

*LAWRENCE A. WERGES & JENNIFER FOX-WERGES*

# NEW RESIDENTIAL SITE PLAN

4963 WATER EDGE DRIVE  
TOWN OF CANANDAIGUA  
COUNTY OF ONTARIO  
STATE OF NEW YORK  
APRIL 8, 2020  
REVISED 6/4/20

*INDEX:*

COVER  
EX100 - EXISTING CONDITIONS AND DEMO PLAN  
C100 - SITE PLAN  
C500 - DETAILS  
C501 - DETAILS

*SITE:*  
4963 WATERS EDGE DRIVE  
TOWN OF CANANDAIGUA

PREPARED FOR:  
NEW ENERGY WORKS  
1180 COMMERCIAL DRIVE  
FARMINGTON, NY 14425

PROPERTY OWNER:  
LAWRENCE A. WERGES & JENNIFER FOX-WERGES  
5265 OLD WEST LAKE RD  
CANANDAIGUA, NY 14522

DATE: 04/08/2020

REVISIONS:  
04/17/2020 - PRC  
6/4/20 - PER TOWN ENG. & PB COMMENTS

*PREPARED BY:*

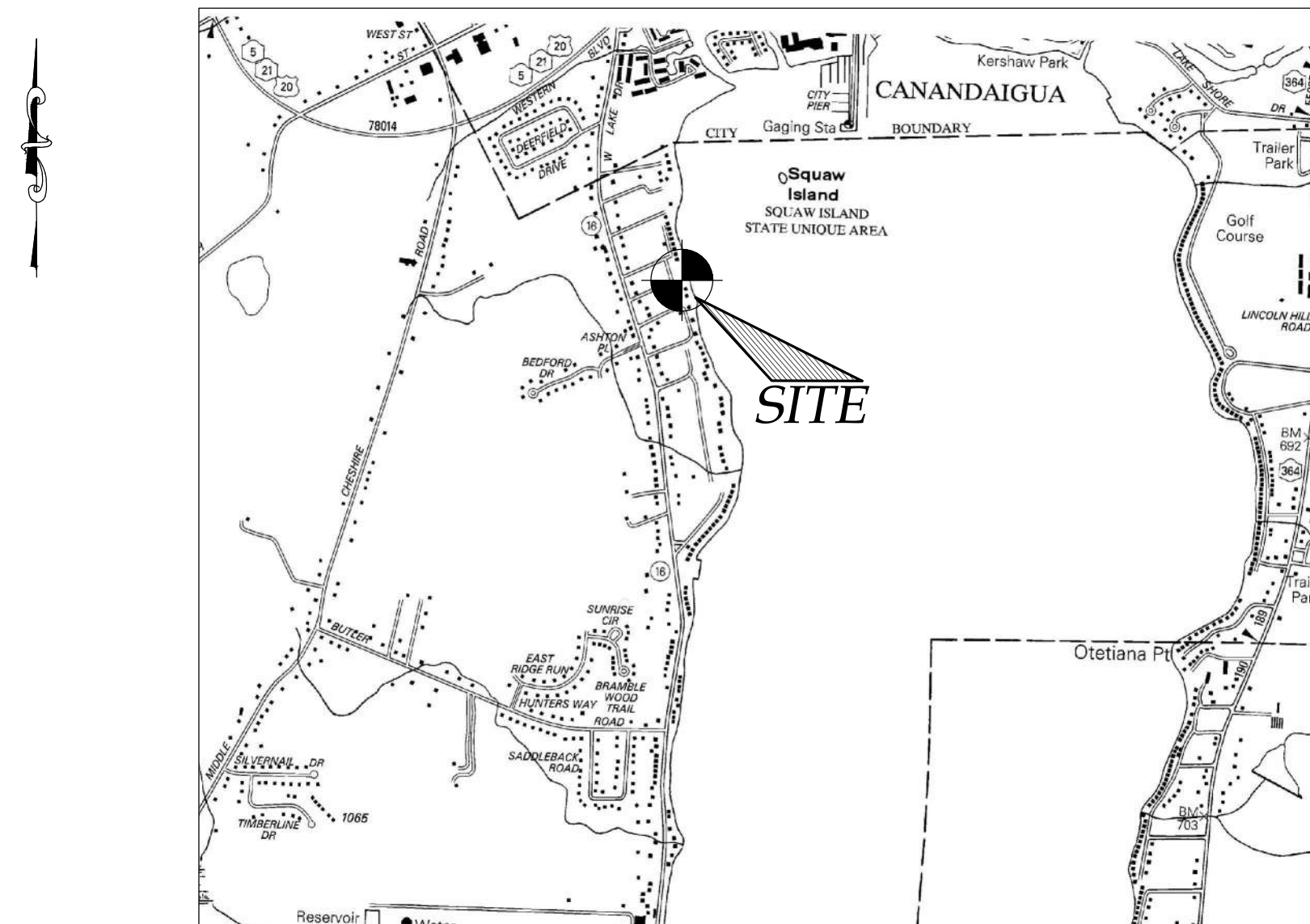


**MarksEngineering**

*MARKS ENGINEERING, P.C.*  
*42 BEEMAN ST.*  
*CANANDAIGUA, NY 14424*  
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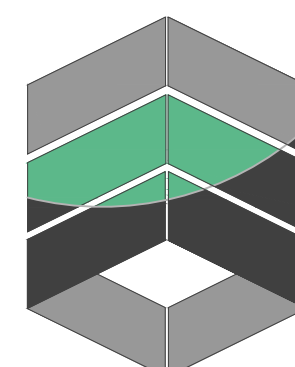
**AERIAL MAP – FOR REFERENCE ONLY**



## LOCATION MAP



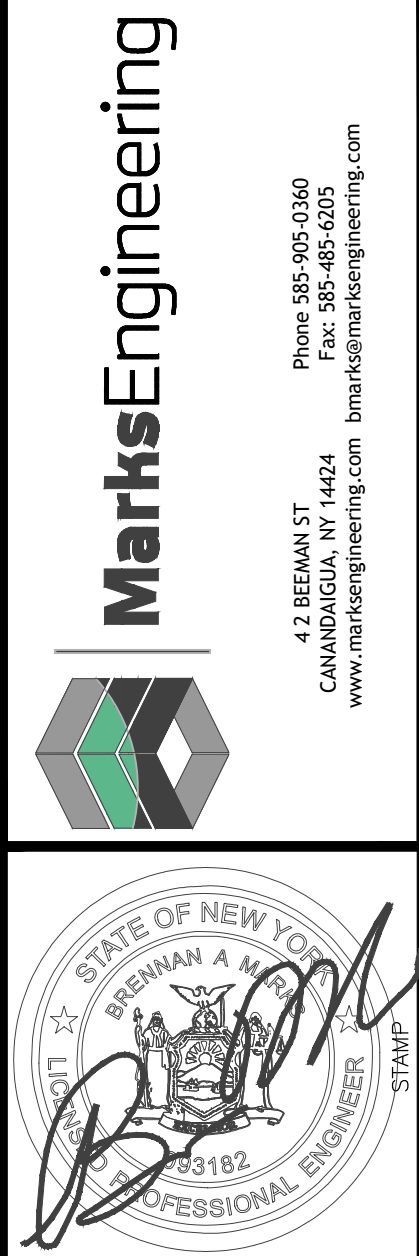
*NOT FOR CONSTRUCTION*



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*LAWRENCE A. WERGES &  
JENNIFER FOX-WERGES*  
NEW RESIDENTIAL SITE PLAN  
SHOWING LAND IN:  
4963 WATERS EDGE DRIVE  
TOWN OF CANANDAIGUA  
COUNTY OF ONTARIO  
STATE OF NEW YORK

DRAWING TITLE: <b>EXISTING/DEMO PLAN</b>	
DRAWN BY:	MCF
DESIGNED BY:	BAM
CHECKED BY:	BAM
SCALE:	AS NOTED
JOB NO.:	20-057
DATE:	04/08/2020
TAX MAP#:	98.09-1-20.1

# EX100

1. FILED MAPS: 451, 5432, 25560, 25713
2. DEED: L.1442 P.141
3. FEMA - Flood Insurance Study - Town of Canandaigua - dated March 3, 1997.
4. VERTICAL DATUM: NGVD 1929
5. HORIZONTAL DATUM: NAD83 NEW YORK CENTRAL
6. PRIVATE RIGHT-OF-WAY 20' PER FILED MAP 451

I certify that this plan was prepared March 30, 2020 from notes of an instrument survey completed March 27, 2020 and from materials referenced hereon.

