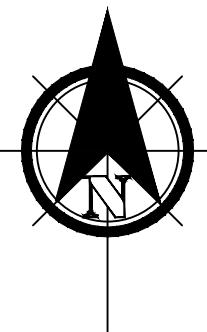


ONE STAGE(PRELIMINARY/FINAL) SITE PLAN SET
FOR
JOY WEGMAN
4417 COUNTY ROAD 16 (WEST LAKE ROAD)
TOWN OF CANANDAIGUA
ONTARIO COUNTY -- STATE OF NEW YORK



AERIAL LOCUS
NOT TO SCALE

SITE DATA

EXISTING ZONING IS RESIDENTIAL LAKE DISTRICT (RLD)
MINIMUM LOT SIZE: 20,000 SQ. FT.
MINIMUM LOT WIDTH: 125 FT
FRONT SETBACK: 60 FT.
REAR SETBACK: 60 FT.
SIDE SETBACK: 12 FT.
MAXIMUM BUILDING HEIGHT = 25 FEET
MAXIMUM BUILDING COVERAGE ON LOT = 15%

GENERAL NOTES

1. PROPERTY LINE INFORMATION SHOWN ON THIS PLAN IS BASED ON AVAILABLE RECORD INFORMATION AND A FIELD INSTRUMENT SURVEY.
2. UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ACTUAL LOCATION SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL PROTECT AND MAINTAIN ALL EXISTING UTILITY SERVICES THROUGHOUT CONSTRUCTION. CONTACT U.F.F.O. AT 1-800-962-7962 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.
3. THIS UPLAND PORTION OF THE SITE DOES NOT FALL WITHIN ANY FEMA SPECIAL FLOOD HAZARD ZONES. THE LAKE FRONTAGE IS LOCATED IN ZONE AE, PER C.P. #3605980025C MAP REVISED MARCH 3, 1997.
4. NO CHANGES ARE TO BE MADE TO THIS DESIGN WITHOUT PRIOR APPROVAL OF THE DESIGN ENGINEER.
5. ALL IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND THE APPROPRIATE WATER/SEWER AGENCIES, UNLESS OTHERWISE NOTED.
6. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
7. PROPOSED LIGHTING TO BE COORDINATED WITH THE LANDSCAPE ARCHITECT AND OWNER. LIGHTING SHALL BE DARK SKY COMPLIANT (PER CHAPTER 220, SECTION 77).
8. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FROM THE ONTARIO COUNTY HIGHWAY DEPARTMENT FOR ALL WORK WITHIN THE RIGHT-OF-WAY.

SHEET INDEX:

| | |
|-------|---|
| C-0 | COVER SHEET |
| EX-1 | EXISTING CONDITIONS PLAN |
| C-1 | SITE PREPARATION & EROSION CONTROL PLAN |
| C-2 | SITE LAYOUT AND UTILITY PLAN |
| C-3 | SITE AND UTILITY DETAILS |
| C-4 | STORMWATER DETAILS |
| C-5 | EROSION CONTROL NOTES & DETAILS |
| L-1.0 | PLANTING PLAN |

ZONING CHART
TOWN OF CANANDAIGUA

ZONING DISTRICT: RESIDENTIAL LAKE DISTRICT (RLD)

| | REQUIRED | PROVIDED |
|--------------------------------------|---------------------------------|-------------------------------|
| MIN LOT AREA (AREA TO ROW) | 20,000 SF | 9.818 ACRES (EXISTING LOT) |
| MIN LOT WIDTH | 125' | 387.63' |
| MIN FRONT YARD SETBACK | 60' | 454.12' |
| MIN SIDE YARD SETBACK | 12' | 46.32' |
| MIN REAR YARD SETBACK | 60' | 60.0'(PORCH) |
| MIN REAR YARD SETBACK (ACCESSORY) | 15' | N/A |
| MAX BUILDING HEIGHT | 25 FT | 25 FT |
| MAX ACCESSORY STRUCTURE HEIGHT | 16 FT | 16 FT |
| MAX BUILDING COVERAGE | 15% | 1.4% |
| MAX LOT COVERAGE | 25% | 5.0% |
| SITE DISTURBANCE | 59,380 SF [AREA 'A' + AREA 'B'] | |

| | | | |
|------------------------------|-----------|------------------------------|-----------|
| EXISTING | | PROPOSED | |
| Lot 1 Coverage Calculations: | Sq.Ft | Lot 1 Coverage Calculations: | Sq.Ft |
| House..... | 2,596.5 | House..... | 6,022 |
| Asphalt Driveway..... | 14,130.0 | Asphalt Driveway..... | 11,178 |
| Gravel Drive..... | 1,922.0 | Gravel Drive..... | 1,922 |
| Garage..... | 1,071.0 | Patio & Stairs..... | 365 |
| Patio & Stairs..... | 3,633.0 | Retaining Wall..... | 530 |
| Retaining Wall..... | 120.0 | Break Wall..... | 237 |
| Break Wall..... | 237.0 | Deck..... | 1280 |
| Stone Wall..... | 460.0 | Shed..... | 57 |
| Deck..... | 1277.0 | | |
| Shed..... | 57.0 | | |
| Porch..... | 736.0 | | |
| | | | |
| Total Coverage..... | 26,239.5 | Total Coverage..... | 21,591 |
| Total Site Area..... | 427,672.0 | Total Site Area..... | 427,672.0 |
| Building Coverage..... | 0.9% | Building Coverage..... | 1.4% |
| Total Lot Coverage..... | 6.1% | Total Lot Coverage..... | 5.0% |

ONE STAGE SITE PLAN APPROVAL

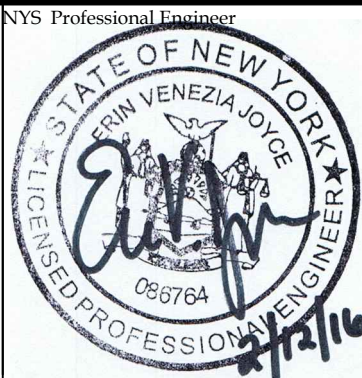
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| PLANNING BOARD CHAIRPERSON | DATE |
| TOWN HIGHWAY & WATER SUPERINTENDENT | DATE |
| TOWN ENGINEER | DATE |

NOTE:
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.

FOR PERMITTING ONLY



5120 Laura Lane Canandaigua New York, 14424



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NYS Land Surveyor
Rocco A. Venezia, P.L.S.
License # 049761

Site Plan Drawings Prepared For:

Joy Wegman
Showing Land at
4417 County Road 16
Town of Canandaigua
County of Ontario
State of New York

www.veneziasurvey.com (585)396-3267 Fax. No. (585) 396-0131 E-mail rocco@veneziasurvey.com

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| File# 15251 |
| Scale: NTS |
| T.m. # 126.16-2-3.31 |
| Date: 2/12/16 |
| Sheet: |

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Contours derived from NAVD88 Datum

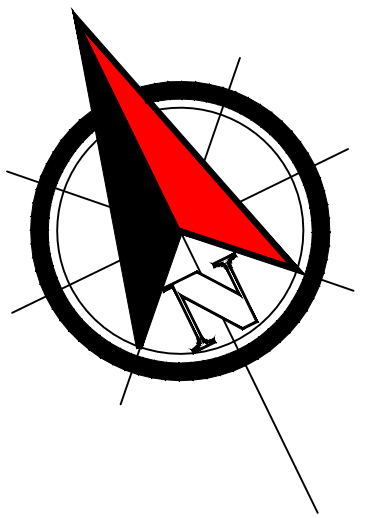
| Lot 1 Coverage Calculations: | | Sq.Ft |
|------------------------------|----------|-------|
| House..... | 2,596.5 | |
| Asphalt Driveway..... | 14,130.0 | |
| Gravel Drive..... | 1,922.0 | |
| Garage..... | 1,071.0 | |
| Patio & Stairs..... | 3,633.0 | |
| Retaining Wall..... | 120.0 | |
| Break Wall..... | 237.0 | |
| Stone Wall..... | 460.0 | |
| Deck..... | 1,277.0 | |
| Shed..... | 57.0 | |
| Porch..... | 736.0 | |

| |
|-------------------------------------|
| Planning Board Chairperson |
| Town Highway & Water Superintendent |
| Town Engineer |

| | |
|-------------------------|-----------|
| Total Coverage..... | 26,239.5 |
| Total Site Area..... | 427,672.0 |
| Building Coverage..... | 0.9% |
| Total Lot Coverage..... | 6.1% |

" Unauthorized alteration or addition to a map bearing a Licensed Professional Engineer's or Professional Land Surveyor's seal in any way is a Violation of Section 7209

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violation of all applicable laws"



Deed Reference:

Daniel R. Wegman to Joy R. Wegman by Deed filed November 2, 1992 in Liber 992 of Deeds at Page 670.

Abstract Reference:

This survey is subject to any facts an updated abstract of title may reveal.



Property Owner/Developer
Joy Wegman
4417 West Lake Road
Canandaigua N.Y. 14424

Planning Board Chairperson

[illegible]

This is to certify that I am a
Licensed Land Surveyor and that this plan
was completed on 02/08/2016
from notes of an instrument survey
performed on 01/28/2016

Rocco A. Venezia
License No. 049761



Final Subdivision Plat

Joy R. Wegman

Showing Land
at
4417 County Road 16
Town of Canandaigua

County of Ontario

State of New York

T.m. # 126.16-2-3.3
File# 15251Ext
Scale 1"= 40'
Sheet EX-1

Zoning District
RLD— Residential Lake
Dimensional Requirements
Required (Minimum)

| | |
|-------------------|-----------|
| Lot Area | 20,000 SF |
| Setbacks | |
| Front | 60' |
| Side | 12' |
| Rear (lake) | 60' |
| Lot Width | 125' |
| Bldg. Coverage | 15% MAX |
| Max. Bldg. Height | 25' |



5120 Laura Lane

— Canandaigua New York. 14424

4 Centerline

EROSION CONTROL CONSTRUCTION SEQUENCE:

1. INSTALL ALL PERIMETER EROSION AND SEDIMENTATION CONTROL DEVICES, STABILIZED CONSTRUCTION ENTRANCE, TREE PROTECTION DEVICES [REFER TO SHEET L3.0 FOR TREE PROTECTION DETAILS], TEMPORARY SEDIMENT BASIN AT THE NORTHERN PORTION OF THE EXISTING TENNIS COURT, AND MOBILIZE AND SET UP TEMPORARY STORAGE AREAS AT THE SITE.
2. REMOVE TREES DOWN TO STUMP WHERE APPLICABLE (STUMP REMOVAL TO HAPPEN DURING SITE WORK AT LOCATION OF STUMP).
3. BEGIN GENERAL CONSTRUCTION ACTIVITIES TO DEMOLISH EXISTING RESIDENCE.
4. RELOCATE EXISTING STORM DRAIN TO BEGIN FOUNDATION EXCAVATION.
5. INSTALL FOUNDATION/BASEMENT, GRADE AND STABILIZE RELOCATED DRIVEWAY AND INSTALL NEW DRIVEWAY DRAINAGE, INLET PROTECTION SHALL BE PROVIDED AT ALL ACTIVE STORM INLET STRUCTURES.
6. CONSTRUCT NEW RETAINING WALLS, BEGIN HOUSE FRAMING.
7. COMPLETE SANITARY AND WATER PLUMBING CONNECTIONS.
8. FINALIZE LANDSCAPE, PERMANENTLY STABILIZE ALL AREAS AROUND THE HOUSE LOCATION.
9. REMOVE EROSION CONTROLS AND CEASE MONITORING ONLY AFTER APPROVAL HAS BEEN GRANTED BY THE TOWN OF CANANDAIGUA AND/OR THEIR PROJECT REPRESENTATIVE.

EROSION CONTROL NOTES - GENERAL

1. INSTALL EROSION CONTROL MEASURES PRIOR TO BEGINNING EXCAVATION WORK.
2. PROVIDE TEMPORARY DIVERSION SWALES TO INTERCEPT SURFACE RUNOFF AND TO DIRECT IT AWAY FROM DISTURBED AREAS.
3. MAINTAIN TEMPORARY EROSION AND SILTATION CONTROL MEASURES DURING CONSTRUCTION PERIOD UNTIL FINAL GRADING, LANDSCAPING AND PERMANENT EROSION CONTROL IS COMPLETED. ESTABLISH VEGETATION ON EXPOSED AREAS AS SOON AS PRACTICABLE BUT NO LATER THAN 7 DAYS AFTER SOIL DISTURBANCE ACTIVITY CEASES.
4. REMOVE TEMPORARY EROSION AND SEDIMENT CONTROL PRACTICES ONLY AFTER RECEIVING AUTHORIZATION FROM THE TOWN OF CANANDAIGUA.
5. DISTURBANCE OF EXISTING VEGETATIVE GROUND COVER SHALL NOT TAKE PLACE MORE THAN (15) DAYS PRIOR TO THE START OF GRADING OR CONSTRUCTION ACTIVITY.
6. DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE THE EFFECT ON THE ADJACENT PROPERTIES. THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES AS NEEDED AND/OR AS DIRECTED BY THE TOWN OF CANANDAIGUA.

