAY SHALL BE FENCED, BARRICADED AND LIGHTED FOR SAFETY AND PROTECTION OF THE PUBLIC.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING SANITARY MAINS, STRUCTURES AND APPURTENANCES, IF ANY, NEEDED TO COMPLETE THE WORK.

**RENOVATION PROJECTS ONLY**

15. EXISTING LATERSALS TO BE DISCONNECTED MUST BE PERMANENTLY PLUGGED OR CAPPED AT THE EASEMENT OR RIGHT OF WAY LINE UNDER THE DIRECTION OF THE CANANDAIGUA LAKE COUNTY SEWER DISTRICT SUPERVISOR. THE CONTRACTOR IS REQUIRED TO OBTAIN A PERMIT PRIOR TO PERFORMING THE WORK. THE LOCATION OF THE PLUG OR CAP SHALL BE RECORDED FOR AS-BUILT DRAWING PURPOSES.
16. PRIOR TO DEMOLISHING AN EXISTING BUILDING, THE CONTRACTOR SHALL EXCAVATE, DISCONNECT AND ABANDON THE LATERAL FROM THE BUILDING TO THE POINT OF DISCONNECTION (APPROXIMATELY 30' FROM THE EXISTING BUILDING) PER DISTRICT STANDARDS. A TEMPORARY PLUG SHALL BE INSTALLED IN THE REMAINING PORTION OF THE EXISTING SANITARY LATERAL UNTIL IT IS TESTED AND TELEVIEWED.
17. IN ORDER TO DETERMINE WHETHER AN EXISTING SANITARY LATERAL IS ACCEPTABLE FOR CONNECTION TO A NEW BUILDING, THE LATERAL SHALL BE TELEVIEWED IN THE PRESENCE OF DISTRICT PERSONNEL AT THE OWNER'S EXPENSE.
18. IF AN EXISTING LATERAL IS FOUND TO BE ACCEPTABLE AND MEET THE MINIMUM DISTRICT REQUIREMENTS, IT SHALL BE TEMPORARILY RE-PLUGGED AND BACKFILLED WITH A WITNESS STAKE IN PLACE, UNTIL CONNECTION TO THE NEW BUILDING CAN TAKE PLACE.
19. IF A NEW SANITARY LATERAL IS REQUIRED, THE EXISTING LATERAL MUST BE EXCAVATED, REMOVED, AND CAPPED AT THE EASEMENT RIGHT OF WAY LINE IN ACCORDANCE WITH DISTRICT REQUIREMENTS.
20. IF A NEW SANITARY SEWER LATERAL IS REQUIRED, THE CONNECTION TO THE EXISTING SANITARY MAIN SHALL BE MADE PER DISTRICT STANDARDS.

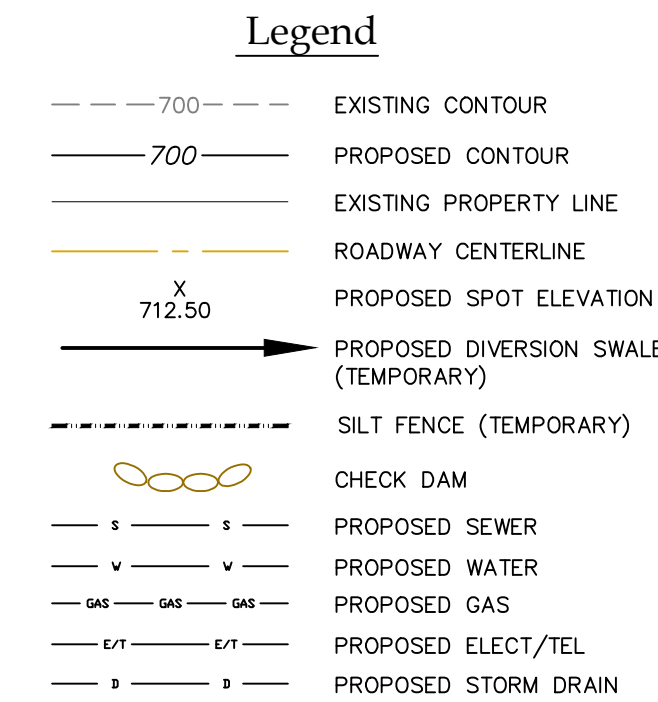


1. STONE SIZE - USE #2 STONE
2. THICKNESS - NOT LESS THAN 6 (SIX) INCHES.
3. WIDTH - FULL ENTRANCE WIDTH
4. USE FILTER FABRIC UNDER STONE FOR ENTRANCE STABILITY.
5. MAINTENANCE - THE CONTRACTOR SHALL MAINTAIN THE ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING OR SEDIMENT FLOW ONTO A PUBLIC HIGHWAY.
6. WHEN HIGHWAY WASHING IS REQUIRED, IT SHALL BE DONE IN A MANNER THAT DIRECTS SEDIMENT RUNOFF TOWARDS EROSION CONTROL DEVICES. INSTALL ADDITIONAL EROSION CONTROLS, IF NEEDED.
7. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AFTER EACH RAINSTORM.