David M. Parrinello NYSPLS 049724

COMMUNITY-PANEL NUMBER: 360598 0015C  
EFFECTIVE DATE: MARCH 3, 1997

1) EXISTING CONDITIONS AND DEMOLITION PLAN  
1"=10'

**LEGEND**

- Iron pin or pipe found
- ⊗ Benchmark
- ⊗ Utility pole
- Hydrant
- Light pole

EXISTING *elec* PROPOSED *E/T*

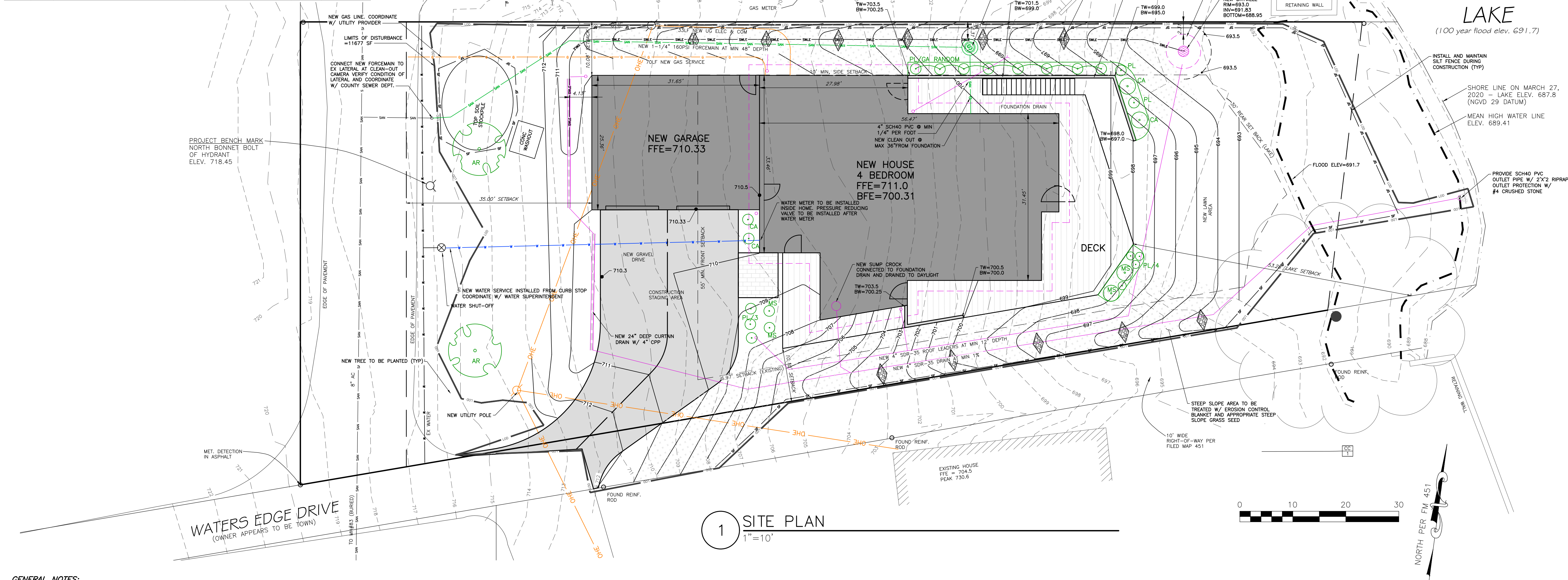
Utility Lines  
R.O.W. line  
Property line  
Easement line  
Centerline  
Drainage  
Fence Line  
Contour Line

99

ABBREVIATIONS:		
EX—EXISTING	UG—UNDERGROUND	MIN—MINIMUM
CPP—CORRUGATED POLYETHYLENE PIPE	CONC—CONCRETE	MAX—MAXIMUM
O.C.—ON CENTER	CO—CLEAN OUT	INV—INVERT
SICPP—SMOOTH INTERIOR CORRUGATED	TPP—TYPICAL	CB—CATCH BASIN
POLYETHYLENE PIPE	R—RADIUS	MH—MANHOLE
	PERF—PERFORATED	DI—DRAINAGE INLET



PLANT MATERIAL LIST					
KEY	QUAN.	LATIN BOTANICAL NAME	COMMON NAME	ROOT	NOTES
AR	2	ACER RUBRUM	AMERICAN RED MAPLE	B&B	2.5" CAL.
CA	4	CLETHRA ALNIFOLIA	SUMMERSWEET	2GAL	
MS	4	MISCANTHUS SINENSIS	MAIDEN GRASS	2GAL	
PL	13	PLANTAIN LILIES	RAINFOREST SUNRISE HOSTA	1GAL	
GA	4	GLEICHENIA	SUN FERN	1GAL	



GENERAL NOTES:

1. THE CONTRACTOR SHALL MAINTAIN ALL UTILITIES AND PROPERTY MARKERS. IT IS THE NYS LAW TO CALL NYS DIG SAFE FOR UFPO (811) PRIOR TO ANY EXCAVATION.
2. THE ROADWAY SHALL BE KEPT FREE OF DEBRIS DURING CONSTRUCTION.
3. THE CONTRACTOR IS RESPONSIBLE FOR SAFETY CONTROL DEVICES. SUCH DEVICES (BARRICADES, FENCING, ETC.) SHALL BE IMPLEMENTED TO MINIMIZE RISK OF INJURY TO PEDESTRIANS AND WORKERS. CONSTRUCTION ACTIVITY SHALL BE CONDUCTED WITHIN COMPLIANCE WITH OSHA GUIDELINES.
4. PLANS ARE GRAPHIC REPRESENTATIONS OF WORK TO BE PERFORMED. THESE PLANS ARE TO INTENDED TO CONVEY ENGINEERING INFORMATION ONLY.
5. CONTRACTOR TO VERIFY ALL PROPERTY LINES, LOCATIONS, GRADES AND INVERTS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO THE START OF WORK.
6. ALL SPECIFIED MATERIALS ARE TO BE INSTALLED AS PER MANUFACTURERS RECOMMENDATIONS OR INDUSTRY STANDARD.
7. ENGINEER DOES NOT HOLD ANY LIABILITY FOR SYSTEM FAILURE, ANY SYSTEM MODIFICATIONS OR DEVIATIONS FROM THE APPROVED PLANS, NYS BUILDING CODES AND/OR LOCAL REGULATIONS REQUIRED BY SITE CONSTRAINTS, UNFORESEEN CONDITIONS OR GOVERNING AUTHORITIES WILL BE DONE AT THE RISK OF THE CLIENT.
8. ALL CONSTRUCTION SHALL COMPLY WITH CURRENT NYS AND LOCAL BUILDING CODES AS WELL AS NATIONAL ELECTRIC CODE.
9. ELEVATIONS ARE BASED ON NGVD 29 DATUM.

SITE NOTES:

1. ALL EXTERIOR LIGHTING SHALL BE DARK SKY COMPLIANT W/ CUT-OFF TO PROHIBIT SHEDDING OF LIGHT ON TO OTHER PROPERTIES.
2. THE CONSTRUCTION SITE IS NOT WITHIN 100' OF A WETLAND AS DELINEATED BY NYS DEC. THERE ARE NOT NYS DEC DELINEATED OR APPARENT WETLANDS ON THE PROPERTY AS SHOWN.
3. THE CONSTRUCTION SITE IS WITHIN A 100 YEAR FLOODPLAIN AS DELINEATED BY FEMA.
4. WATER & SEWER: TOWN OF CANANDAIGUA WATER & CANANDAIGUA LAKE COUNTY SEWER DISTRICT
5. NYS SPDES PERMIT IS NOT REQUIRED FOR THESE CONSTRUCTION ACTIVITIES, DISTURBANCE SHALL BE LESS THAN ONE ACRE. IF THE CONTRACTOR OR OWNER AT ANY TIME PLAN DISBURG GREATER THAN AN ACRE THE ENGINEER SHALL BE NOTIFIED.

UTILITY NOTES:

- 1) CONTRACTOR SHALL COORDINATE ALL WORK W/ UTILITY PROVIDERS
- 2) NEW UNDERGROUND ELECTRIC AND COMMUNICATION SERVICE DEPTHS UNDER DRIVEWAY SHALL BE COORDINATED WITH UTILITY PROVIDER.
- 3) WATER LINE SHALL BE BURIED AT MIN 5 FEET W/ TRACER WIRE
- 4) ELEC SERVICE AND COMMUNICATION SHALL MEET CURRENT NATIONAL ELECTRIC CODE.
- 5) GAS SERVICE SHALL BE INSTALLED PER CURRENT INTERNATIONAL FUEL GAS CODE.

CONSTRUCTION SEQUENCE:

1. INSTALL TEMPORARY EROSION CONTROL MEASURES INCLUDING BUT NOT LIMITED TO: SILT FENCE, STABILIZED ENTRANCES, ETC.
2. THE CONTRACTOR SHALL SELECTIVELY REMOVE VEGETATION AND ROOTS AS REQUIRED.
3. PLACE SILT FENCE FOR STOCKPILE AREA
4. STRIP TOPSOIL.
5. CONSTRUCT BUILDING AND INSTALL UTILITIES
6. MAINTAIN EROSION CONTROL PRACTICES AS NECESSARY. IF ADDITIONAL MEASURE ARE REQUIRED THESE SHALL BE PROVIDED AT THE EXPENSE OF THE OWNER OR CONTRACTOR.
7. IN THE EVENT THERE IS A SEDIMENT DISCHARGE THE CONTRACTOR OR OWNER SHALL BE RESPONSIBLE FOR RESTORATION.
8. FINAL GRADE SEED AND MULCH DISTURBED AREAS AS SOON AS POSSIBLE.
9. INSTALL CURTAIN DRAINS AND DRYWELL AFTER LAWN AREAS ARE ESTABLISHED.
10. REMOVE TEMPORARY EROSION CONTROLS AFTER AREAS ARE STABILIZED WITH VEGETATION, STONE OR ASPHALT.