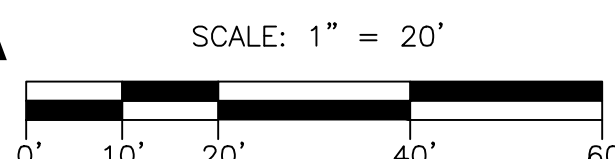


FOR PERMITTING ONLY



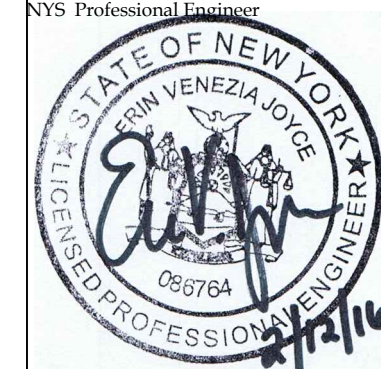
5120 Laura Lane Canandaigua New York, 14424

LEGEND



- W PROP WATER
- S PROP SEWER
- D PROP DRAIN
- E PROP ELEC
- T PROP TEL
- GAS PROP GAS
- 900.3 X SPOT GRADE
- PROPOSED EROSION MAT
- CHECK DAM

- SILT FENCE
- EXIST. CONTOUR
- PROP. CONTOUR
- PROPERTY LINE
- CENTERLINE
- LP LIGHT POLE
- RAIN MANHOLE
- CATCH BASIN
- SEWER MANHOLE
- WATER VALVE
- HYDRANT



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NYS Land Surveyor

Rocco A. Venezia, P.L.S.
License # 049781

Drawing Title: **SITE PREPARATION & EROSION CONTROL PLAN**

Site Plan Prepared For:

Joy Wegman

Showing Land at
4417 County Road 16
Town of Canandaigua

County of Ontario State of New York

www.veneziasurvey.com

(585)396-3267

Fax. No. (585) 396-0131

| | |
|-------------------------------------|------|
| PLANNING BOARD CHAIRPERSON | DATE |
| TOWN HIGHWAY & WATER SUPERINTENDENT | DATE |
| TOWN ENGINEER | DATE |

File# 15251

Scale: 1"=20'

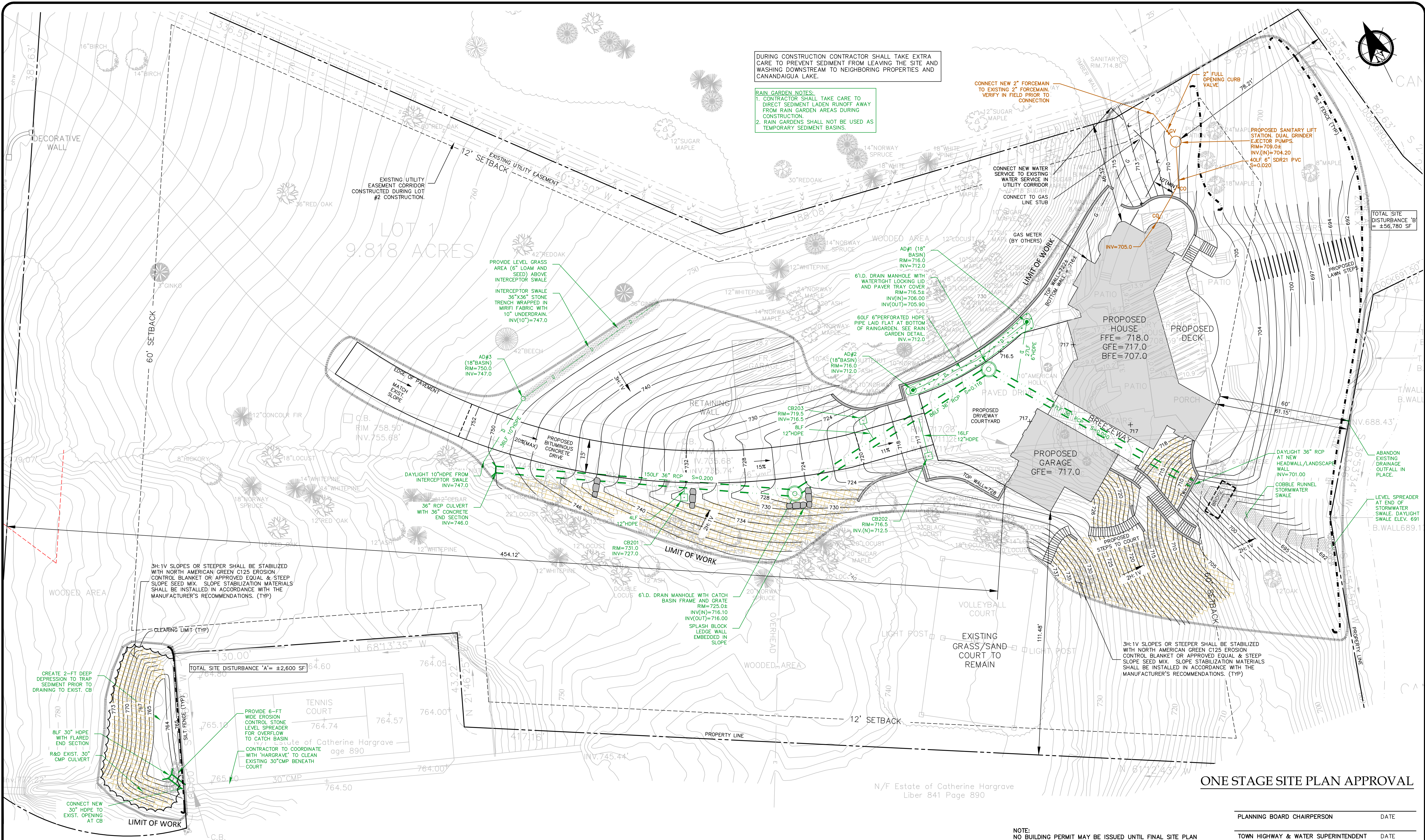
T.m. # 126.16-2-3.31

Date: 2/12/16

Sheet:

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E-mail rocco@veneziasurvey.com



5120 Laura Lane Canandaigua New York, 14424



NYS Land Surveyor

Rocco A. Venezia, P.L.S.
License # 049781

Drawing Title:

Site Plan Prepared For:

SITE LAYOUT AND UTILITY PLAN

Joy Wegman

Showing Land at
4417 County Road 16
Town of Canandaigua

County of Ontario State of New York

www.veneziasurvey.com

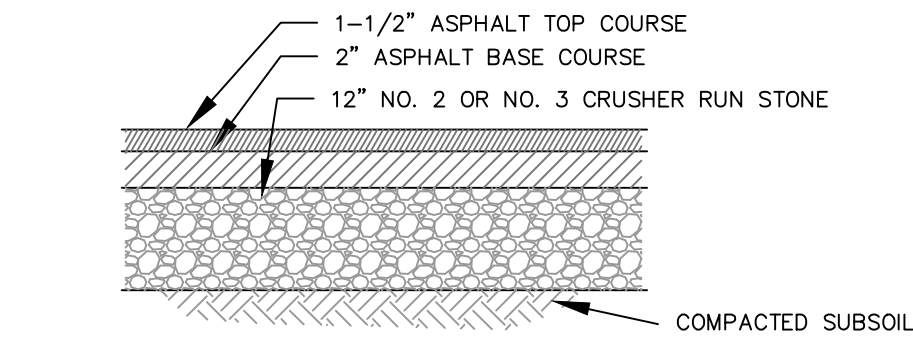
(585)396-3267

Fax. No. (585) 396-0131

E-mail rocco@veneziasurvey.com

WATER SYSTEM NOTES

1. WATERMAINS AND APPURTENANCES SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE TOWN OF CANANDAIGUA AND NEW YORK STATE DEPARTMENT OF HEALTH.
2. PROVIDE 10' MINIMUM SEPARATION BETWEEN THE WATERMAIN AND SEWER MAINS. VERTICAL SEPARATION BETWEEN WATERMAINS SHALL BE MAINTAINED IN ACCORDANCE WITH THE WATERMAIN/SEWER CROSSING DETAIL. WHERE A WATERMAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT (COMPACT SELECT FILL) SHALL BE PROVIDED FOR THE SEWERS TO PREVENT EXCESSIVE DEFLECTION OF JOINTS AND SETTLING AND POSSIBLY BREAKING THE WATERMAINS.
3. WATERMAIN SHALL BE PVC PIPE, AWWA C-900 AND SHALL HAVE A MINIMUM OF 5- FEET OF COVER FROM FINISHED GRADE.
4. THE WATERMAIN SHALL BE FLUSHED PRIOR TO TESTING AND DISINFECTION WITH A MINIMUM FLUSHING VELOCITY OF 2.5 FEET PER SECOND.
5. THE WATERMAIN, INCLUDING FITTINGS AND VALVES, SHALL COMPLY WITH AWWA C-600 SECTION 2 SPECIFICATIONS AND SHALL BE PRESSURE AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA C605 SECTION AND THE LATEST SPECIFICATIONS OF THE NYSDOH.
6. DISINFECTION SHALL BE ACCOMPLISHED AFTER THE PIPE HAS PASSED THE HYDROSTATIC TESTS AND SHALL BE IN CONFORMANCE WITH AWWA C-651, LATEST REVISION, BY USING THE CONTINUOUS FEED METHOD. FOLLOWING FLUSHING, SAMPLES OF THE WATER SHALL BE COLLECTED FROM THE MAIN. FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS. WATER SAMPLE COLLECTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND ANALYSIS OF THE SAMPLES SHALL BE PERFORMED BY A NYS DEPARTMENT OF HEALTH APPROVED LABORATORY. THE WATERMAIN SHALL NOT BE PLACED IN SERVICE UNTIL A "COMPLETED WORKS APPROVAL" CERTIFICATE HAS BEEN ISSUED BY THE NYS DEPT. OF HEALTH.

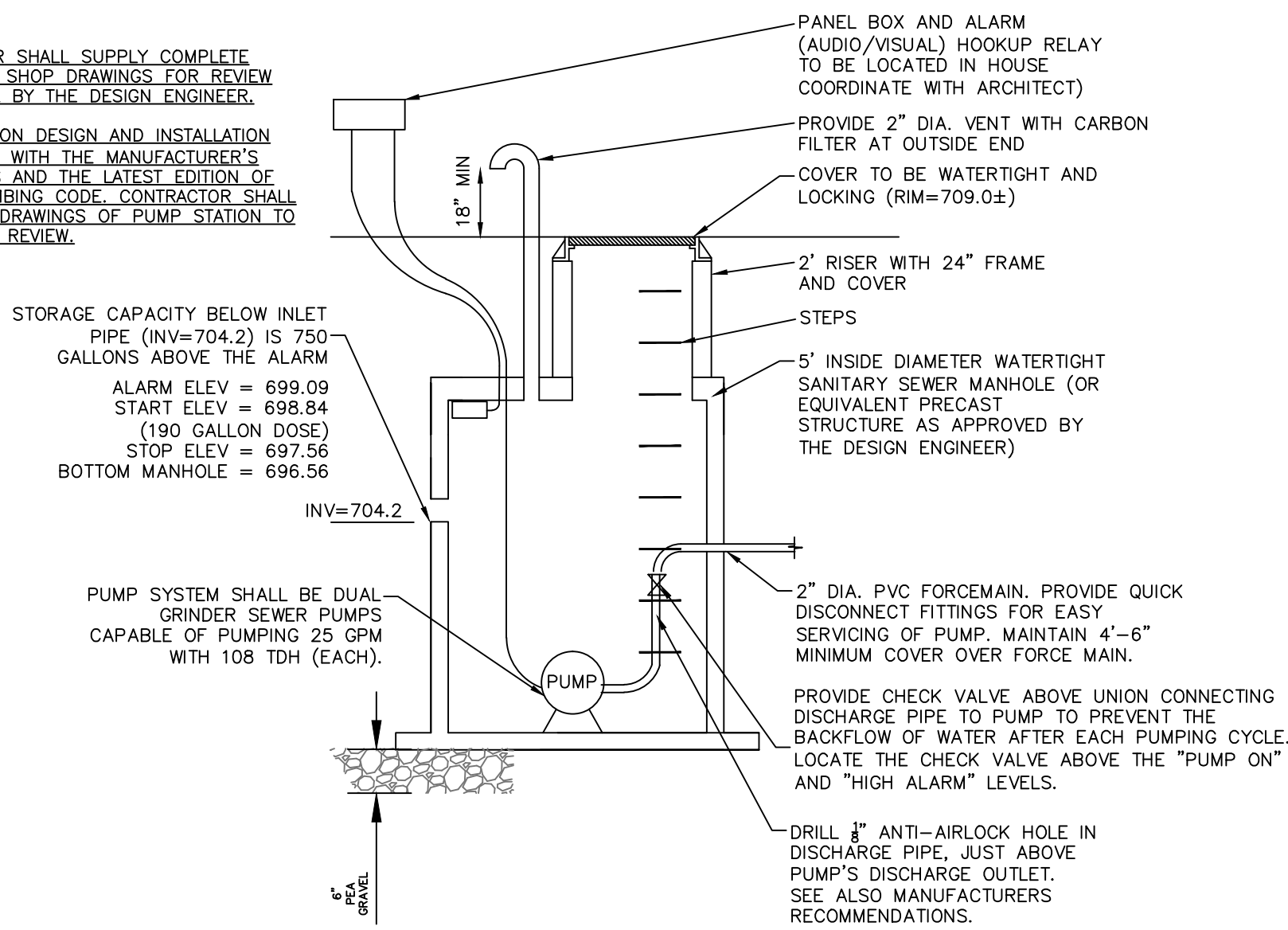


BITUMINOUS CONCRETE PAVEMENT
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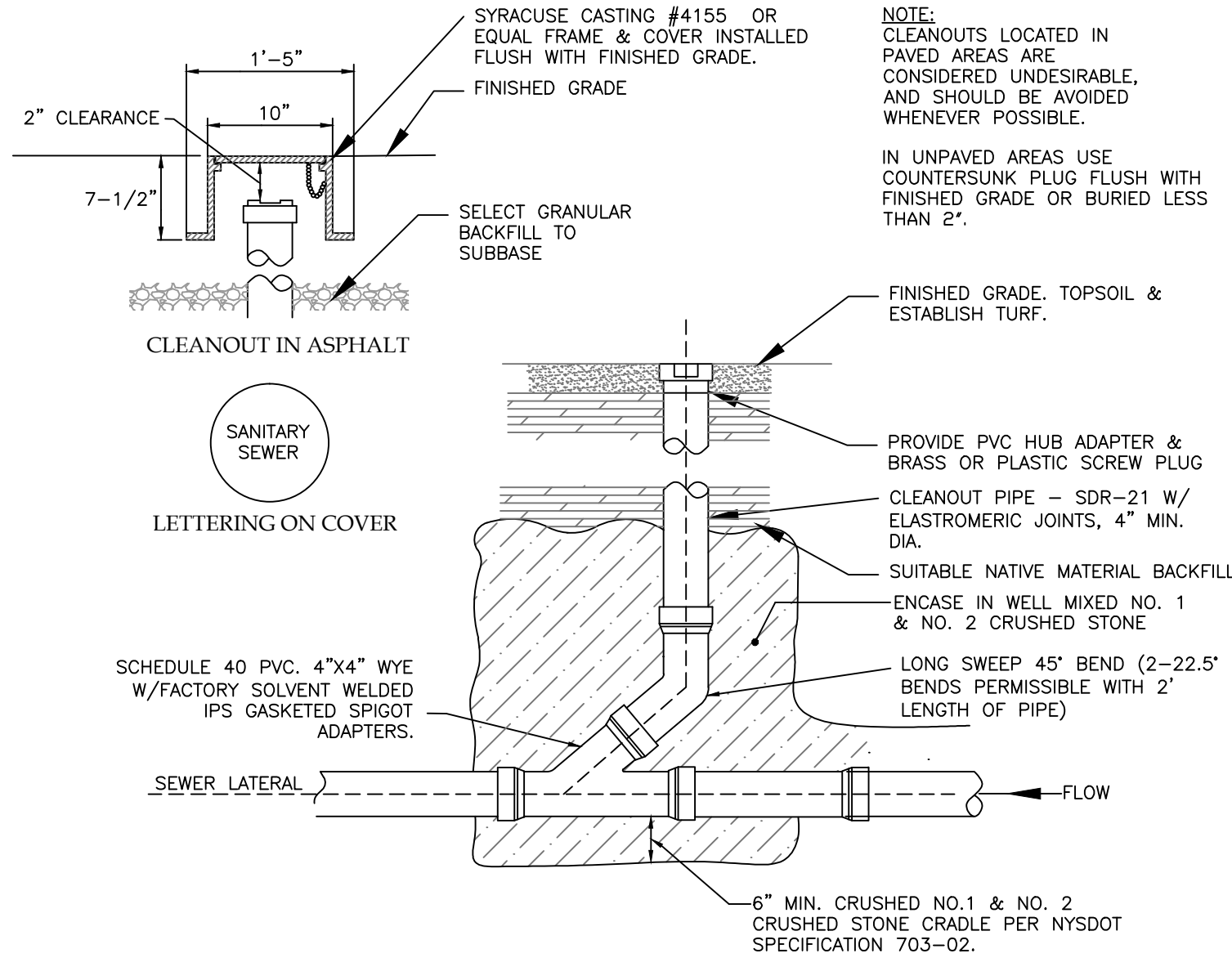
SANITARY LATERAL NOTES:

1. ALL SANITARY SEWER CONSTRUCTION AND/OR IMPROVEMENTS SHALL BE IN ACCORDANCE WITH THE MOST RECENT STANDARDS AND SPECIFICATIONS OF THE CANANDAIGUA LAKE COUNTY SEWER DISTRICT, N.Y.S. DEPARTMENT OF ENVIRONMENTAL CONSERVATION, N.Y.S. DEPARTMENT OF HEALTH, THE LATEST EDITION OF RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES AND ANY OTHER AGENCIES HAVING JURISDICTION.
2. NO SANITARY SEWER-RELATED WORK MAY BE PERFORMED WITHOUT FIRST OBTAINING A WRITTEN PERMIT FORM THE CANANDAIGUA LAKE COUNTY SEWER DISTRICT.
3. DISTRICT PERSONNEL SHALL BE NOTIFIED A MINIMUM OF 48 HOURS PRIOR TO BEGINNING ANY SANITARY SEWER-RELATED WORK.
4. THE CONTRACTOR SHALL LOCATE, MARK AND PRESERVE ANY RIGHT OF WAY MONUMENTS OR SURVEY CONTROL IN THE AREA OF CONSTRUCTION.
5. UTILITY LOCATIONS SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF UTILITIES, EXCAVATING TO EXPOSE THE UTILITY, IF NECESSARY IN THE AREA OF CONSTRUCTION, BEFORE COMMENCING CONSTRUCTION. CONTACT U.F.P.O AT 1-800-962-7962 AT LEAST 72 HOURS PRIOR TO CONSTRUCTION.
6. LATERALS SHALL BE A MIN. 4" DIA. SDR-21 WITH ELASTOMERIC JOINTS; FOR COMMERCIAL ESTABLISHMENTS, LATERALS ARE TO BE 6" DIA. SDR-21. MINIMUM DEPTH OF BURIAL IS FOUR FEET. CLEANOUTS SHALL BE INSTALLED WITHIN 30 INCHES OF THE OUTSIDE FACE OF BUILDINGS, AT ALL CHANGES IN HORIZONTAL ALIGNMENT, AT THE RIGHT OF WAY OR EASEMENT LINE, AND AT SPACING NOT TO EXCEED 90 FEET.
7. SANITARY SEWER MAINS AND LATERALS SHALL BE LOCATED A MINIMUM HORIZONTAL DISTANCE OF 10' FROM ANY EXISTING OR PROPOSED WATER MAIN (AS MEASURED FROM THE OUTSIDE OF THE SEWER TO THE OUTSIDE OF THE WATER MAIN). IN CASES WHERE THE SANITARY SEWER CROSSES A WATER MAIN, THE MINIMUM VERTICAL SEPARATION SHALL BE 18" (MEASURED OUT-TO-OUT). THE CROSSING SHALL BE ARRANGED SO THAT THE SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS.
8. THE CONTRACTOR SHALL PROVIDE THE DISTRICT WITH SHOP DRAWINGS AND MATERIAL SPECIFICATIONS THAT HAVE BEEN PRE-APPROVED BY THE DESIGN ENGINEER BEFORE A PERMIT WILL BE ISSUED.
9. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH OSHA REQUIREMENTS IN ALL ASPECTS OF CONSTRUCTION.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING SANITARY FLOWS AT ALL TIMES BY METHODS ACCEPTABLE TO THE DEVELOPER'S ENGINEER AND THE DISTRICT.
11. FLOOR DRAINS IN THE BASEMENT OR GARAGE ARE TO BE CONNECTED TO THE SANITARY SEWER. FLOOR DRAINS DO NOT INCLUDE FOUNDATION OR FOOTER DRAINS INSTALLED TO INTERCEPT UNCONTAMINATED GROUND WATER. ALL DISCHARGES TO THE SANITARY SEWER MUST COMPLY WITH EFFLUENT LIMITS OF THE ONTARIO COUNTY SEWER USE LAW. FOUNDATION AND FOOTER DRAINS SHALL BE CONSTRUCTED IN A MANNER THAT WILL PROHIBIT GROUNDWATER FROM DRAINING INTO THE SANITARY SEWER PIPE CRADLE.
12. LATERAL CONNECTIONS REQUIRING OPENINGS IN ASBESTOS CEMENT PIPE WILL BE DESIGNED, INSPECTED AND CERTIFIED BY THE DESIGN ENGINEER OR REPRESENTATIVE THEREOF.
13. ANY EXCAVATION NOT BACKFILLED BY THE END OF THE WORKDAY SHALL BE FENCED, BARRICADED AND LIGHTED FOR SAFETY AND PROTECTION OF THE PUBLIC.
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING SANITARY MAINS, STRUCTURES AND APPURTENANCES, IF ANY, NEEDED TO COMPLETE THE WORK.
- RENOVATION PROJECTS ONLY
15. EXISTING LATERALS TO BE DISCONNECTED MUST BE PERMANENTLY PLUGGED OR CAPPED AT THE EASEMENT OR RIGHT OF WAY LINE UNDER THE DIRECTION OF THE CANANDAIGUA LAKE COUNTY SEWER DISTRICT SUPERVISOR. THE CONTRACTOR IS REQUIRED TO OBTAIN A PERMIT PRIOR TO PERFORMING THE WORK. THE LOCATION OF THE PLUG OR CAP SHALL BE RECORDED FOR AS-BUILT DRAWING PURPOSES.
16. PRIOR TO DEMOLISHING AN EXISTING BUILDING, THE CONTRACTOR SHALL EXCAVATE, DISCONNECT AND ABANDON THE LATERAL FROM THE BUILDING TO THE POINT OF DISCONNECTION (APPROXIMATELY 30' FROM THE EXISTING BUILDING) PER DISTRICT STANDARDS. A TEMPORARY PLUG SHALL BE INSTALLED IN THE REMAINING PORTION OF THE EXISTING SANITARY LATERAL UNTIL IT IS TESTED AND TELEVISED.
17. IN ORDER TO DETERMINE WHETHER AN EXISTING SANITARY LATERAL IS ACCEPTABLE FOR CONNECTION TO A NEW BUILDING, THE LATERAL SHALL BE TELEVISED IN THE PRESENCE OF DISTRICT PERSONNEL AT THE OWNER'S EXPENSE.
18. IF AN EXISTING LATERAL IS FOUND TO BE ACCEPTABLE AND MEET THE MINIMUM DISTRICT REQUIREMENTS, IT SHALL BE TEMPORARILY RE-PLUGGED AND BACKFILLED WITH A WITNESS STAKE IN PLACE, UNTIL CONNECTION TO THE NEW BUILDING CAN TAKE PLACE.
19. IF A NEW SANITARY LATERAL IS REQUIRED, THE EXISTING LATERAL MUST BE EXCAVATED, REMOVED, AND CAPPED AT THE EASEMENT RIGHT OF WAY LINE IN ACCORDANCE WITH DISTRICT REQUIREMENTS.
20. IF A NEW SANITARY SEWER LATERAL IS REQUIRED, THE CONNECTION TO THE EXISTING SANITARY MAIN SHALL BE MADE PER DISTRICT STANDARDS.

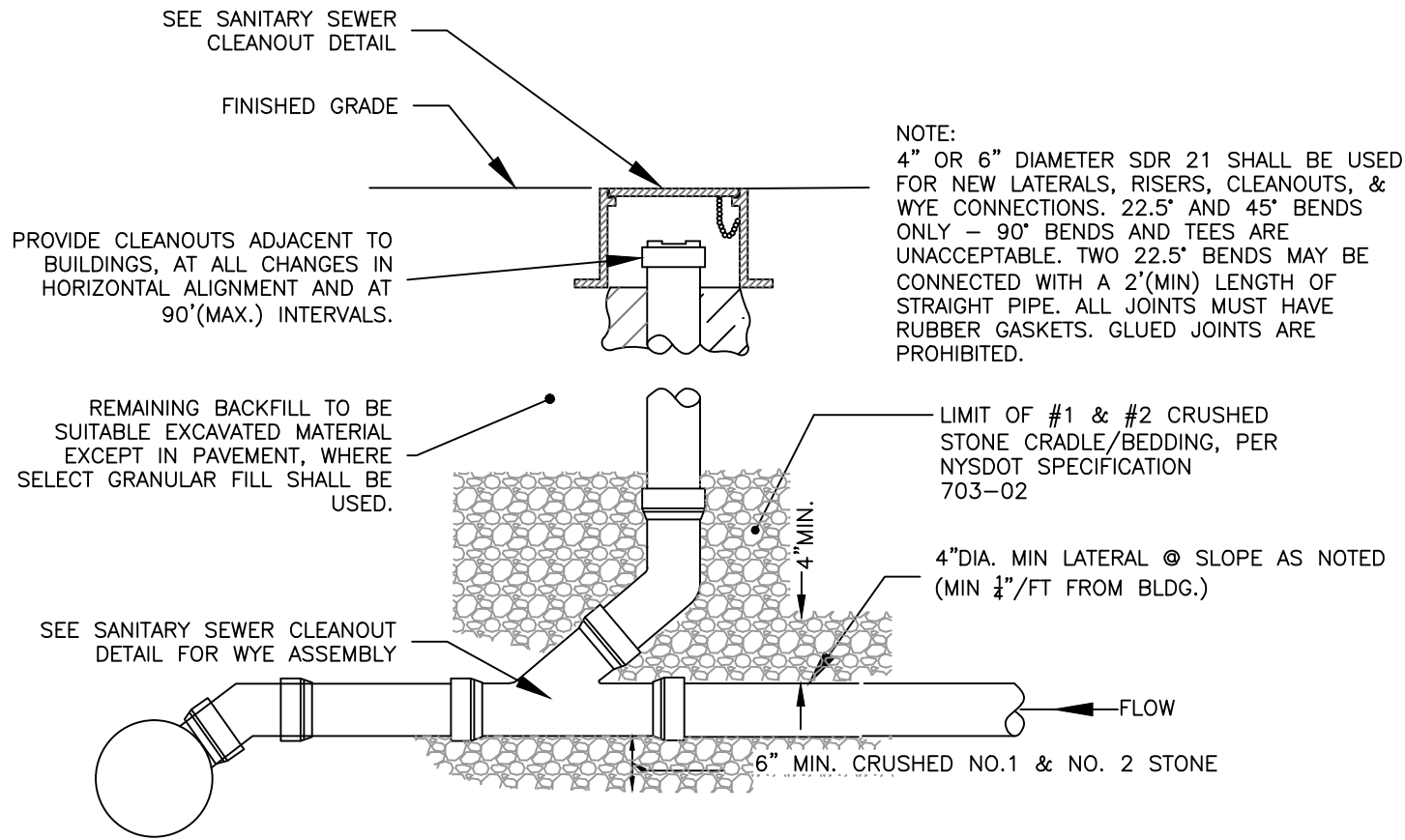
- NOTES:
1. CONTRACTOR SHALL SUPPLY COMPLETE PUMP STATION SHOP DRAWINGS FOR REVIEW AND APPROVAL BY THE DESIGN ENGINEER.
2. PUMP STATION DESIGN AND INSTALLATION SHALL COMPLY WITH THE MANUFACTURER'S SPECIFICATIONS AND THE LATEST EDITION OF THE NYS PLUMBING CODE. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF PUMP STATION TO ENGINEER FOR REVIEW.