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Property Owner  
John D. Bartholf  
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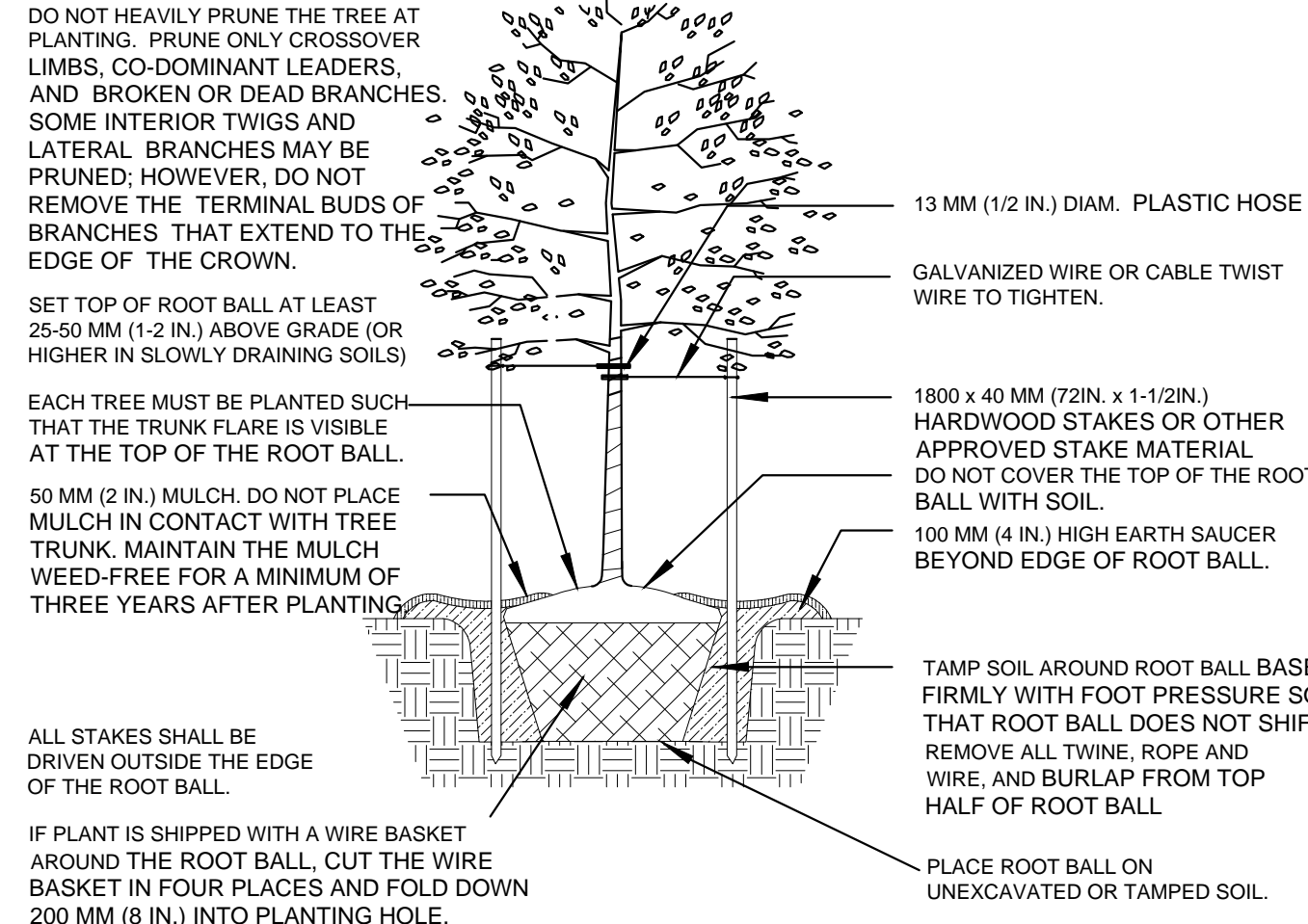
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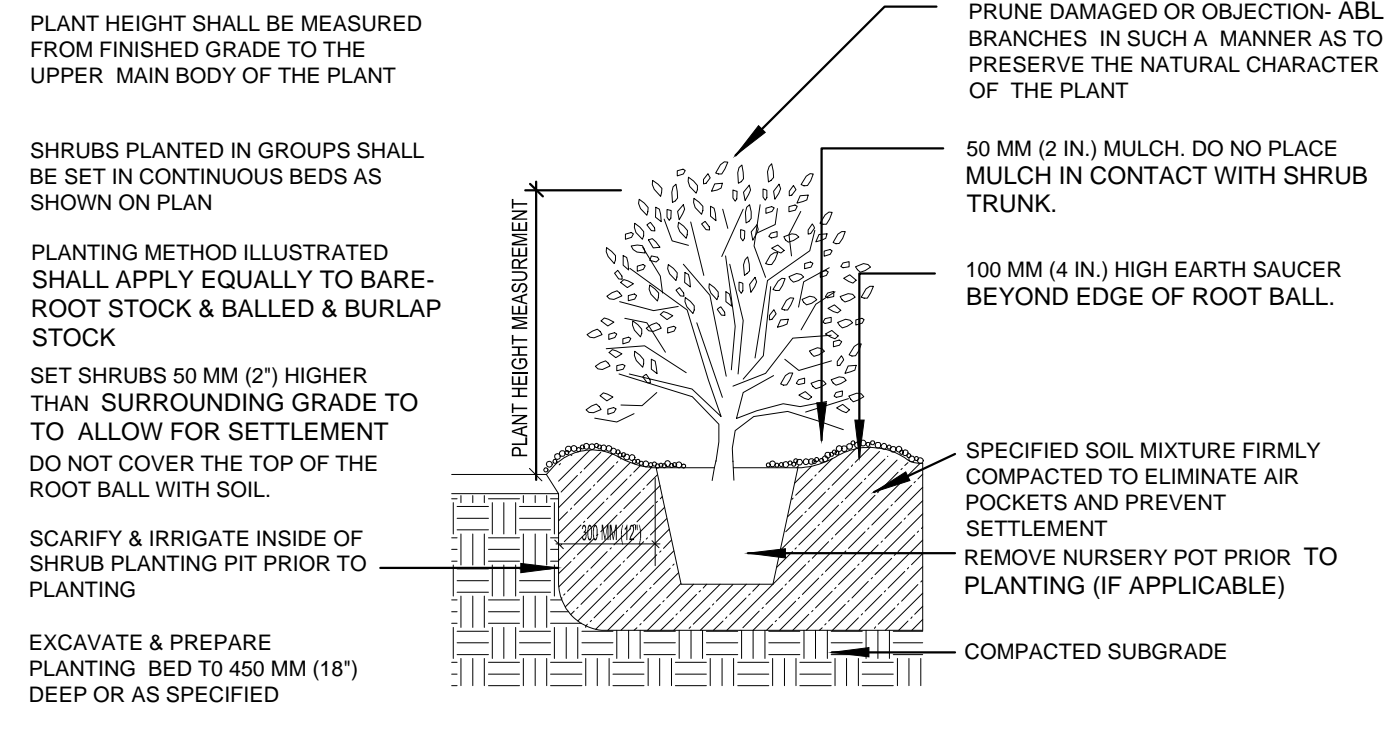