PHOSPHORUS NOTES:

1. NO PHOSPHOROUS SHALL BE USED AT PLANTING TIME UNLESS SOILS TESTING HAS BEEN COMPLETED AND TESTED BY A HORTICULTURAL TESTING LAB AND THE SOIL TESTS SPECIFICALLY INDICATE A PHOSPHOROUS DEFICIENCY THAT IS HARMFUL, OR WILL PREVENT NEW LAWNS AND PLANTINGS FROM ESTABLISHING PROPERLY.
2. IF SOIL TESTS INDICATE A PHOSPHOROUS DEFICIENCY THAT WILL IMPACT PLANT AND LAWN ESTABLISHMENT, PHOSPHOROUS SHALL BE APPLIED AT THE MINIMUM RECOMMENDED LEVEL PRESCRIBED IN THE SOIL TEST FOLLOWING ALL NYS DEC.

GRADING NOTES:

1. CUT AND FILL SLOPES SHALL NOT EXCEED 3 ON 1.
2. CONSTRUCTION SHALL CONFORM TO THE TOWN OF CANANDAIGUA AND NYS CODES AND STANDARDS
3. SITE SHALL BE GRADED SUCH THAT THERE IS POSITIVE DRAINAGE AT A MINIMUM OF 2% AWAY FROM ANY BUILDINGS, STRUCTURES, DRIVEWAYS, AND SYSTEMS
4. TOPSOIL SHALL BE STRIPED OF AREAS PLANNED FOR CONSTRUCTION AND REAPPLIED AFTER GRADING IS FINISHED. ANY UNUSED TOPSOIL SHALL BE HAULED OFF SITE.

EROSION AND SEDIMENT CONTROL NOTES:

1. THE CONTRACTOR IS RESPONSIBLE FOR THE CONTROL OF EROSION AND SEDIMENTATION DURING CONSTRUCTION. SILT FENCE SHALL BE INSTALLED AND MAINTAINED AS NEEDED.
2. SOIL DISTURBANCES SHALL BE STABILIZED IMMEDIATELY. DISTURBED SOIL THAT WILL REMAIN LONGER THAN 14 DAYS SHALL BE TEMPORARILY STABILIZED WITHIN 7 DAYS. SOIL SHALL BE STABILIZED WITH NORTHERN GRASS SEED MIXTURE OR APPROPRIATE SEED MIXTURE FOR CONDITIONS. GRASS SEED SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS. MULCH STRAW APPLIED AT A RATE OF 2 BALES / 1000 SQFT OR SEED MIXTURE TO PROTECT SITE UNTIL SEED GERMINATES. HYDRO-SEED MAY BE INSTALLED AS AN ALTERNATE.
3. CONTRACTOR SHALL INSPECT THE SITE DAILY FOR SIGNS OF EROSION. IF ANY EROSION OR SEDIMENTATION OCCUR CONTRACTOR SHALL IMMEDIATELY PROVIDE PROPER CONTROLS TO STABILIZE THE SITE. ENGINEER WILL RECOMMEND CONTROLS IF REQUIRED.
4. SLOPE GREATER THAN 4 ON 1 SHALL BE STABILIZED WITH JUTE FABRIC WITH STRAW OR EROSION AND SEDIMENT CONTROL FABRIC INSTALLED AS PER MANUFACTURERS SPECIFICATIONS AS REQUIRED. PROVIDE STEEP SLOPE GRASS SEED MIXTURE WITH 30% OR MORE PERENNIAL RYEGRASS FOR THESE AREAS
5. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN STALLED IN ACCORDANCE WITH 2016 NYS STANDARDS AND SPECIFICATIONS FOR EROSION AND SEDIMENTATION CONTROLS.
6. INSTALL AND MAINTAIN TEMPORARY DIVERSION SWALES AS NEEDED TO CONTROL RUNOFF DURING CONSTRUCTION.
7. THE SITE SHALL BE COMPLETELY STABILIZED FOLLOWING CONSTRUCTION ACTIVITIES AND ALL TEMPORARY EROSION CONTROL DEVICES SHALL BE REMOVED AND DISPOSED OF PROPERLY.
8. CONSTRUCTION STAGING AND PARKING AREAS SHALL BE LIMITED TO PAVED OR STONE AREAS OUTSIDE OF THE HIGHWAY RIGHT-OF-WAY.
9. ANY UNUSED SPOIL SHALL BE HAULED OFFSITE IMMEDIATELY.

VARIANCES REQUIRED:

1. LOT COVERAGE OF 44.5% WHEN 30% IS THE MAXIMUM (14.5% VARIANCE)
2. BUILDING COVERAGE OF 25.1% WHEN 20% IS THE MAXIMUM (5.1% VARIANCE)
3. 35 FT. FRONT SETBACK FOR THE DWELLING WHEN 55 FT IS THE MINIMUM REQUIRED (20 FT VARIANCE) WITHIN THE RLD ZONING DISTRICT.

VARIANCES APPROVED 05/19/20 - CPN-20-024

PLANNING BOARD CHAIRMAN	DATE
TOWN ENGINEER	DATE
HIGHWAY / WATER SUPERINTENDENT	DATE

BULK TABLE		
	PROPOSED	REQUIRED
ZONING/USE – PRINCIPAL	SINGLE RESIDENTIAL	RESIDENTIAL LAKE DISTRICT (RLD) BETWEEN 10,000–20,000 SF
ZONING/USE – ACCESSORY	ATTACHED GARAGE	NA
PRINCIPAL BUILDING SQUARE FOOTAGE	2975 SF (GROSS)	NA
MINIMUM LOT WIDTH	191'	125'
LOT SIZE	14,723 SF	NA
FRONT SETBACK	35' – VARIANCE REQUIRED	55'
RIGHT SIDE SETBACK	10.10'	10'
LEFT SIDE SETBACK	10.08'	10'
REAR SETBACK (LAKE SIDE)	53.28'	30'
BUILDING HEIGHT	25'	25'
BUILDING LOT COVERAGE	25.10%	20%
LOT COVERAGE	44.5%	30%

LEGEND

ABBREVIATIONS:

- |                                  |                 |                   |
|----------------------------------|-----------------|-------------------|
| EX-EXISTING                      | UG-UNDERGROUND  | MIN-MINIMUM       |
| CPP-CORRUGATED POLYETHYLENE PIPE | CONC-CONCRETE   | MAX-MAXIMUM       |
| O.C.-ON CENTER                   | CO -CLEAN OUT   | INV-INVERT        |
| SCPP-SMOOTH INTERIOR CORRUGATED  | TYP-TYPICAL     | CB-CATCH BASIN    |
| POLYETHYLENE PIPE                | R-RADIUS        | MH-MANHOLE        |
|                                  | PERF-PERFORATED | DI-DRAINAGE INLET |

# NOT FOR CONSTRUCTION

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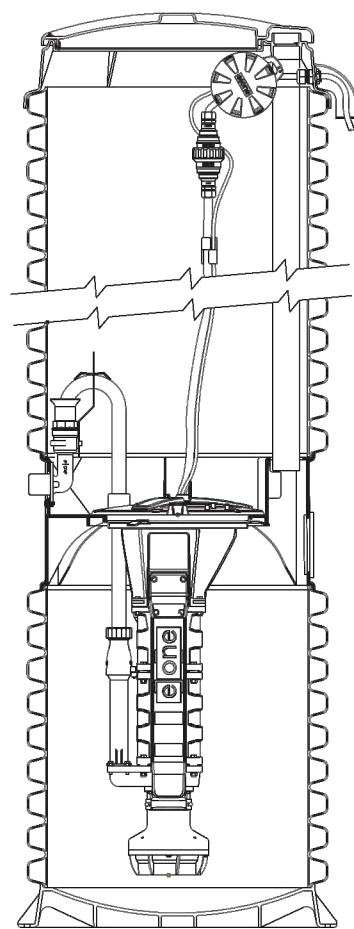
COUNTY OF ONTARIO  
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DESIGNED BY:	BAM
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# C100



## DH071/DR071



Patent Numbers: 5,752,315  
5,562,254 5,439,180

NA0050P01 Rev C

### General Features

The model DH071 or DR071 grinder pump station is a complete unit that includes: the grinder pump, check valve, HDPE (high density polyethylene) tank, controls, and alarm panel. A single DH071 or DR071 is a popular choice for one, average single-family home and can also be used for up to two average single-family homes where codes allow and with consent of the factory.

- Rated for flows of 700 gpd (2650 lpd)
- 70 gallons (265 liters) of capacity
- Indoor or outdoor installation
- Standard outdoor heights range from 61 inches to 160 inches

The DH071 is the "hardwired," or "wired," model where a cable connects the motor controls to the level controls through watertight penetrations.