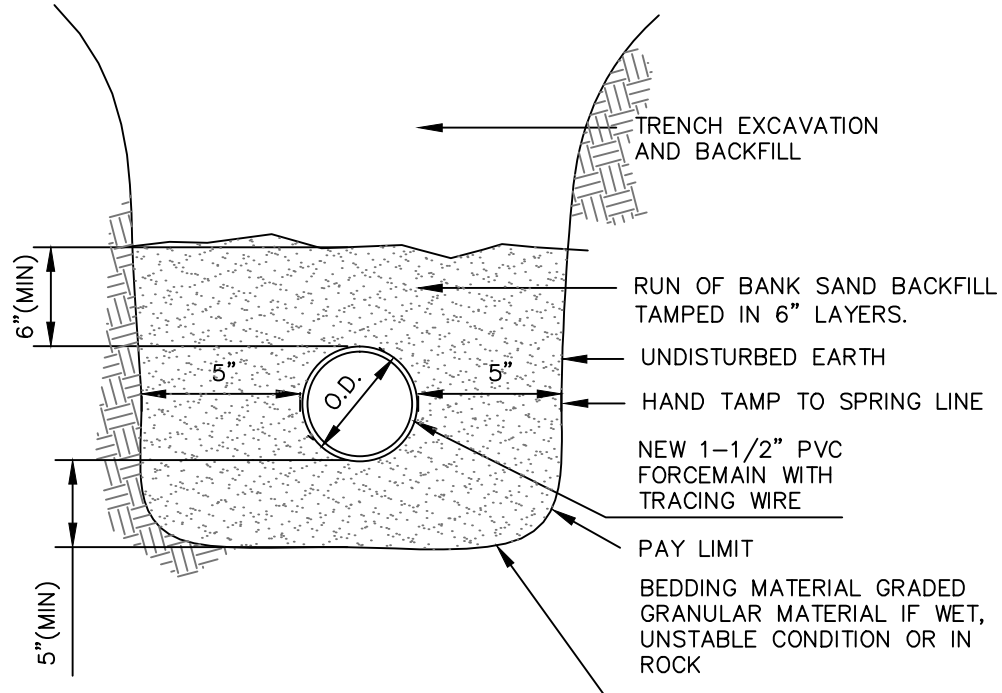
SEWER LIFT STATION DETAIL
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SANITARY CLEANOUT DETAIL
NOT TO SCALE

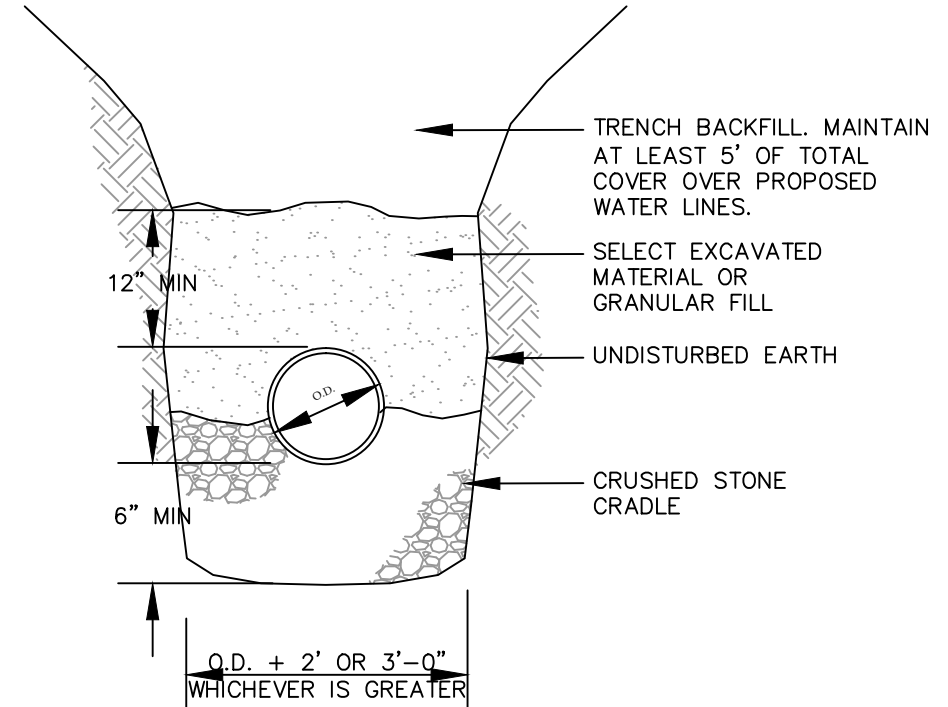


SANITARY SEWER LATERAL DETAIL - PRIVATE OWNED SEWER
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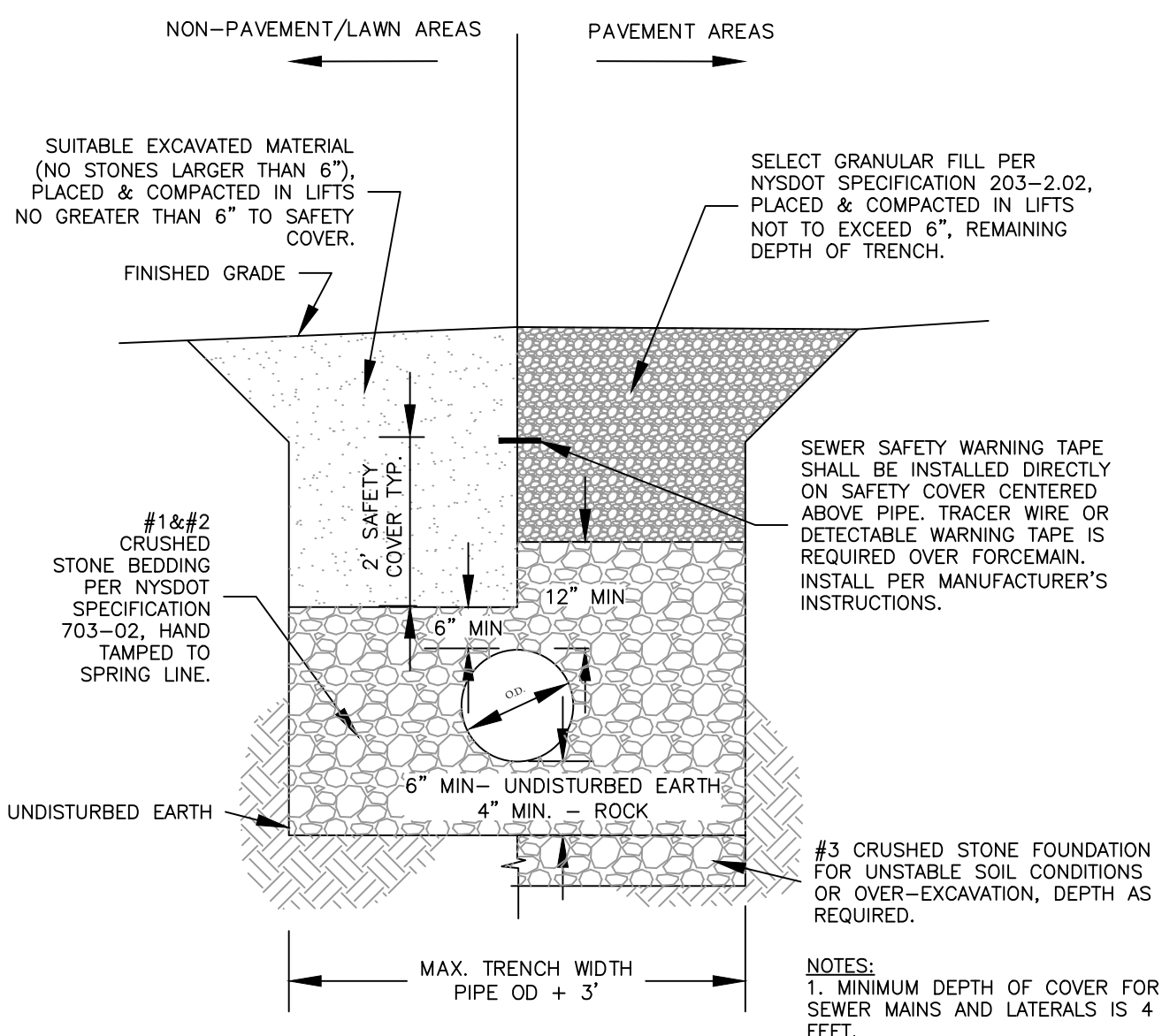


- NOTE:
1. CONTRACTOR TO PROVIDE SAFE EXCAVATION PER STATE AND FEDERAL REQUIREMENTS.
2. TRENCH BACKFILL UNDER VEGETATED AREAS SHALL BE NATIVE SOIL WITH NO AGGREGATE GREATER THAN 4" IN SIZE TO BE COMPACTED IN 12" LIFTS.
3. TRENCH BACKFILL UNDER PAVED AREAS SHALL BE SELECT NYSOT ITEM 203.07 WITH 4" MAX SIZE AGGREGATE TO BE COMPACTED IN 6" LIFTS.

PIPE BEDDING DETAIL - WASTEWATER FORCEMAIN
NOT TO SCALE



PVC WATER MAIN & DRAIN
BEDDING DETAIL
NOT TO SCALE



SANITARY SEWER MAIN
& LATERAL TRENCH BEDDING
DETAIL
NOT TO SCALE

ONE STAGE SITE PLAN APPROVAL

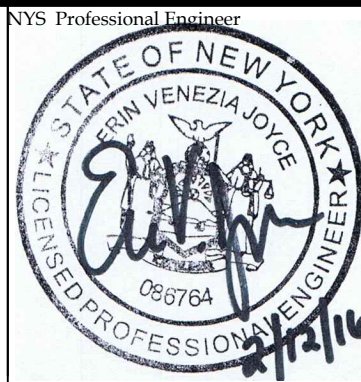
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| PLANNING BOARD CHAIRPERSON | DATE |
| TOWN HIGHWAY & WATER SUPERINTENDENT | DATE |
| TOWN ENGINEER | DATE |

NOTE:
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.

FOR PERMITTING ONLY



5120 Laura Lane Canandaigua New York, 14424



| Revisions | | | |
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NYS Land Surveyor

Rocco A. Venezia, P.L.S.
License # 049761

Drawing Title:

Site Plan Prepared For:

SITE AND UTILITY DETAILS

Joy Wegman

Showing Land at
4417 County Road 16
Town of Canandaigua
County of Ontario State of New York