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NOTE:  
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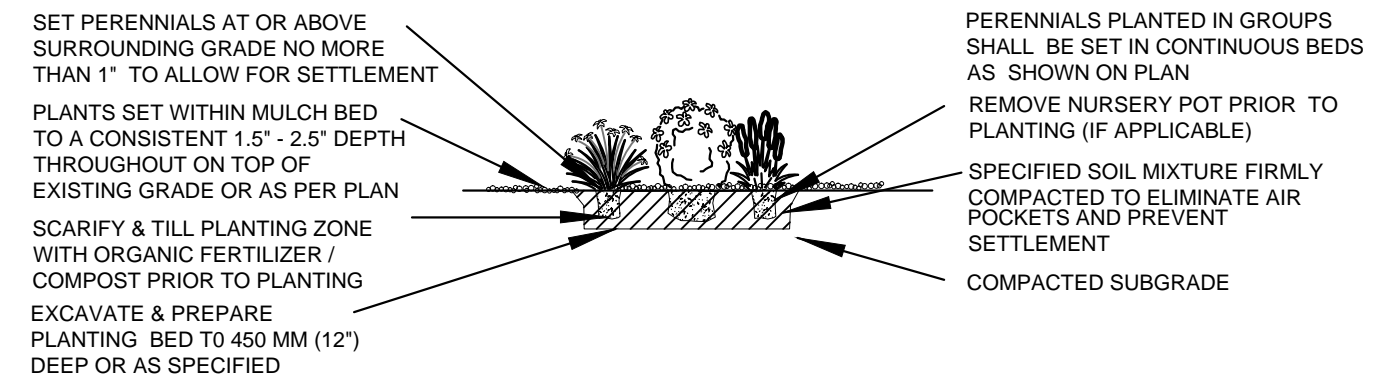
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L2 DECIDUOUS TREE PLANTING DETAIL  
TYPICAL INSTALLATION - 3" (75MM) CALIPER OR LESS N.T.S.