The DR071 is the "radio frequency identification" (RFID), or "wireless," model that uses wireless technology to communicate between the level controls and the motor controls.

### Operational Information

#### Motor

1 hp, 1,725 rpm, high torque, capacitor start, thermally protected, 120/240V, 60 Hz, 1 phase

#### Inlet Connections

4-inch inlet grommet standard for DWV pipe. Other inlet configurations available from the factory.

#### Discharge Connections

Pump discharge terminates in 1.25-inch NPT female thread. Can easily be adapted to 1.25-inch PVC pipe or any other material required by local codes.

#### Discharge

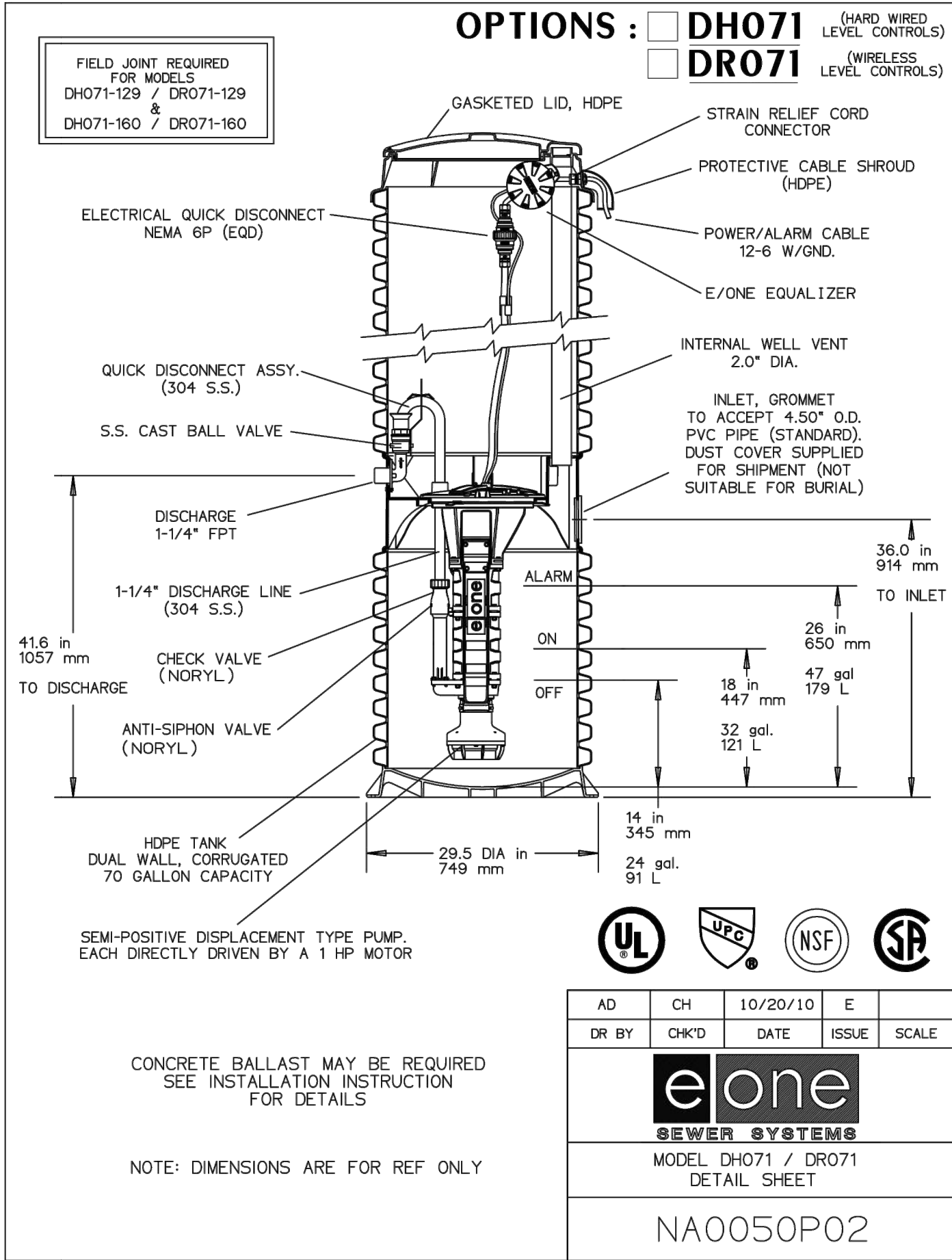
15 gpm at 0 psig (0.95 lps at 0 m)  
11 gpm at 40 psig (0.69 lps at 28 m)  
7.8 gpm at 80 psig (0.49 lps at 56 m)

### Accessories

E/One requires that the Uni-Lateral, E/One's own stainless steel check valve, be installed between the grinder pump station and the street main for added protection against backflow.

Alarm panels are available with a variety of options, from basic monitoring to advanced notice of service requirements.

The Remote Sentry is ideal for installations where the alarm panel may be hidden from view.