www.veneziasurvey.com

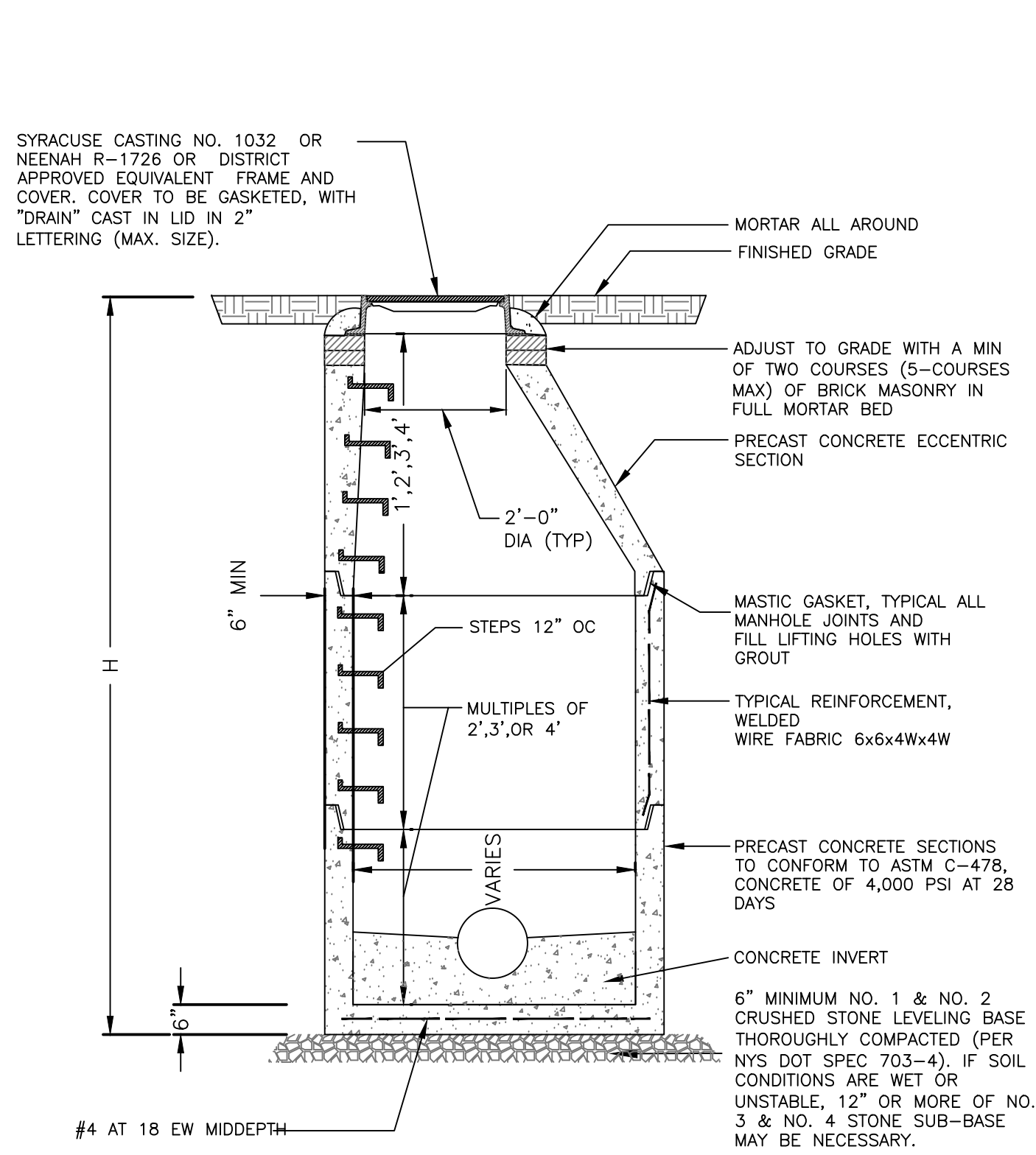
(585)396-3267

Fax. No. (585) 396-0131

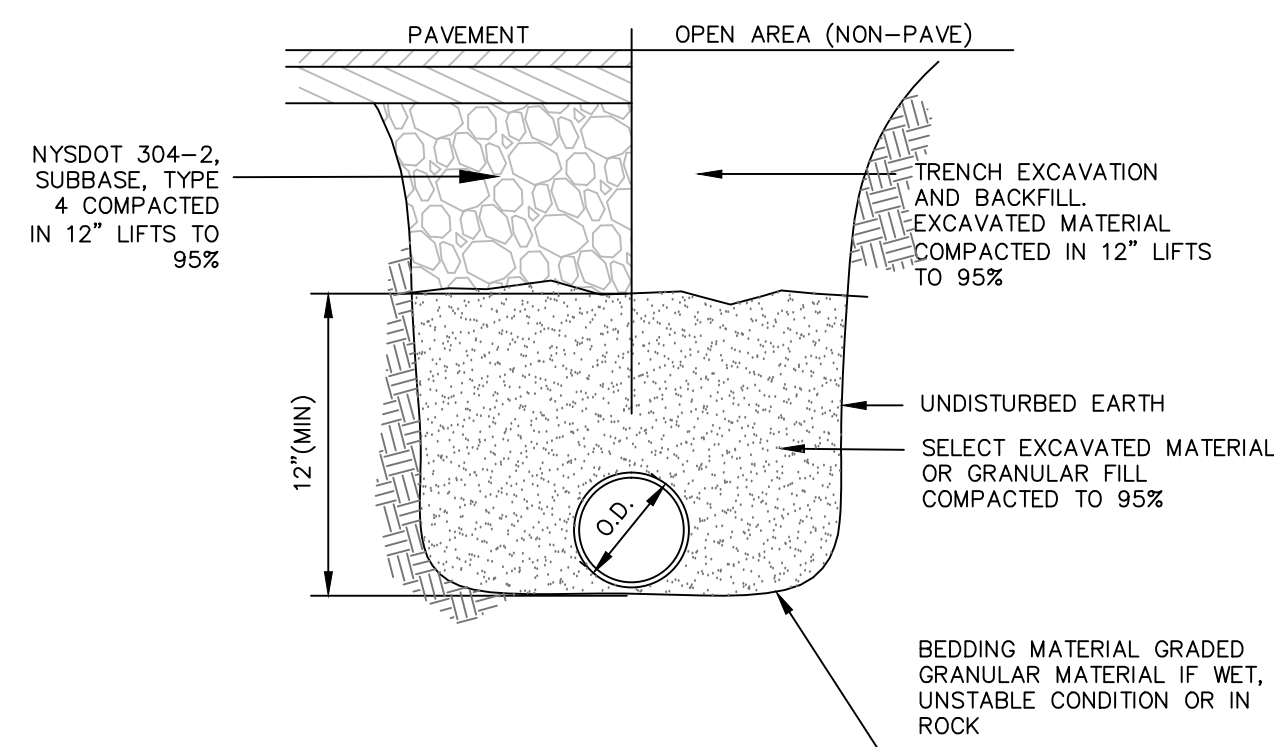
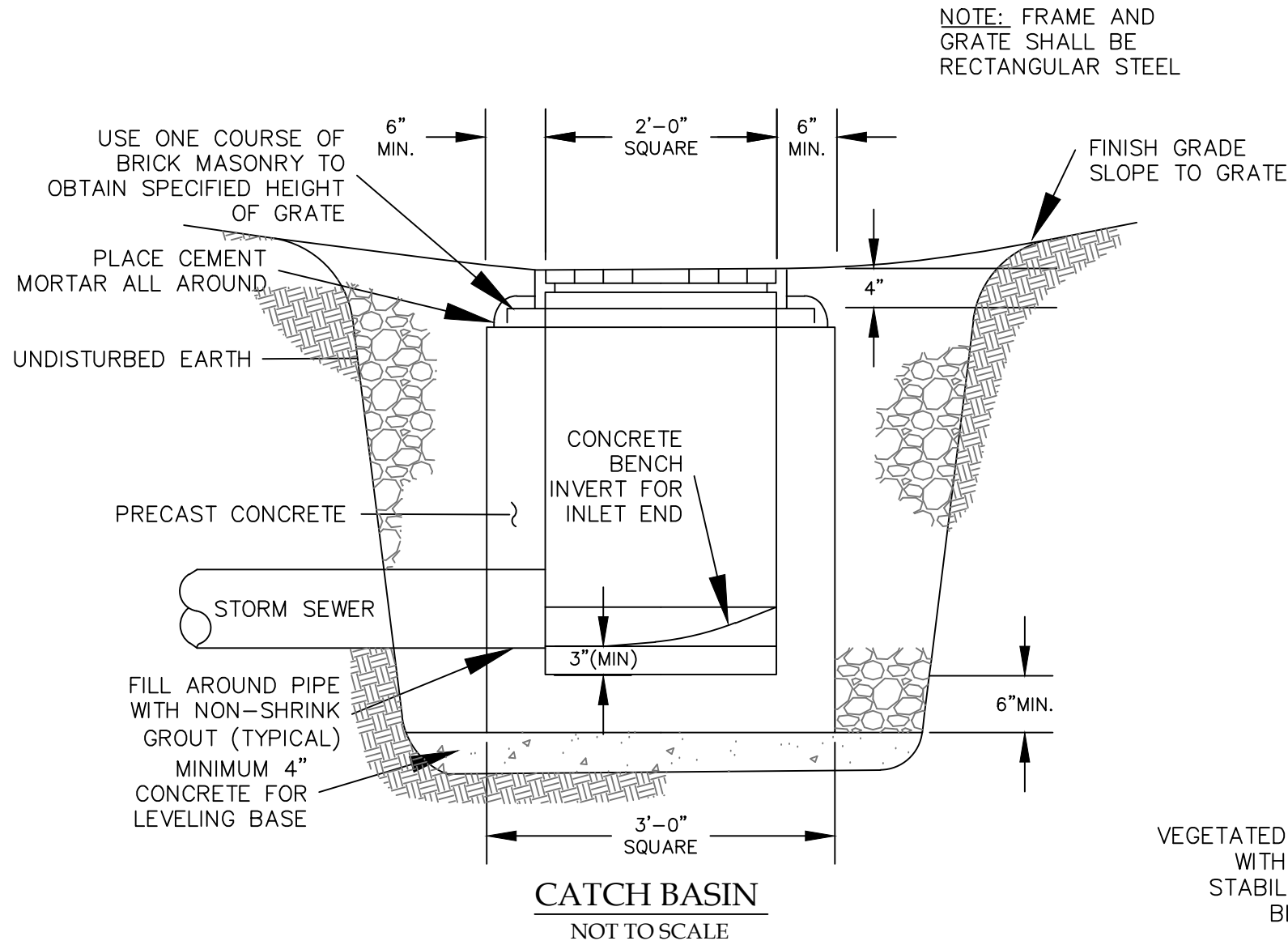
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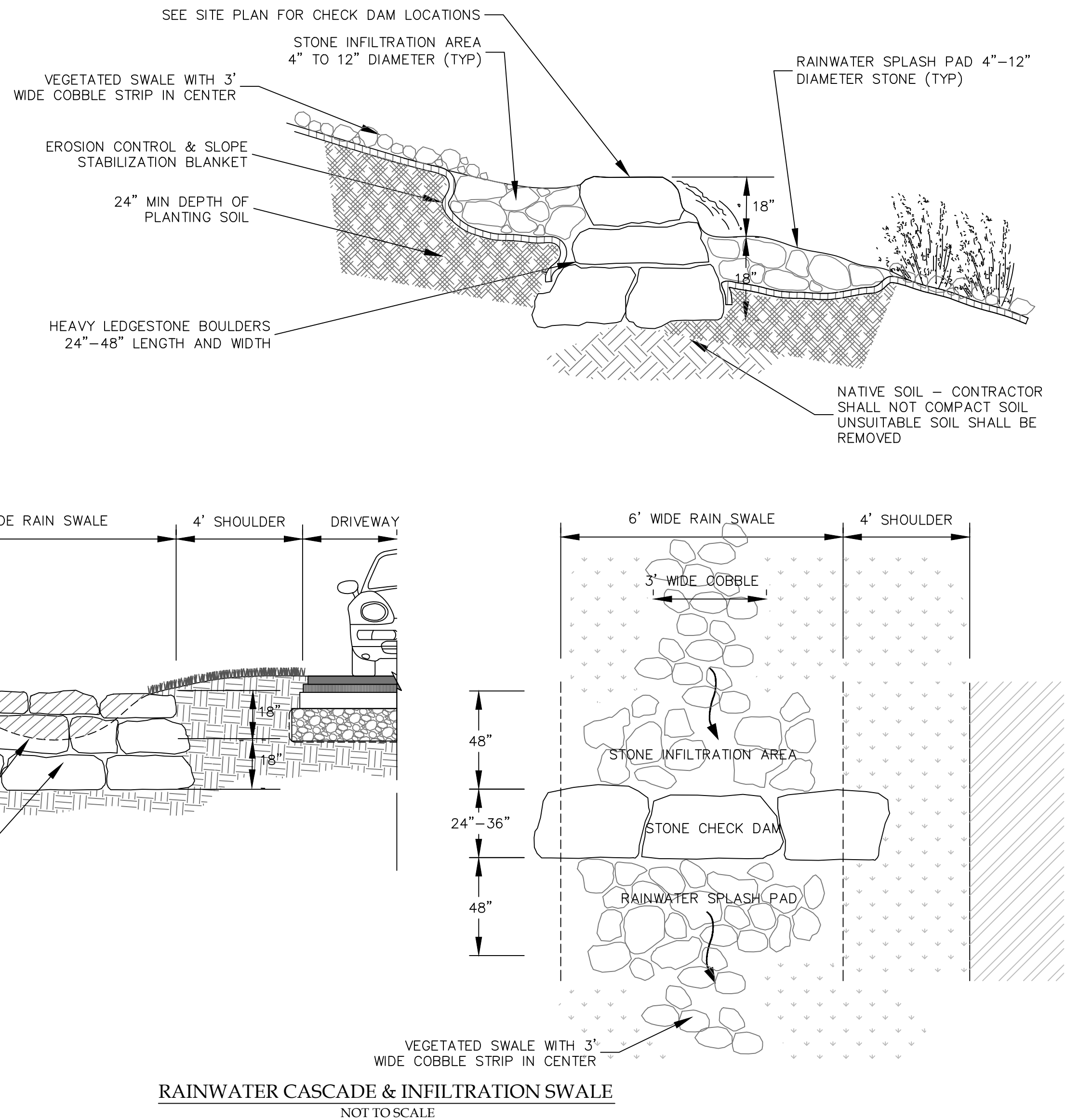
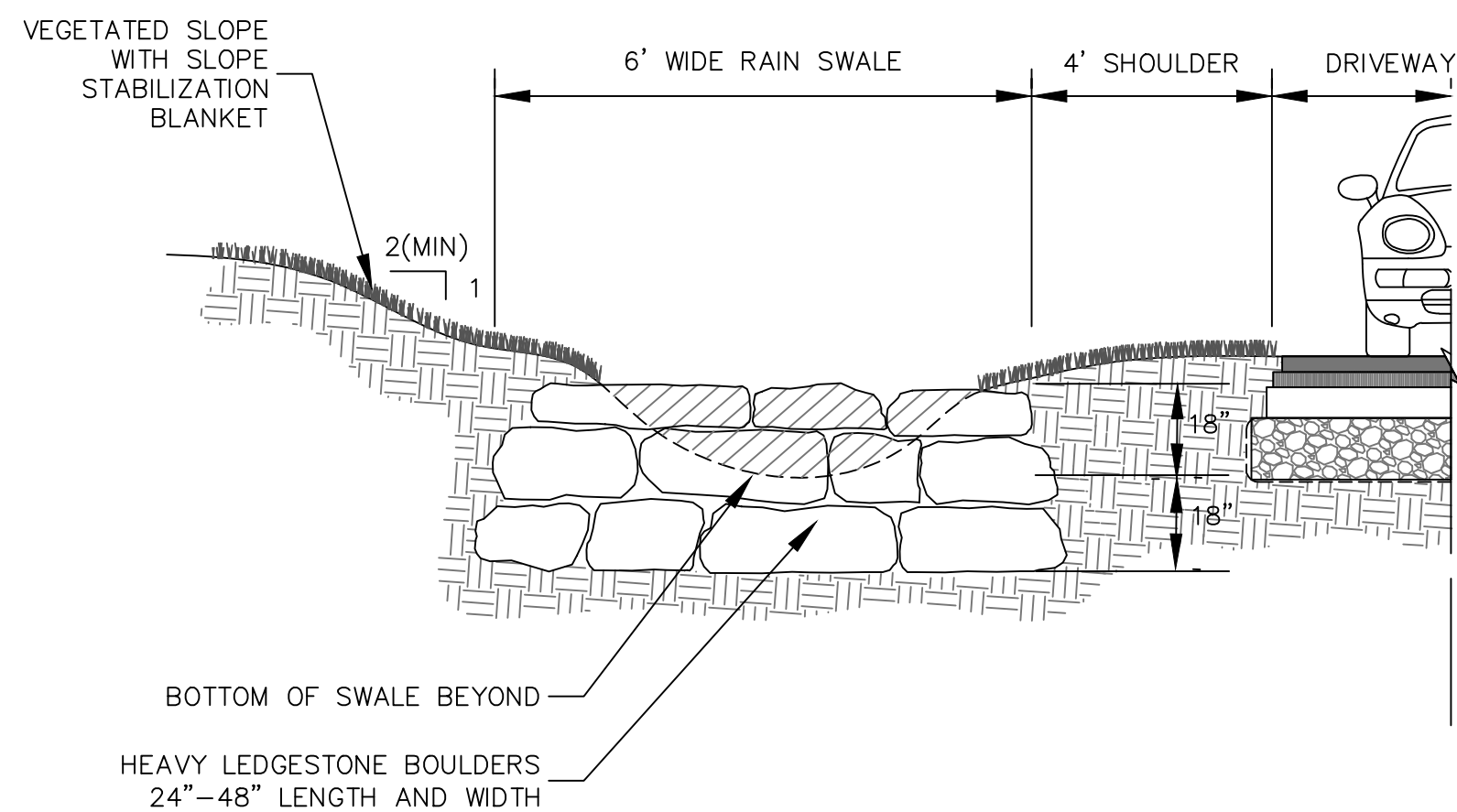
E-mail rocco@veneziasurvey.com