L3 SHRUB PLANTING DETAIL  
TYPICAL INSTALLATION N.T.S.



L4 PERENNIAL PLANTING DETAIL  
TYPICAL INSTALLATION N.T.S.

### FINAL SITE PLAN APPROVAL

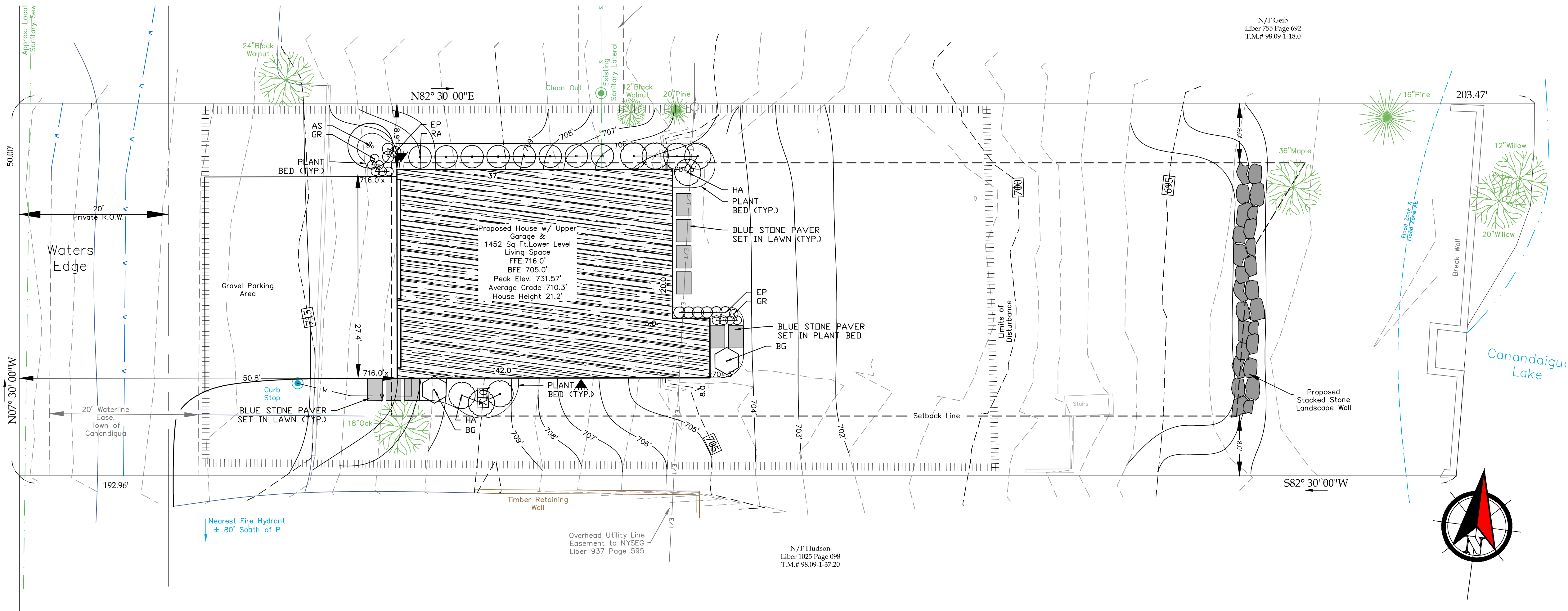
PLANNING BOARD CHAIRPERSON	DATE
TOWN HIGHWAY & WATER SUPERINTENDENT	DATE
TOWN ENGINEER	DATE