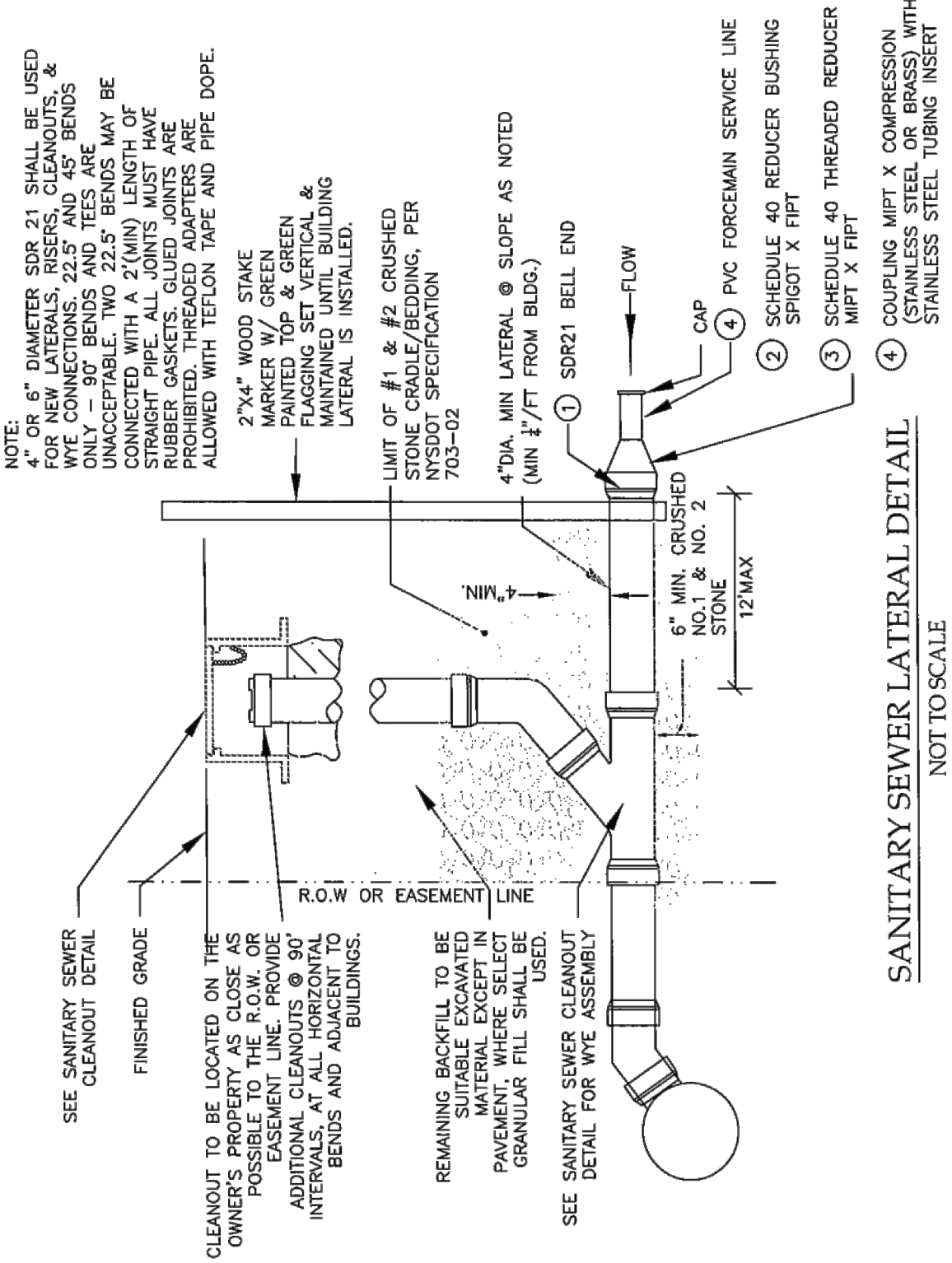
### SANITARY LATERAL NOTES

#### ALL PROJECTS

- All sanitary sewer construction and/or improvements shall be in accordance with the most recent standards and specifications of the Canandaigua Lake County Sewer District, N.Y.S. Department of Environmental Conservation, N.Y.S. Department of Health, the latest edition of *Recommended Standards For Wastewater Facilities* and any other agencies having jurisdiction.
- No sanitary sewer-related work may be performed without first obtaining a written permit from the Canandaigua Lake County Sewer District.
- District personnel shall be notified a minimum of 48 hours prior to beginning any sanitary sewer-related work.
- The contractor shall locate, mark and preserve any right of way monuments or survey control in the area of construction.
- Utility locations shown are approximate only. The contractor shall determine exact location of utilities, excavating to expose the utility, if necessary in the area of construction, before commencing construction. Contact U.F.P.O. at 1-800-962-7962 at least 72 hours prior to beginning work.
- Laterals shall be min. 4" dia. SDR-21 with elastomeric joints; for commercial establishments, laterals are to be 6" dia. SDR-21. Minimum depth of burial is four feet. Cleanouts shall be installed within 30 inches of the outside face of buildings, at all changes in horizontal alignment, at the right of way or easement line, and at spacing not to exceed 90 feet.
- Sewer mains and laterals shall be located a minimum horizontal distance of ten feet from any existing or proposed watermain (as measured from the outside of the sewer/lateral to the outside of the watermain). In cases where the main or lateral crosses a watermain, the minimum vertical separation shall be eighteen inches (measured out-to-out). The crossing shall be arranged so that the sewer joints will be equidistant and as far as possible from the watermain joints.
- The contractor shall provide the District with shop drawings and material specifications that have been pre-approved by the design engineer before a permit will be issued.
- The contractor is responsible for compliance with OSHA requirements in all aspects of construction.
- The contractor shall be responsible for maintaining sanitary flows at all times by methods acceptable to the District.
- Floor drains in basements or garages are to be connected to the sanitary sewer. Floor drains do not include foundation or footer drains installed to intercept uncontaminated groundwater. All discharges to the sanitary sewer must comply with effluent limits of the Ontario County Sewer Use Law. Foundation and footer drains shall be constructed in a manner that prohibits groundwater from draining into the sanitary sewer pipe cradle.

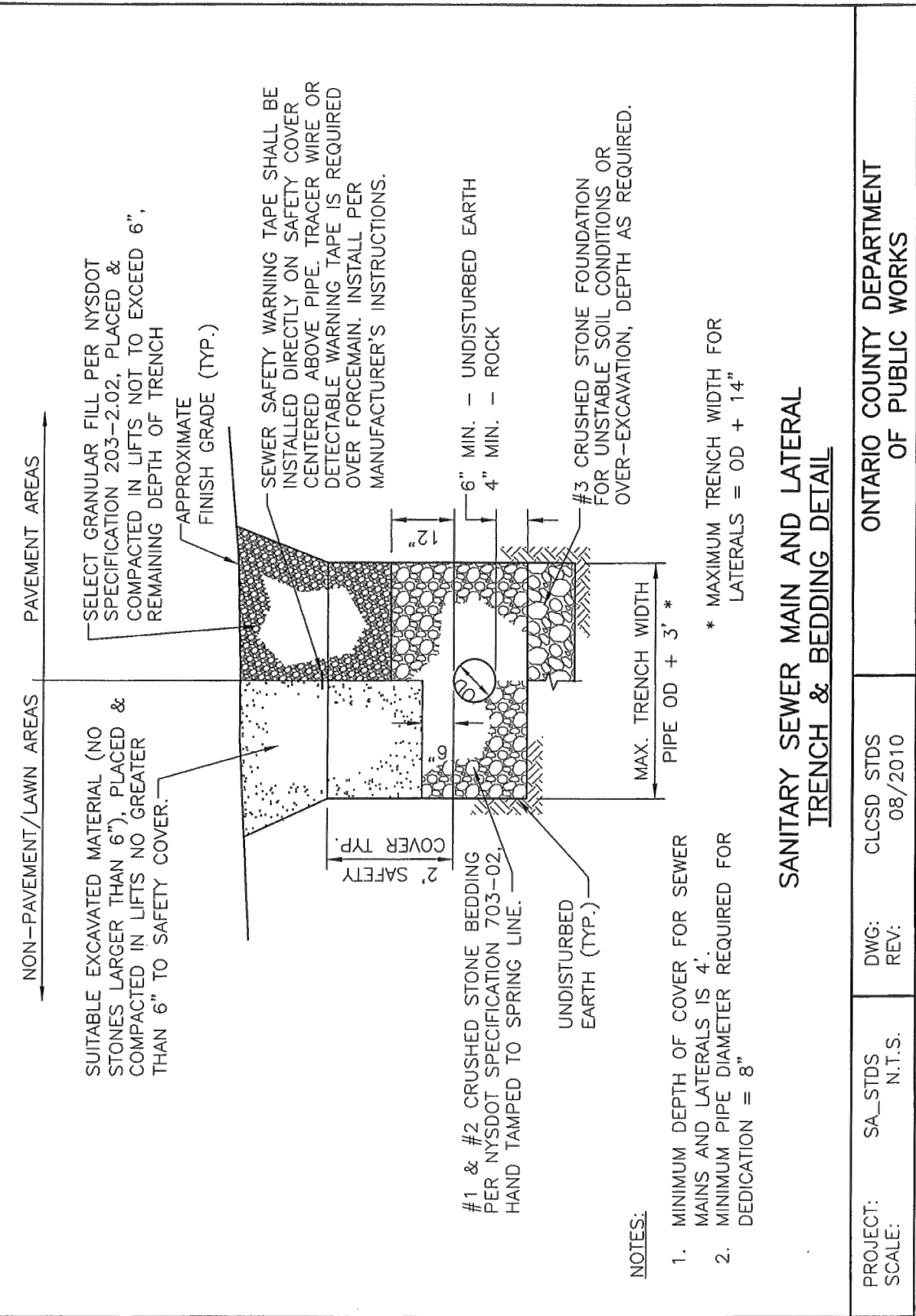
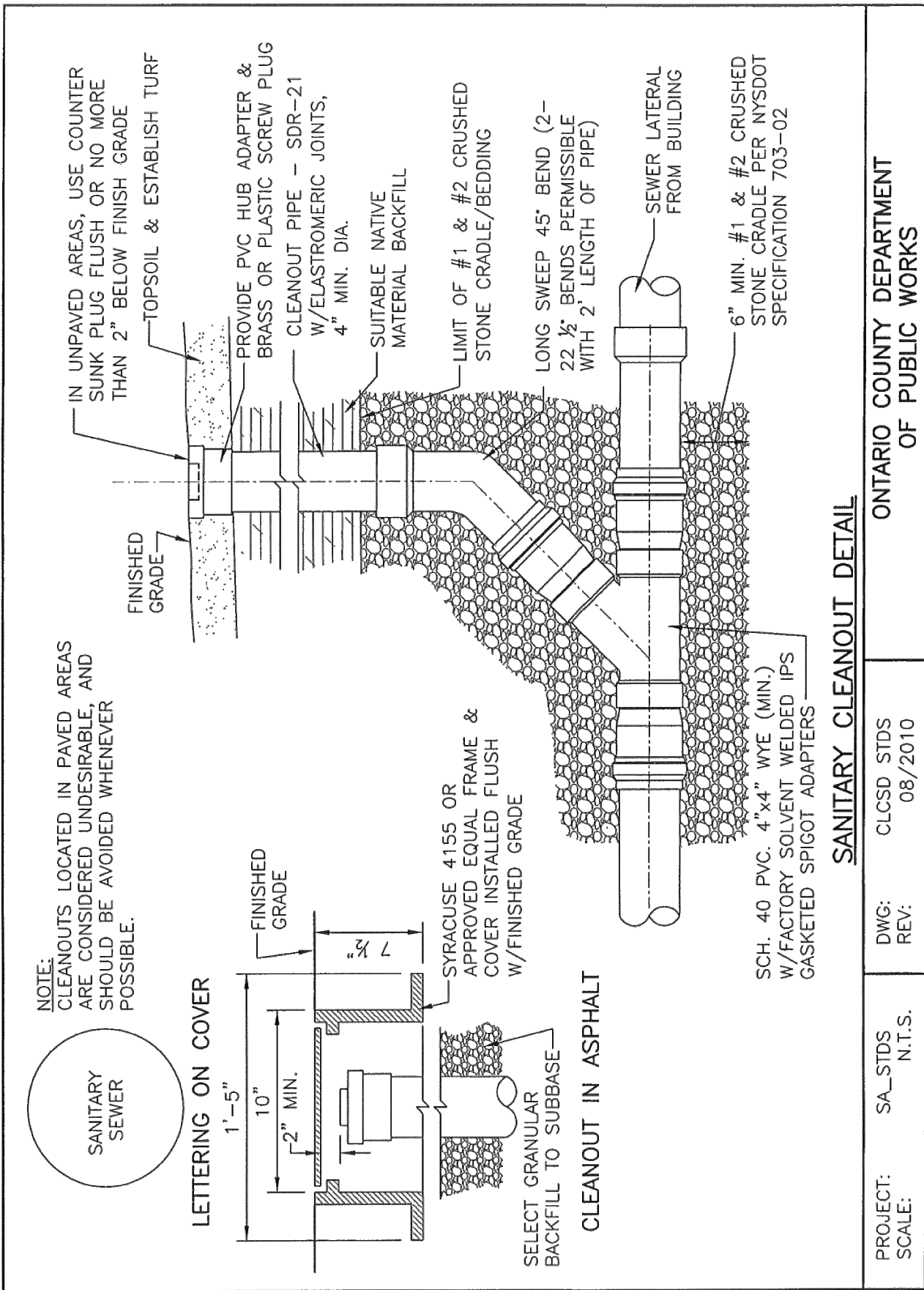
### SANITARY CLEANOUT DETAIL