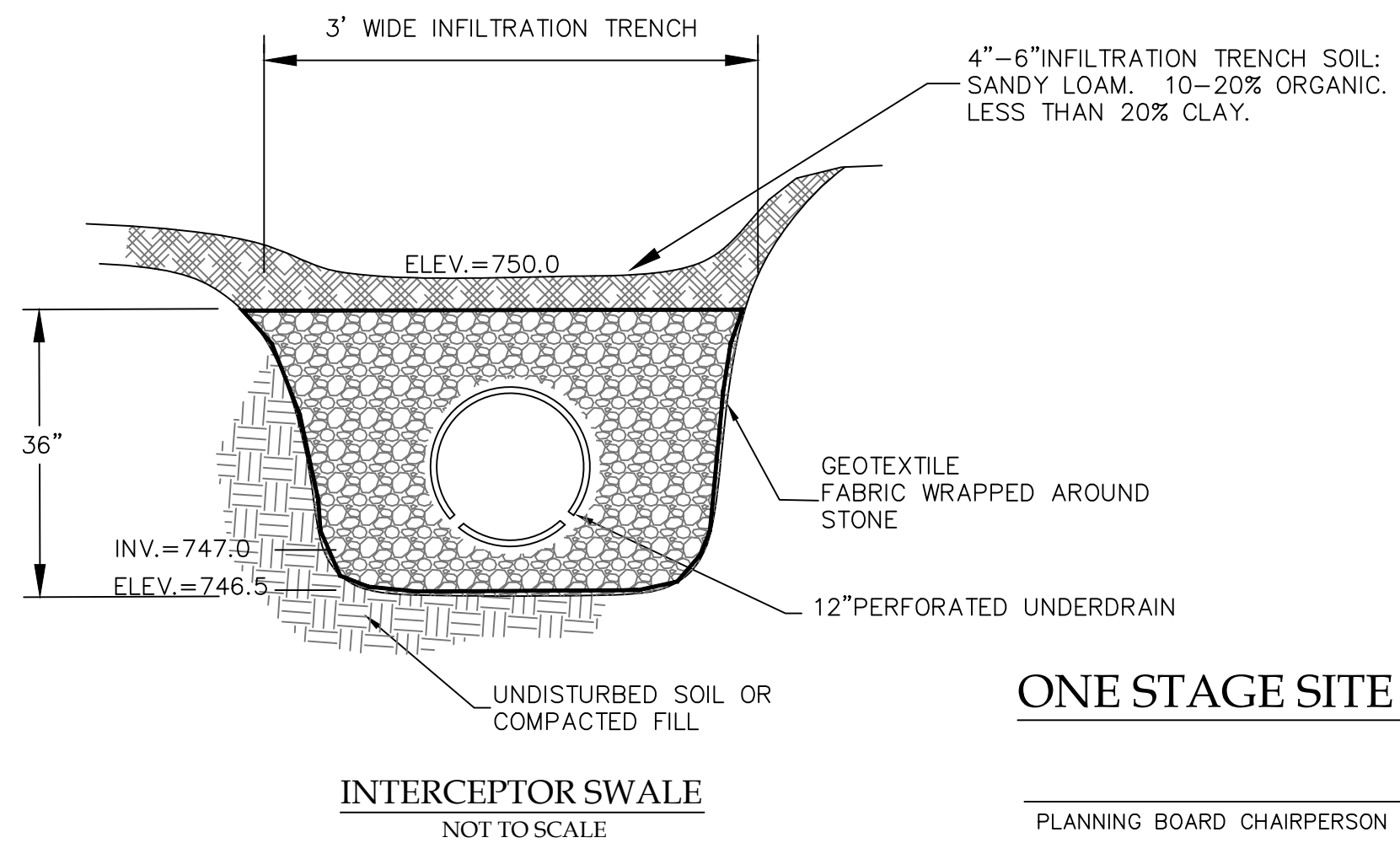
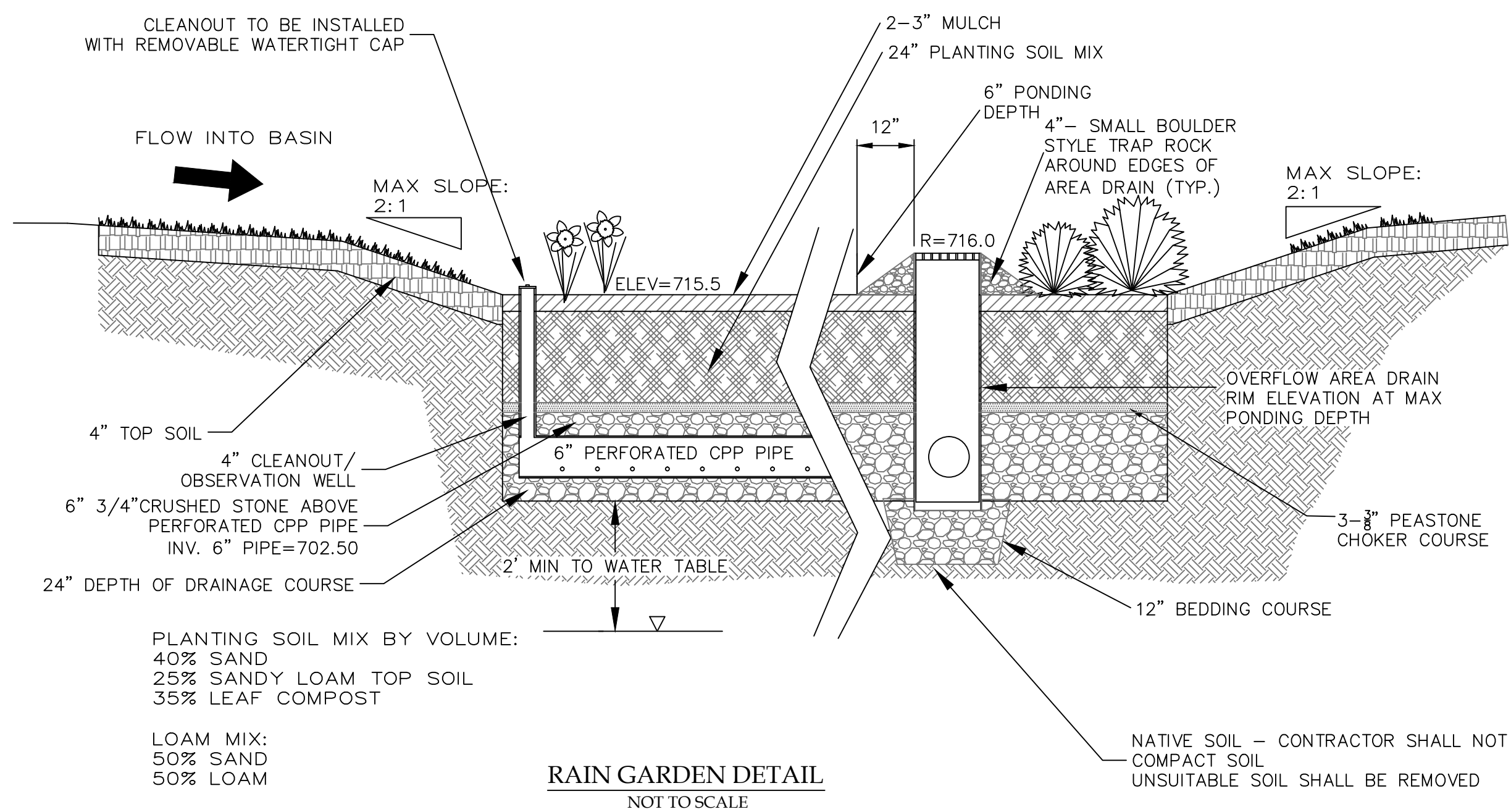
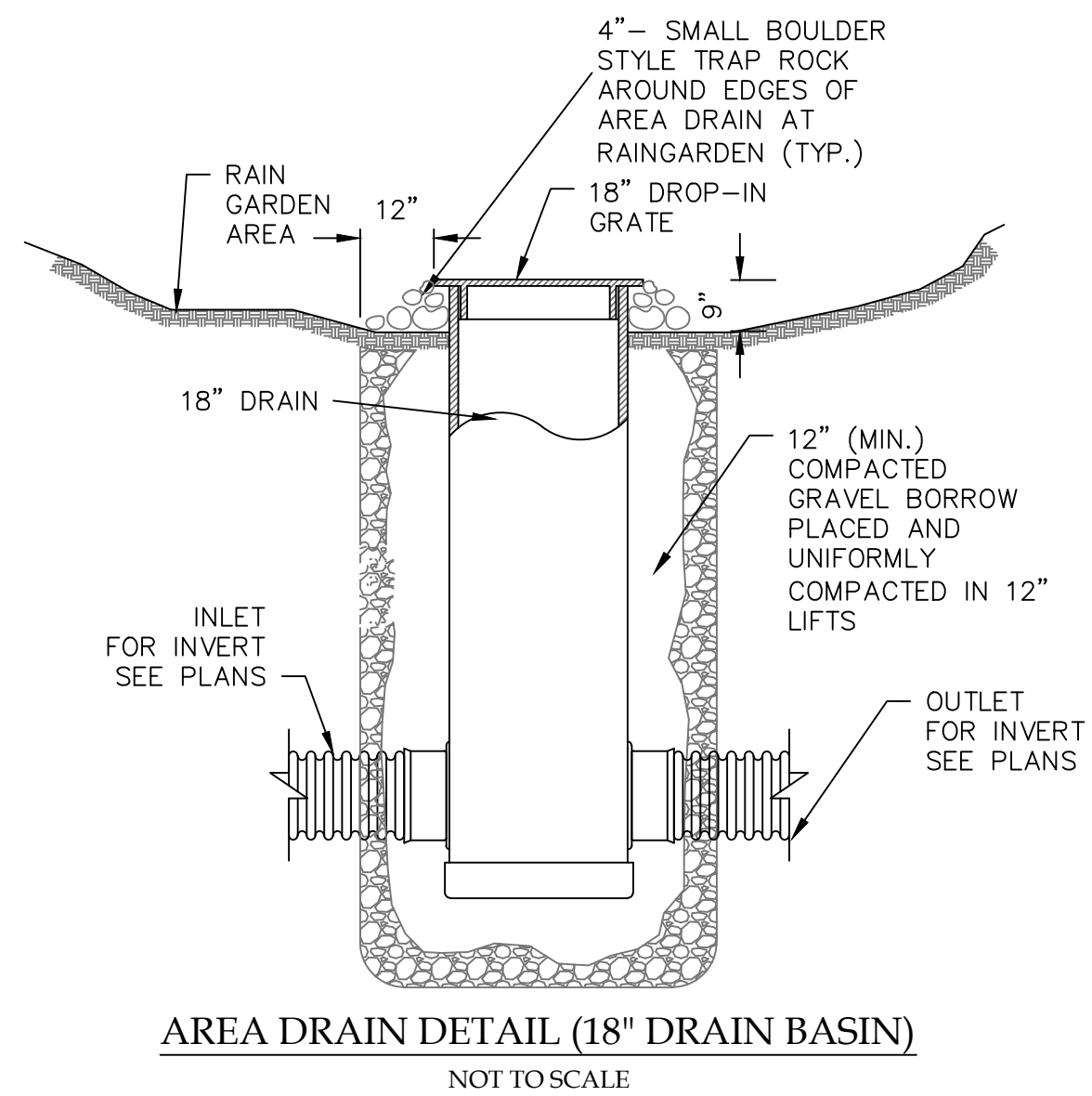
DRAINAGE MANHOLE DETAIL
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PIPE BEDDING DETAIL - RIGID PIPE
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RAINWATER CASCADE & INFILTRATION SWALE
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ONE STAGE SITE PLAN APPROVAL

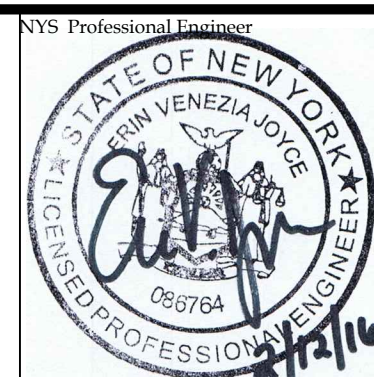
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| PLANNING BOARD CHAIRPERSON | DATE |
| TOWN HIGHWAY & WATER SUPERINTENDENT | DATE |
| TOWN ENGINEER | DATE |

NOTE:
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.

FOR PERMITTING ONLY



5120 Laura Lane Canandaigua New York, 14424



| Revisions | | | |
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NYS Land Surveyor
Rocco A. Venezia, P.L.S.
License # 042761

Drawing Title:

Site Plan Prepared For:

STORMWATER DETAILS

Joy Wegman

Showing Land at
4417 County Road 16
Town of Canandaigua
County of Ontario State of New York

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TOWN OF CANANDAIGUA EROSION CONTROL AND GRADING NOTES

EROSION CONTROL NOTES:

1. CONTRACTOR SHALL CLEAR THE PERIMETER OF THE CONSTRUCTION AREA AND PLACE EROSION CONTROL MEASURES PRIOR TO COMMENCING WORK. EROSION CONTROL DEVICES TO BE MAINTAINED BY THE CONTRACTOR UNTIL GROUND COVER HAS BEEN ESTABLISHED AND REMOVAL IS APPROVED BY THE TOWN OF CANANDAIGUA. CRUSHED STONE STABILIZATION PAD TO BE PLACED AT THE CONSTRUCTION ENTRANCE. IF BUILDING AND SITE WORK TO BE PHASES, CLEARING LIMITS SHOULD NOT EXCEED AREA NECESSARY TO CONSTRUCT EACH PHASE OF CONSTRUCTION.
2. APPROVAL FOR ANY ON-SITE BURIAL MUST BE OBTAINED FROM THE TOWN OF CANANDAIGUA PRIOR TO COMMENCING WORK. OTHER DEBRIS SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR IN ACCORDANCE WITH CURRENT NYSDEC REGULATIONS.
3. TOPSOIL SHALL BE STRIPPED FROM ALL DISTURBED AREAS AND STOCKPILED IN AREAS DESIGNATED BY THE OWNER AND THE TOWN OF CANANDAIGUA. CONTRACTOR IS TO PERFORM THE EARTHWORK MAKING ALL CUTS AND FILLS AS SHOWN ON THE PLANS AND PER FIELD STAKEOUT. UPON COMPLETION OF HOUSE CONSTRUCTION, TOPSOIL SHALL BE REPLACED TO A DEPTH OF SIX (6) INCHES TO ACHIEVE FINAL GRADING ELEVATION.
4. AS EARTHWORK IS IN PROGRESS EROSION CONTROL DEVICES SHALL BE INSTALLED AS SLOPES ARE DISTURBED OR CREATED. SLOPES SHALL BE STABILIZED AS SOON AS WORK ON THEM IS COMPLETED. SLOPES AT 3:1 OR GREATER SHALL BE TRACKED AND SEED. SLOPES SHALL BE SEED AS SOON AS POSSIBLE AFTER COMPLETION OF WORK.
5. IN AREAS WHERE SOIL DISTURBANCE ACTIVITY HAS BEEN TEMPORARILY OR PERMANENTLY CEASED, TEMPORARY OR PERMANENT SOIL STABILIZATION MEASURES SHALL BE INSTALLED AND/OR IMPLEMENTED WITHIN 7 DAYS FROM THE DATE THE SOIL DISTURBANCE ACTIVITY CEASED AS PER THE UPDATED GP-0-15-002 REQUIREMENTS.
6. UPON COMPLETION OF THE EARTHWORK, THE CONTRACTOR SHALL PROCEED WITH THE INSTALLATION OF ALL UNDERGROUND UTILITIES, AND STRAW BALE INLET AS SHOWN ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE AGENCY PRIOR TO MAKING CONNECTION OR ALTERING ANY EXISTING UTILITIES.
7. DURING CONSTRUCTION, THE CONTRACTOR WILL BE RESPONSIBLE FOR REPLACING ANY SILT FENCING, CHECK DAMS OR CATCH BASIN/YARD INLET PROTECTION WHICH BECOME CLOGGED, INOPERABLE OR DAMAGED. STRAW BALES SHALL BE INSPECTED AT MAXIMUM INTERVALS OF THREE MONTHS FOR REPLACEMENT AND REPLACEMENT WILL BE DIRECTED TO BY THE TOWN OF CANANDAIGUA. ALL EROSION AND SILTATION CONTROLS INCLUDING SILT FENCING, CHECK DAMS, INLET PROTECTION AND DESILTATION SINKS WILL BE INSPECTED AFTER A STORM EVENT AND REQUIRED REPAIRS WILL BE MADE IMMEDIATELY.
8. EXISTING UNDERGROUND UTILITIES SHOWN HEREIN WERE PLOTTED FROM FIELD LOCATIONS AND/OR UTILITY COMPANY RECORD PLANS. PRIOR TO ANY CONSTRUCTION THE CONTRACTOR SHALL CALL THE UPPO HOTLINE AT 1-800-962-7962 FOR STAKE-OUT OF EXISTING UTILITIES. THE CONTRACTOR SHALL DETERMINE EXACT LOCATION AND ELEVATION OF UNDERGROUND UTILITIES BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS TO LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS AS REQUIRED TO MEET THE EXISTING CONDITIONS.
9. CRUSHED STONE PAD SHALL BE INSTALLED AT CONSTRUCTION ENTRANCE TO PROVIDE A STABILIZED ENTRANCE POINT. (SEE DETAIL)
10. ANY SILT OR SEDIMENT ACCUMULATED IN EXISTING SWALES, STORM SEWERS, STREET AND/ OR GUTTERS SHALL BE CLEANED OUT DURING CONSTRUCTION.
11. DISTURBED AREAS SHALL BE STABILIZED, AND SLOPES GREATER THAN 10 % SEEDDED UPON COMPLETION OF GRADING AND CONSTRUCTION. DISTURBED AREAS SHALL BE SEEDDED IMMEDIATELY UPON COMPLETION WITH TEMPORARY AND PERMANENT MIXTURES, AS APPROPRIATE, AS IDENTIFIED ON THIS SHEET.
12. NO SITE PREPARATION SHALL COMMENCE UNTIL A SOIL AND SEDIMENTATION CONTROL PERMIT HAS BEEN ISSUED BY THE TOWN OF CANANDAIGUA.
13. ALL DISTURBED AREAS TO BE RECLAIMED WITH 6" TOPSOIL.
14. THE STORMWATER POLLUTION PREVENTION PLAN PREPARED FOR THIS PROJECT IS INTENDED TO CONFORM WITH THE NYSDEC GENERAL PERMIT GP-0-15-002 AND THE REQUIREMENTS OF LOCAL AND NYSDEC AUTHORITIES REGARDING THE CONTROL OF STORMWATER QUANTITY AND QUALITY. THE POLLUTION PREVENTION PLAN CONSISTS OF THE STORMWATER MANAGEMENT REPORT, THE PROJECT PLANS, INCLUDING THE GRADING, STORMWATER POLLUTION PREVENTION PLAN AND DETAIL SHEET, AND THE TOWN OF CANANDAIGUA DESIGN AND CONSTRUCTION SPECIFICATIONS REGARDING STORMWATER CONTROL.
15. THE OWNER IS RESPONSIBLE FOR IMPLEMENTING THE REQUIRED STORMWATER POLLUTION PREVENTION PLAN. THE OWNER'S CONTRACTOR, SUB-CONTRACTOR AND ALL OTHERS ASSOCIATED WITH THE IMPLEMENTATION OF THE PLAN SHALL BE FAMILIAR WITH THE PLAN AND THE CONDITIONS OF THE NYSDEC GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
16. ANY MODIFICATIONS OR DEVIATIONS FROM THE STORMWATER POLLUTION PREVENTION PLAN, INCLUDING EROSION CONTROL MEASURES AND STORMWATER MANAGEMENT AREAS, SHALL BE DOCUMENTED BY THE OWNER WITH THE ENGINEER AND THE TOWN OF CANANDAIGUA.
17. THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING ON-SITE INSPECTIONS BY A LICENSED PROFESSIONAL OF CONSTRUCTION EROSION CONTROL DURING CONSTRUCTION. INSPECTIONS ARE TO BE PROVIDED A MINIMUM OF ONCE A WEEK AND WITHIN 24 HOURS OF A STORM EVENT THAT GENERATES 0.5 INCHES OF RAINFALL IN A 24 HOUR PERIOD. AN INSPECTION REPORT LOG IS TO BE KEPT ON-SITE BY THE OWNER. ALL REPORTS ARE TO BE SUBMITTED TO THE TOWN.
18. SEE THIS DRAWING FOR PERMANENT SEED MIXES.
19. ANY ADDITIONAL EROSION OR SEDIMENT CONTROL DEEMED NECESSARY BY THE TOWN OR A REPRESENTATIVE THEREOF SHALL BE PROVIDED BY THE OWNER.
20. THE OWNER/OPERATOR SHALL HAVE A QUALIFIED INSPECTOR PERFORM A FINAL SITE INSPECTION PRIOR TO SUBMITTING THE NOTICE OF TERMINATION (NOT) TO THE NYSDEC. THE QUALIFIED INSPECTOR SHALL CERTIFY THAT ALL DISTURBED AREAS ACHIEVED FINAL STABILIZATION.
21. THE NAME AND TITLE OF THE INDIVIDUALS RESPONSIBLE FOR STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IMPLEMENTATION SHALL BE ATTACHED TO THE SWPPP AND MAINTAINED ON THE SITE.
22. THE OWNER/OPERATOR SHALL ENSURE THAT AT LEAST ONE TRAINED INDIVIDUAL IS ON-SITE ON A DAILY BASIS WHEN SOIL DISTURBANCE ACTIVITIES ARE BEING PERFORMED.
23. FINAL STABILIZATION MEANS THAT ALL SOIL DISTURBANCE ACTIVITIES HAVE CEASED AND A UNIFORM, PERENNIAL VEGETATIVE COVER WITH DENSITY OF 80% OVER THE ENTIRE PVIOUS SURFACE HAS BEEN ESTABLISHED.

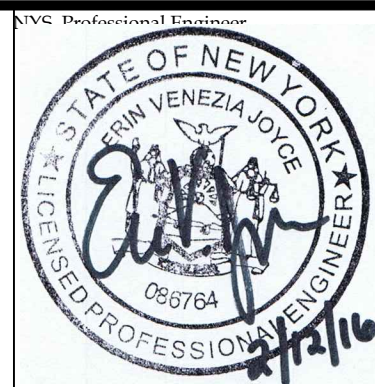
GRADING NOTES:

1. THE CONTRACTOR SHALL LOCATE, MARK, SAFEGUARD, AND PRESERVE ALL SURVEY CONTROL MONUMENTS AND RIGHT-OF-WAY MONUMENTS IN THE AREAS OF CONSTRUCTION.
2. EROSION CONTROL MEASURES ARE TO BE ESTABLISHED PRIOR TO COMMENCING EARTHWORK. NO SITE PREPARATION SHALL COMMENCE UNTIL A VISUAL INSPECTION BY THE TOWN OF CANANDAIGUA CONFIRMS THE INSTALLATION OF PERIMETER SEDIMENT CONTROLS. EROSION CONTROL SERVICES ARE TO BE MAINTAINED BY THE CONTRACTOR UNTIL UPSTREAM GROUND COVER HAS BEEN ESTABLISHED AND REMOVAL IS APPROVED BY THE TOWN OF CANANDAIGUA. REFER TO THE PLANS AND THE TOWN OF CANANDAIGUA CHAPTER 85, SOIL EROSION AND SEDIMENTATION CONTROL SPECIFICATIONS FOR THE EROSION CONTROL DEVICES.
3. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING, REPLACING AND SUBSEQUENTLY REMOVING EROSION CONTROL DEVICES FOR THE DURATION OF THE CONTRACT.
4. THE CONTRACTOR WILL PROVIDE CRUSHED STONE STABILIZED CONSTRUCTION ENTRANCE AT THE PROJECT ENTRANCE.
5. THE CONTRACTOR WILL BE RESPONSIBLE FOR PREVENTING SILT RUNOFF FROM ACCUMULATION ON THE EXISTING ROADS AND/OR BEING CONVEYED DOWNSTREAM. DIVERSIONARY BERMS, INTERCEPTORS SWALES AND CRUSHED STONE FILTERS SHALL BE EMPLOYED TO PROTECT CANANDAIGUA LAKE.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ADJOINING PROPERTIES, ROADWAYS, DRAINAGE WAYS AND SINKS OF SILT ACCUMULATION AS NEEDED AND AS DETERMINED/REQUESTED BY THE TOWN OF CANANDAIGUA.
7. THE OWNER WILL BE RESPONSIBLE FOR IMPLEMENT THE REQUIRED STORMWATER POLLUTION PREVENTION PLAN, INCLUDING THE FILING OF A "NOTICE" OF INTENT PRIOR TO CONSTRUCTION START. THE OWNER HAS CONSTRUCTOR, SUB-CONTRACTOR AND ALL OTHER ASSOCIATES WITH THE IMPLEMENTATION OF THIS PLAN SHALL BE FAMILIAR WITH PLAN AND THE CONDITIONS OF THE NYSDEC GENERAL PERMIT GP-0-15-002 FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES.
8. DUST SHALL BE CONTROLLED DURING CONSTRUCTION BY THE CONTRACTOR TO MINIMIZE THE EFFECT ON ADJACENT PROPERTIES. THE CONTRACTOR SHALL PERFORM DUST CONTROL MEASURES AS NEEDED AND AS DETERMINED/REQUESTED BY THE TOWN OF CANANDAIGUA.
9. THE TOPSOIL SHALL BE SEEDDED AFTER COMPLETION OF STRIPING.
10. THE TOPSOIL STOCKPILE LOCATION SHALL BE APPROVED BY THE TOWN OF CANANDAIGUA.

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1520 Laura Lane Canandaigua New York, 14424



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NYS Land Surveyor

Rocco A. Venezia, P.L.S.
License # 042761

Drawing Title: EROSION CONTROL NOTES AND DETAILS

Site Plan Prepared For:

Joy Wegman

Showing Land at
4417 County Road 16
Town of Canandaigua
County of Ontario State of New York

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File# 15251

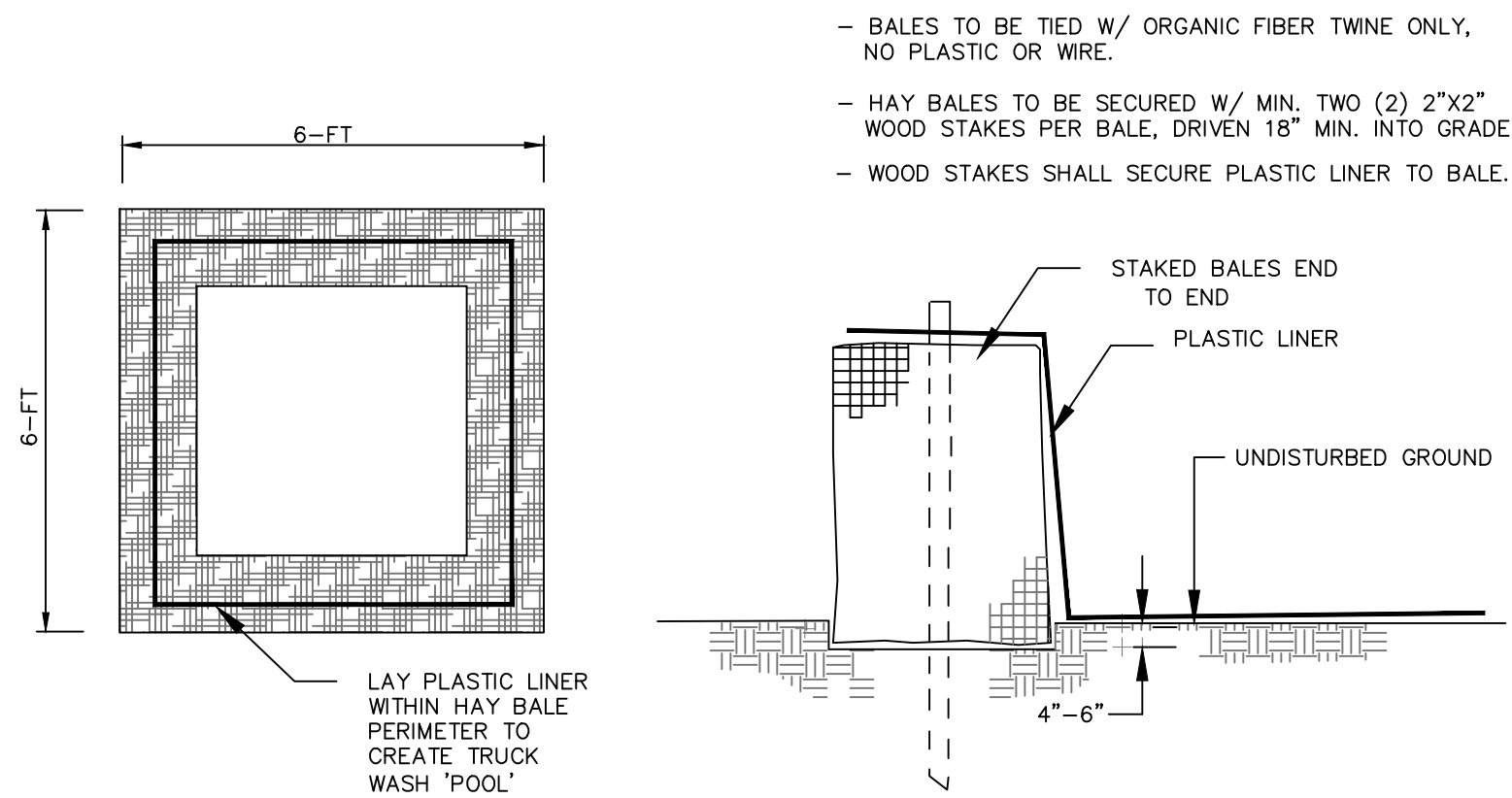
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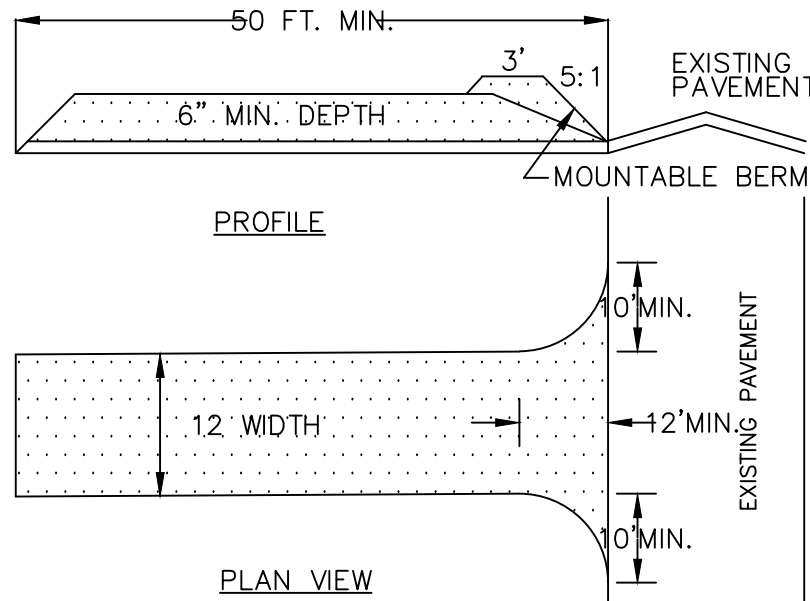
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CONCRETE TRUCK WASH AREA