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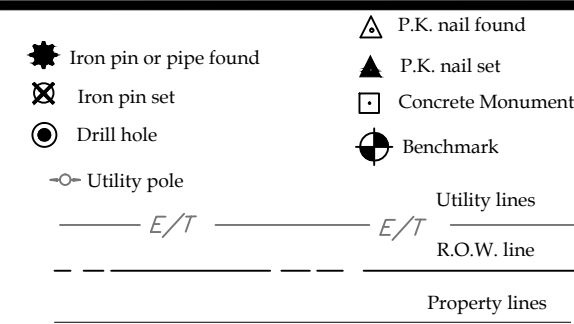
LAWN SEED SPEC. SUPPLIED BY  
PREFERRED SEED  
575 KENNEDY RD. BUFFALO NY 14227

MIX: SUMMER GREEN SUPREME  
21% 3RD MILLENNIUM SRP TALL FESCUE  
21% RHAMBLER SRP TALL FESCUE  
21% TRAVERSE SRP TALL FESCUE  
21% COCHISE W TALL FESCUE  
10% AMAZING GS PERENNIAL RYEGRASS  
6% BROOKLAWN KENTUCKY BLUEGRASS  
SEEDING RATE: 8LBS/1000 SQ. FT.

Plant Schedule						
KEY	BOTANICAL	COMMON	SIZE	ROOT	SPACING	
TREES						
AS	Amelanchier canadensis 'Autumn brilliance'	service berry	8'+/-	B&B	AS SHOWN	
SHRUBS						
BG	Buxus x 'green velvet'	green vel. Boxwood	24"-30"	CONT.	AS SHOWN	
HA	Hydrangea arborescens 'Annabelle'	smooth hydrangea	#3 - #5	CONT.	AS SHOWN	
RA	Rhus aromatica	fragrant sumac	#3 - #5	CONT.	AS SHOWN	
PERENNIALS						
EP	Echinacea purpurea	purple coneflower	#2 - #3	CONT.	AS SHOWN	



### Legend



### Revisions

NO.	Date	Description	By
1	08/18/2016	Address PRC Comments	AAV
2	10/04/2016	Remove Proposed Cottage	AAV

This is to certify that I am a  
Licensed Land Surveyor and that this plan  
was completed on 08/11/2016  
from notes of an instrument survey  
performed on 06/15/2016

Rocco A. Venezia  
License No. 049761 signed



### Site Layout and Utility Plan

John D. Bartholf

Showing Land  
At  
4959 Waters Edge  
Town of Canandaigua  
County of Ontario  
State of New York

Tax Map# 98.09-1-19  
Scale: 1" = 8'  
Job # 16085

SCALE: AS NOTED

DRAWN BY: MVV

CHECKED BY: D. HACKETT RLA

DATE: 2016-8-19

DATE OF PRINT: 2016-11-7

PROJECT NO.

2016-2

SHEET NO.

9 OF 9

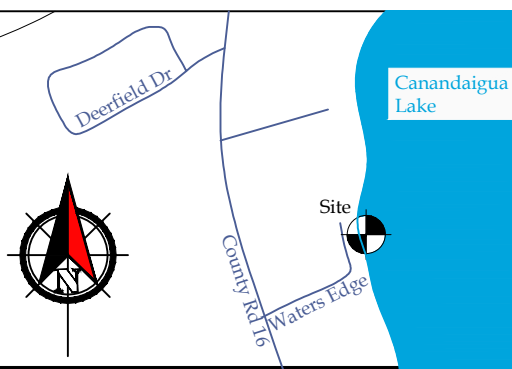
DRAWING TITLE:

SHEET L-1  
LANDSCAPE PLAN

CLIENT:  
JOHN D. BARTHOLF RES.  
4959 WATERS EDGE  
CANANDAIGUA, NY 14424

NOTES:

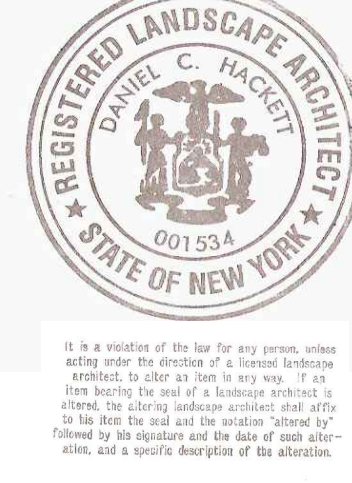
VICINITY MAP: N.T.S.



Property Owner  
JOHN D. BARTHOLF RES.  
4959 WATERS EDGE  
CANANDAIGUA, NY 14424

DATE: DESCRIPTION:

STAMP:



SCALE: AS NOTED

NORTH ARROW: AS NOTED



8000 Victor-Mendon Rd.  
Victor, New York 14564  
(585)381-9000