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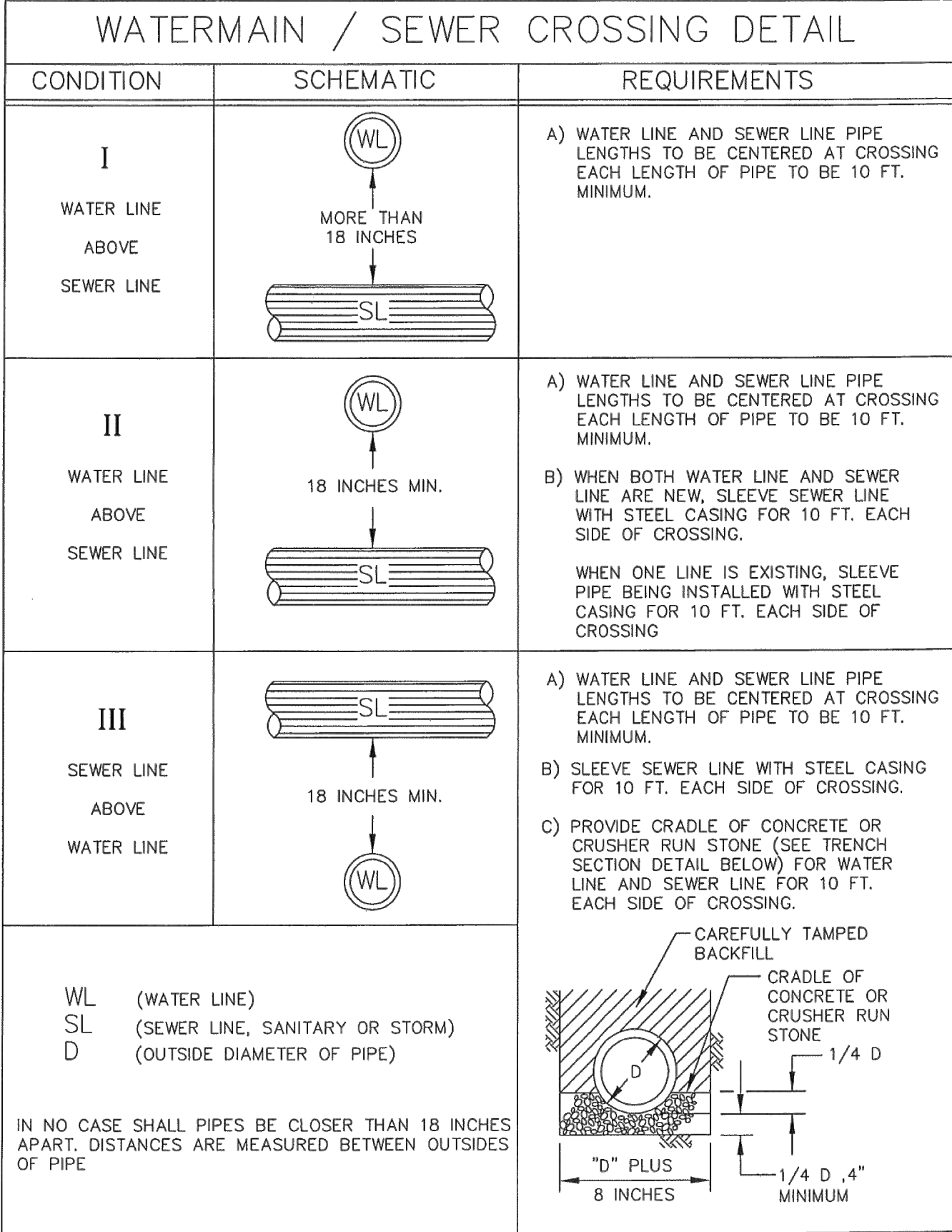
### SANITARY SEWER LATERAL DETAIL