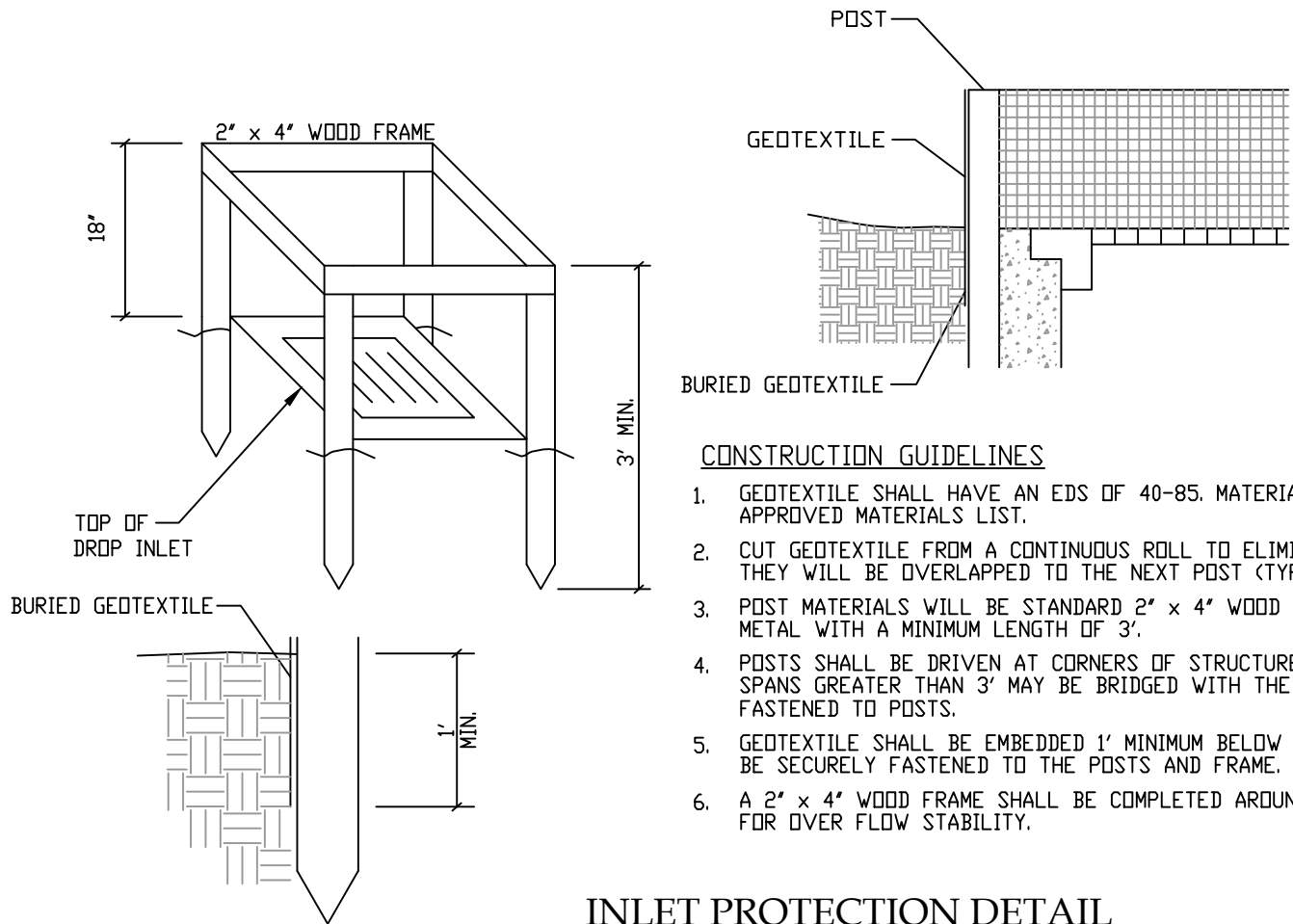
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STABILIZED CONSTRUCTION ENTRANCE DETAILS

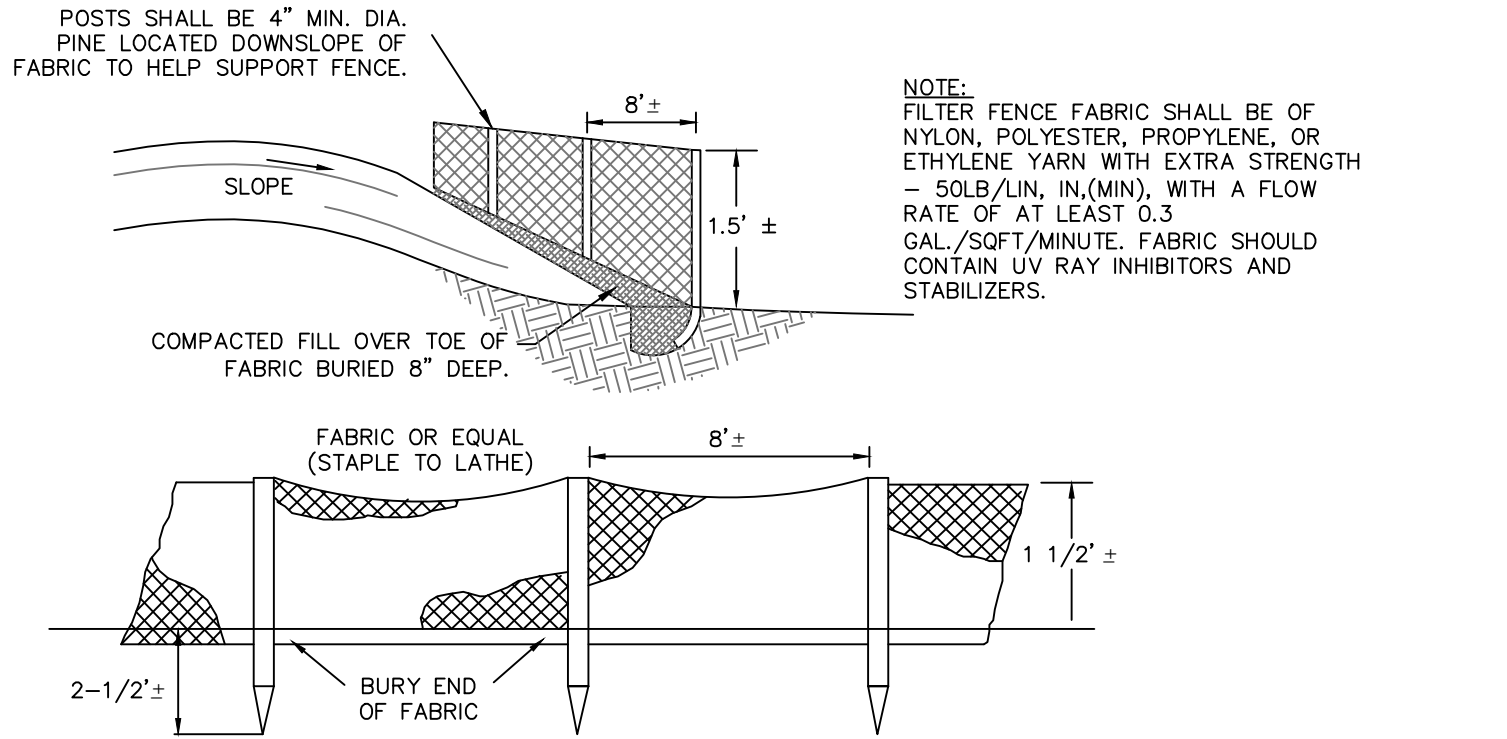
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1. STONE SIZE - USE #2 STONE
2. THICKNESS - NOT LESS THAN 6 (SIX) INCHES.
3. WIDTH - FULL ENTRANCE WIDTH
4. USE FILTER FABRIC UNDER STONE FOR ENTRANCE STABILITY.
5. MAINTENANCE - THE CONTRACTOR SHALL MAINTAIN THE ENTRANCE IN A CONDITION WHICH WILL PREVENT TRACKING OR SEDIMENT FLOW ONTO A PUBLIC HIGHWAY.
6. WHEN HIGHWAY WASHING IS REQUIRED, IT SHALL BE DONE IN A MANNER THAT DIRECTS SEDIMENT RUNOFF TOWARDS EROSION CONTROL DEVICES. INSTALL ADDITIONAL EROSION CONTROLS, IF NEEDED.
7. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AFTER EACH RAINSTORM.



INLET PROTECTION DETAIL

N.T.S.



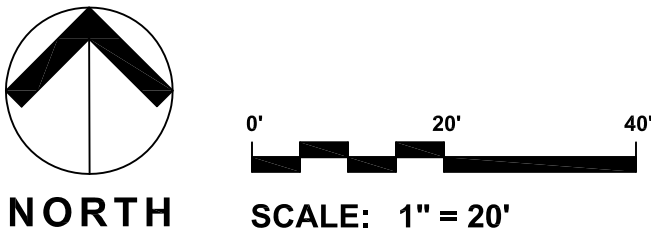
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ONE STAGE SITE PLAN APPROVAL

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| PLANNING BOARD CHAIRPERSON | DATE |
| TOWN HIGHWAY & WATER SUPERINTENDENT | DATE |
| TOWN ENGINEER | DATE |

NOTE:
NO BUILDING PERMIT MAY BE ISSUED UNTIL FINAL SITE PLAN APPROVAL HAS BEEN GRANTED AND THE FINAL SITE PLAN SIGNED BY THE PLANNING BOARD CHAIRPERSON.



1. ALL DISTURBED AREAS SHALL RECEIVE 6" TOPSOIL MINIMUM AND SHALL BE FINE GRADED AND SEEDED PER THE SEED SCHEDULE ON THIS PLAN.
2. TOPSOIL AND ORGANIC MATERIAL SOURCES MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE.
3. SOIL MIX SHALL HAVE A PH RANGE OF 5.0 TO 7.0.
4. HAVE SOIL MIX TESTED BY AN APPROVED HORTICULTURAL TESTING LAB. ADD RECOMMENDED ORGANIC SLOW RELEASE FERTILIZERS AS REQUIRED AT THE RECOMMENDED RATES.
5. ALL BED CONFIGURATIONS AND LAYOUT OF ALL PLANT MATERIAL SHALL APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING.
6. ALL PLANTS MUST MEET OR EXCEED THE STANDARDS OUTLINED IN THE CURRENT EDITION OF ANSI Z260.1, THE AMERICAN STANDARD FOR NURSERY STOCK.
7. PLANTING MEDIUM SHALL BE COMPOSED OF 3 PARTS APPROVED TOPSOIL AND 1 PART APPROVED AGED COMPOST BY VOLUME. PLANTING MEDIUM SHALL BE THOROUGHLY BLENDED PRIOR TO PLACEMENT.
8. ALL PLANTING BEDS SHALL RECEIVE 3" OF DOUBLE GROUND SHREDDED HARDWOOD BARK MULCH.
9. ALL PLANTS SHALL BE MAINTAINED AND GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER.
10. ALL SEEDED AREAS SHALL BE MAINTAINED AND WATERED UNTIL A HEALTHY STAND OF GRASS, FREE OF WEEDS, IS ESTABLISHED AND (3) MOWINGS HAVE BEEN COMPLETED.
11. THE CONTRACTOR SHALL COORDINATE WITH UTILITY AGENCIES TO VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING PLANTING OPERATIONS.

1. TEMPORARILY STABILIZE DISTURBED AREAS OF THE SITE WHEREVER ESTABLISHMENT OF PERMANENT COVER IS NOT FEASIBLE UNTIL A LATER DATE. SEED ALL CUT AND FILL AREAS, TOPSOIL PILES AND PONDS WITHIN SEVEN (7) DAYS AFTER COMPLETION.
2. IF SOILS ARE COMPACTED, SCARIFY UPPER TWO INCHES BY BACKBLADING, RAKING, OR LIGHTLY DISKING.
3. ALL SOILS SHALL BE TESTED BY AN APPROVED HORTICULTURAL TESTING LAB. TO DETERMINE THE REQUIRED ORGANIC SLOW RELEASE FERTILIZERS AS REQUIRED AT THE RECOMMENDED RATES.
4. SEED WITH THE FOLLOWING MIX:

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|--------------------------|---------------|-----------------|
| SPRING/SUMMER/EARLY FALL | 6 LBS/1,000SF | ANNUAL RYEGRASS |
| LATE FALL/EARLY WINTER | 6 LBS/1,000SF | CEREAL RYE |
5. CONTRACTOR SHALL MAINTAIN SEEDED AREA UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED WITH A GERMINATION RATE OF AT LEAST 85 PERCENT AND MINIMAL INERT MATERIAL.
6. APPLY STRAW MULCH-STRAW MULCH AS NECESSARY TO HOLD IN MOISTURE, PROTECT SOIL FROM EROSION, HOLD SEED IN PLACE, AND KEEP SOIL TEMPERATURES ABOVE 50 DEGREES F. 3 BALES PER 1000 SQ. FT.

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| XX | Deciduous Trees | | | | | | |
| XX | Symbol | QTY | Botanical Name | Common Name | Size | Root | Notes/ Alternates |
| | AS | 3 | Acer saccharum | Sugar Maple | 2.5' cal | B&B | |
| XX | Evergreen Trees | | | | | | |
| XX | Symbol | QTY | Botanical Name | Common Name | Size | Root | Notes/ Alternates |
| | PA | 6 | Picea abies | Norway Spruce | 7-8' ht. | B&B | Picea strobus |

NOTE:
The plant schedule and planting plan is preliminary and is intended to show proposed intent. The final species selections and precise planting location will be determined based on plant availability and field conditions at the time of planting.