NOT TO SCALE



### SANITARY SEWER MAIN AND LATERAL TRENCH & BEDDING DETAIL

ONTARIO COUNTY DEPARTMENT OF PUBLIC WORKS



NOT FOR CONSTRUCTION

**MarksEngineering**

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STAMP

STATE OF NEW YORK  
BREWMAN A WERGES  
JENNIFER FOX-WERGES  
PROFESSIONAL ENGINEER  
199182

REVISIONS

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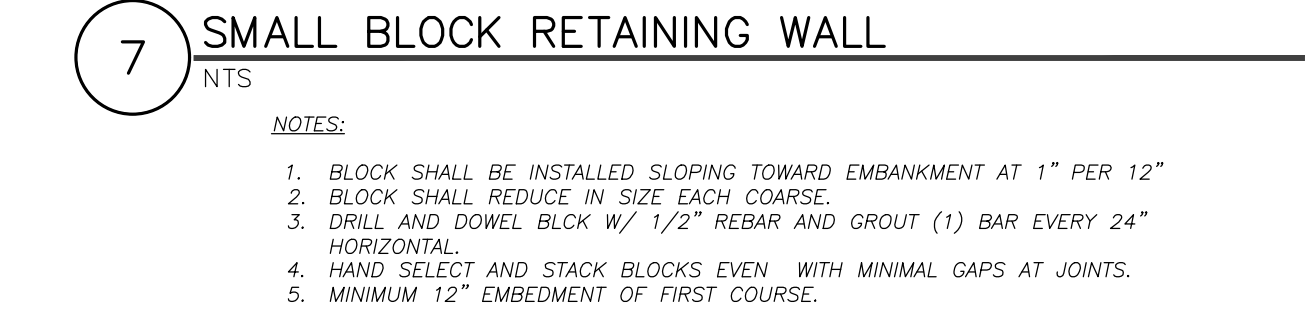
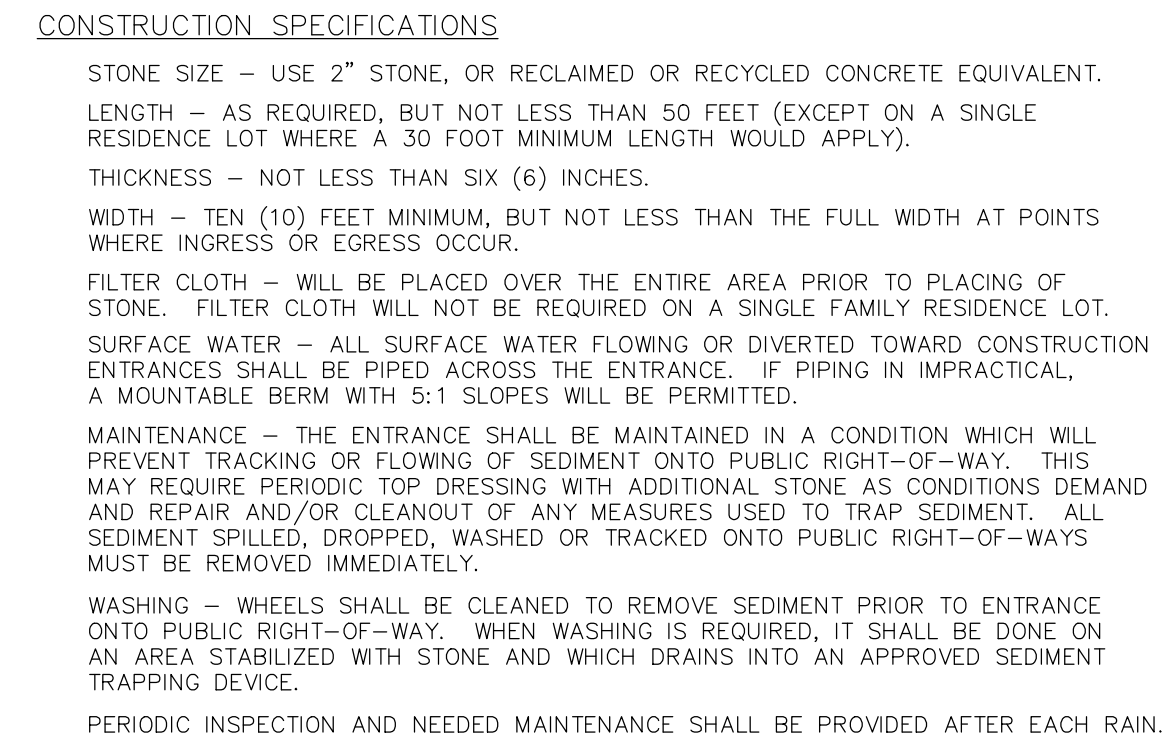
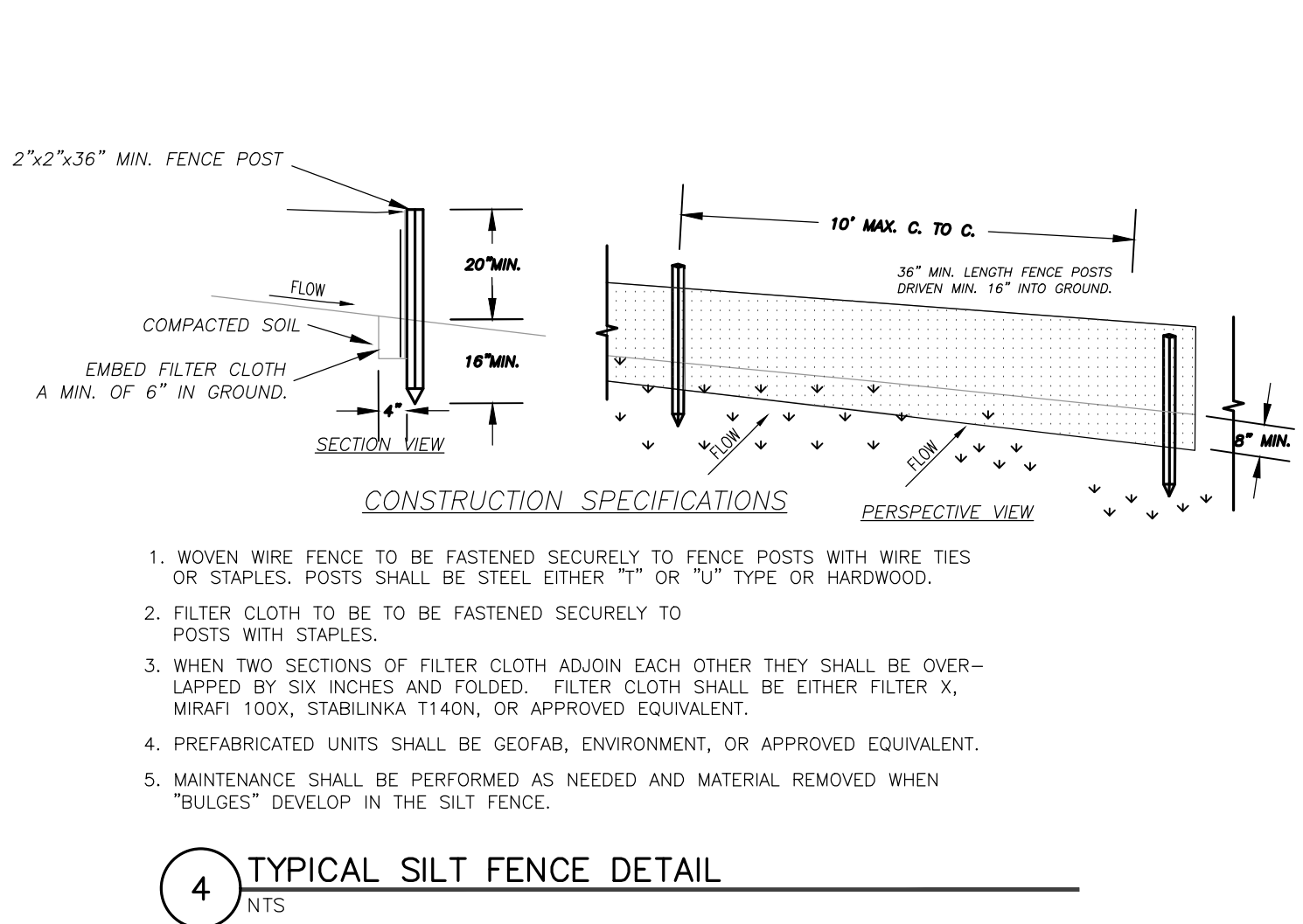
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C500

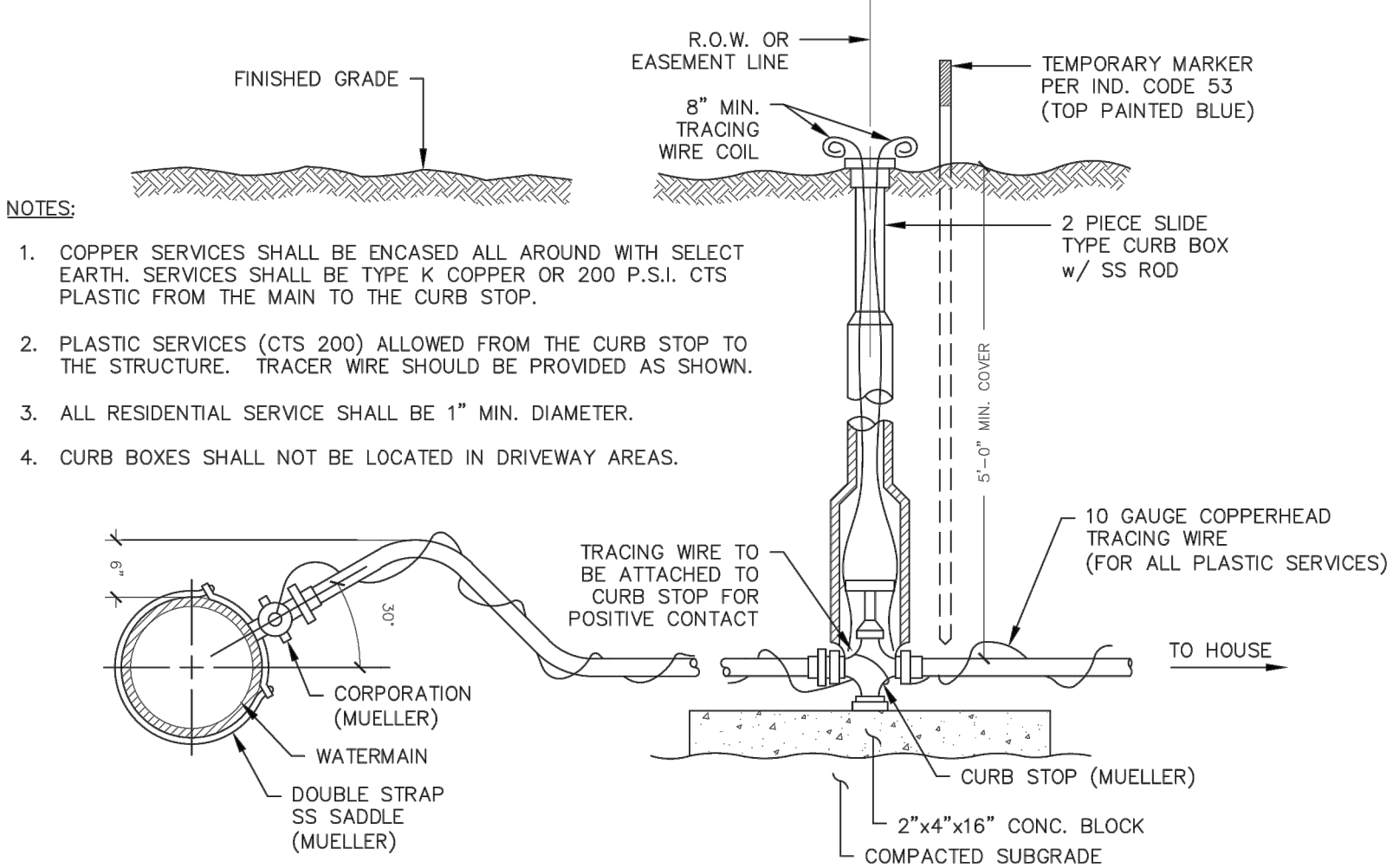
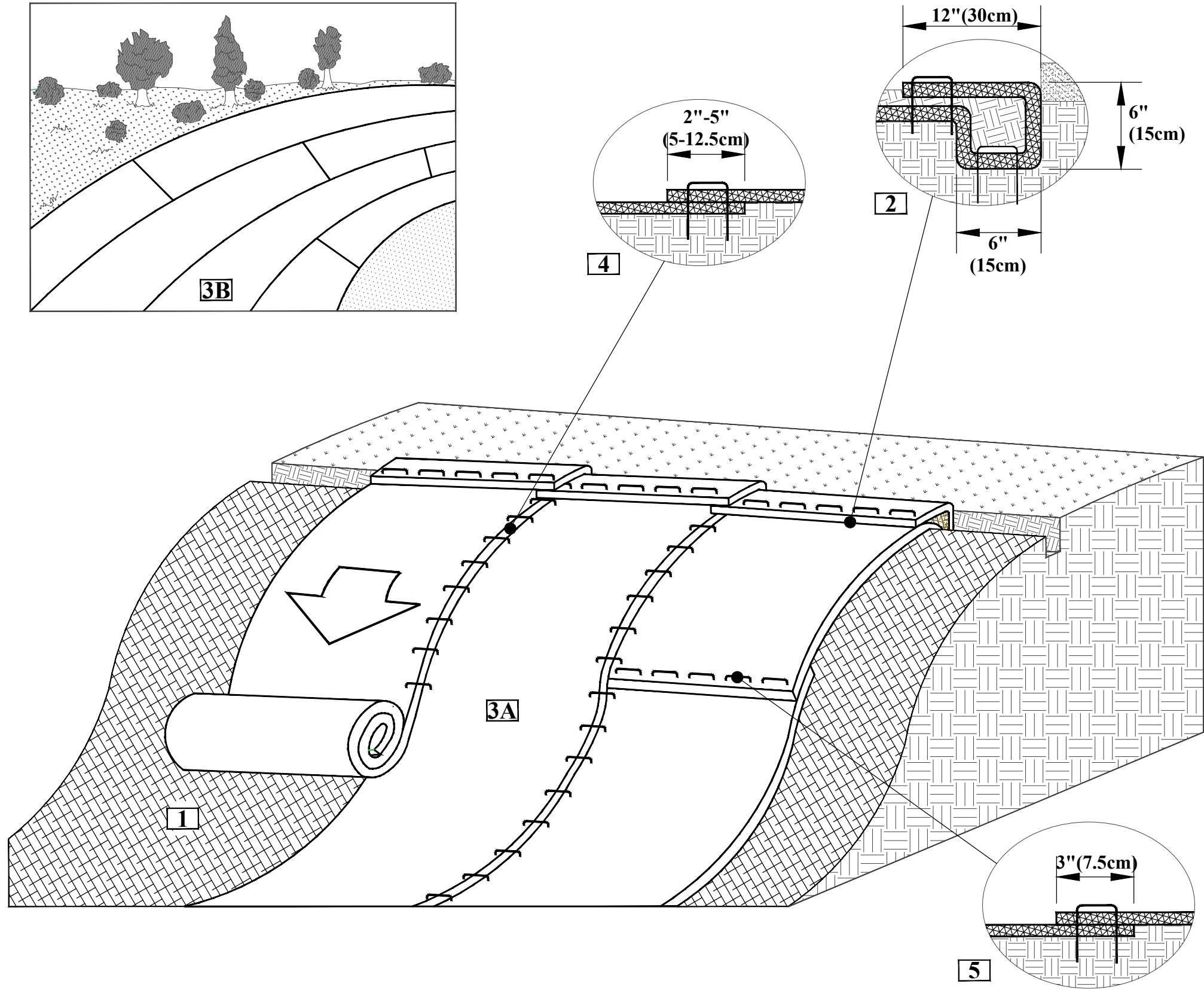




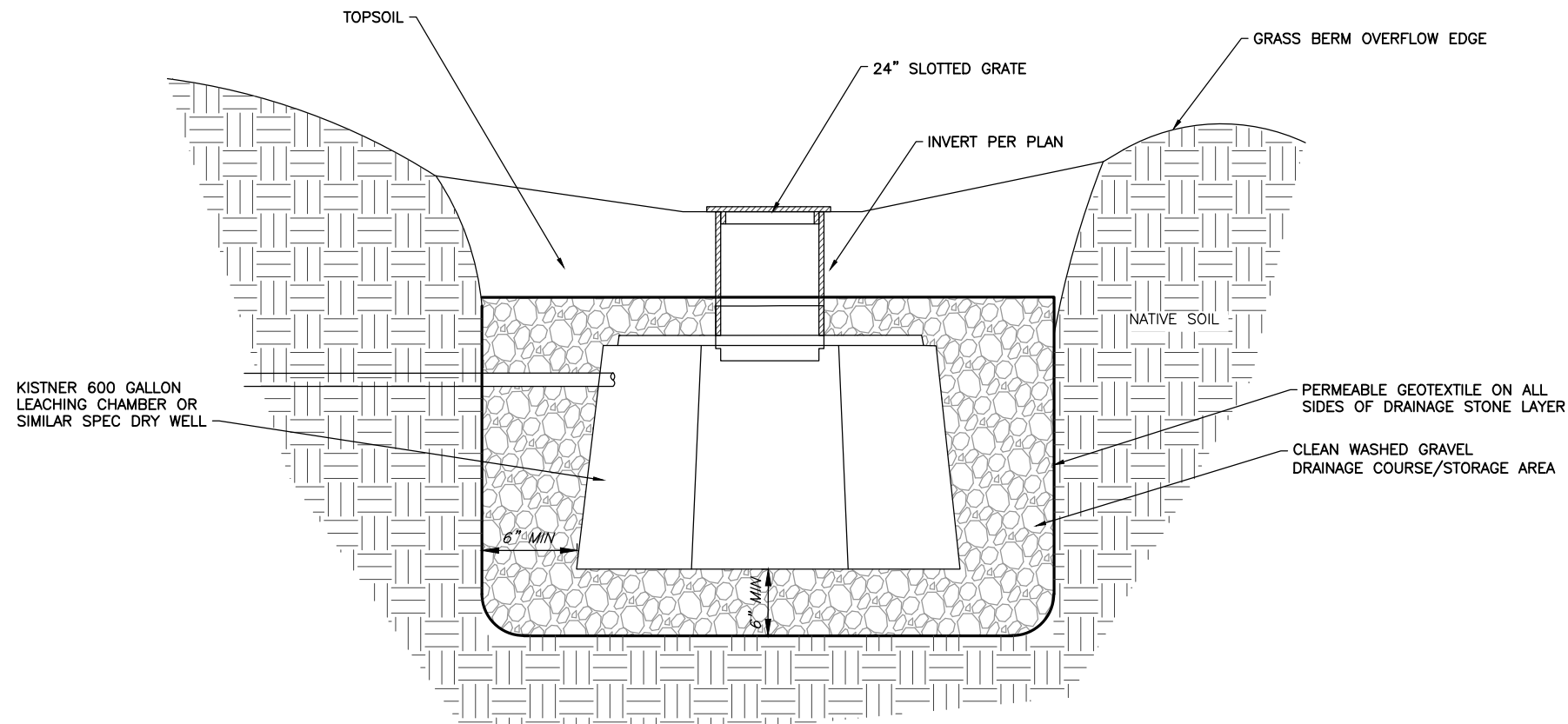
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TYPICAL WATER SERVICE



1 OVERFLOW DRYWELL DETAIL  
NTS

1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECPs), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECPs IN A 6\"(15CM) DEEP X 6\"(15CM) WIDE TRENCH WITH APPROXIMATELY 12\" (30CM) OF RECPs EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECPs WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12\" (30CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO THE COMPACTED SOIL AND FOLD THE REMAINING 12\"(30CM) PORTION OF RECPs BACK OVER THE SEED AND COMPACTED SOIL. SECURE RECPs OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12\"(30CM) APART ACROSS THE WIDTH OF THE RECPs.
3. ROLL THE RECPs (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE. RECPs WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECPs MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE.
4. THE EDGES OF PARALLEL RECPs MUST BE STAPLED WITH APPROXIMATELY 2\" – 5\" (5–12.5CM) OVERLAP DEPENDING ON THE RECPs TYPE.
5. CONSECUTIVE RECPs SPLICED DOWN THE SLOPE MUST BE END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3\"(7.5CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12\"(30CM) APART ACROSS ENTIRE RECPs WIDTH.

\*NOTE:  
IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6\"(15CM) MAY BE NECESSARY TO PROPERLY SECURE THE RECP'S.

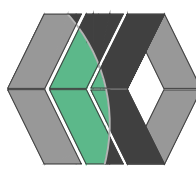


**NORTH  
AMERICAN  
GREEN**

5401 St. Wendel - Cynthiana Rd.  
Poseyville, IN 47633

PH: 800-772-2040  
www.nagreen.com

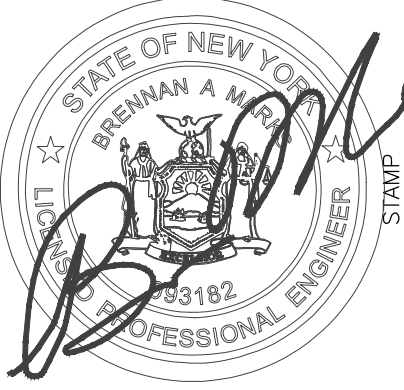
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**LAWRENCE A. WERGES &  
JENNIFER FOX-WERGES**  
NEW RESIDENTIAL SITE PLAN  
SHOWING LAND IN:  
4963 WATERS EDGE DRIVE  
TOWN OF CANANDAIGUA  
COUNTY OF ONTARIO

STATE OF NEW YORK

DRAWING TITLE:  
**DETAIL PLAN**

DRAWN BY: MCF

DESIGNED BY: BAM

CHECKED BY: BAM

SCALE: AS NOTED

JOB NO.: 20-057

DATE: 04/08/2020

TAX MAP#: 98.09-1-20.1

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