

# Canandaigua Town Board Meeting Agenda for October 28, 2024 Onnalinda Room - 6:00pm

## ZOOM MEETING INFORMATION:

Please register in advance of this meeting using the following link:

[https://us02web.zoom.us/join/92PBu15q7\\_hCirh9kEvA6VV](https://us02web.zoom.us/join/92PBu15q7_hCirh9kEvA6VV)

After registering, you will receive a confirmation email containing information about joining the meeting.

*Please be aware all participants will be muted upon entry to the meeting and will only be able to speak after being acknowledged. Participants should use the "raise hand" feature or the chat box to request to speak. No screen sharing will be permitted. All meetings are recorded. Individuals will be removed from the meeting for inappropriate behavior.*

### Call To Order and Pledge of Allegiance

- Pledge led by Terry Fennelly

### Roll Call

- Town Clerk Confirmation meeting was properly advertised

### Circulation of Written Communications and Correspondence –

Most recent correspondence has been included in

#### Attachment #1

### Privilege of the Floor

### Priority Business

- Birthdays

### Presentations

- **William Gorham House – National Register of Historic Places Presentation & Proclamation**

### *Continued Public Hearings:*

- *Conditional Approval of Incentive Zoning for Uptown Landing*

### *New Public Hearings:*

- **2025 Preliminary Budget (Attachment #2)**

### Reports of Town Officials and Department Heads – (Attachment #3)

- A. Highway / Water Superintendent
- B. Assessor
- C. Historian
- D. Town Clerk
- E. Planner
- F. Human Resources & Parks Coordinator
- G. Supervisor / Deputy Supervisor
  1. Monthly Financial Reports
    - a. Revenue & Expense Report and Cash Summary Report
    - b. Overtime Report – All Departments
    - c. Overtime Report – Highway & Water

### Reports of Town Board Standing Committees (Attachment #4)

- A. Town Board Committees
  - a. Finance
  - b. Planning & Public Works
  - c. Ordinance

d. Economic Development  
B. Reports of Citizen Boards, Committees and Commissions

Privilege of the Floor

Continuing Resolutions and Motions

- **RESOLUTION 2024-242A: SEQR DETERMINATION OF NON-SIGNIFICANCE FOR THE UPTOWN LANDING INCENTIVE ZONING PROJECT**

**WHEREAS**, the Town Board is considering an application for incentive zoning for the Uptown Landing Project (“Action”) (0000 Parkside Drive TM# 70.00-1-65.100; 70.00-1-18.117; 70.00-1-18.115; & 70.00-1-18.114; and

**WHEREAS**, the Town Board has determined that the Action is classified as a Type I Action under SEQR regulations per Section 617 of the NYS Environmental Conservation Law; and

**WHEREAS**, by Town Board Resolution 2024-215 the Town Board declared its intent to be lead agency under the SEQR Regulations and directed the Town Planner to take such actions as are necessary to notify interested and involved agencies; and

**WHEREAS**, the Town Board has given consideration to the criteria for determining significance as set forth in § 617.7(c)(1) of the SEQR Regulations and the information contained in the Full Environmental Assessment Form Part 1 as well as the Enhanced Environmental Assessment Form Report prepared by Marathon Engineering, dated July 12, 2024, along with all appendices and attachments thereto; and

**WHEREAS**, the Town Board has completed Part 2 and Part 3 of the Full Environmental Assessment Form with the assistance of Town Staff, Town Engineer, and Town Attorney; and

**WHEREAS**, the Town Board has given consideration to the criteria for determining significance as set forth in Section 617.7(c) (1) of the SEQR Regulations and the information contained in Full Environmental Assessment Form Parts 1, 2, and 3;

**NOW, THEREFORE, BE IT RESOLVED**, that the Town Board designates itself as lead agency for the above-described Action; and

**BE IT FURTHER RESOLVED** that the Town Board has reasonably concluded that there would not be any substantial adverse impact on the following: land use planning or zoning regulations, intensity of use of the land, character or quality of the existing community, environmental characteristics, existing level of traffic or infrastructure, use of energy, public or private water supply, public or private wastewater treatment utilities, character or quality of important historic, archaeological or aesthetic resources, natural resources, potential for flooding, erosion, or drainage problems, or creation of a hazard to environmental resources or human health; and

**BE IT FURTHER RESOLVED** that the Town Board determines based upon the information and analysis documented, that the proposed Action will not result in any significant adverse environmental impacts and does hereby make a Determination of Non-Significance for the proposed Action; and

**BE IT FINALLY RESOLVED** that the Town Manager is hereby directed to sign the Full Environmental Assessment Form Part 3 and file same with the Town Clerk as evidence that the Town Board has determined that the proposed Action will not result in significant adverse environmental impacts. **(ATTACHMENT #5)**

- **RESOLUTION 2024-243: CONDITIONAL APPROVAL OF INCENTIVE ZONING FOR UPTOWN LANDING**

**WHEREAS**, Uptown Landing LLC (“Applicant”) has submitted an application to the Town Board of the Town of Canandaigua requesting incentive zoning, pursuant to Town Code 220-31, for certain real property located on Parkside Drive and Fire Hall Road which is more fully described in the attached EXHIBIT A (“Property”), to construct the Uptown Landing project consisting of approximately 224 apartment units located in three-story apartment buildings, 91 apartment units and

5,000SF of commercial/retail space located in a four-story mixed-use building, 90 for-sale townhouse units, and 230 single family homes (“Project”), which is set forth in the Incentive Zoning Plan for Uptown Landing Residential Development, prepared by Marathon Engineering, and dated July 12, 2024, (“Concept Plan”); and

**WHEREAS**, Applicant is proposing to provide certain amenities to the Town of Canandaigua, described in the attached EXHIBIT B (“Amenities”) in exchange for the grant of certain incentives described in the attached EXHIBIT C (“Incentives”); and

**WHEREAS**, pursuant to Town Board Resolution # 2024-242 the Town Board issued a Negative Declaration with respect to the Project pursuant to the NY State Environmental Quality Review Act; and

**NOW THEREFORE BE IT RESOLVED**, that for the reasons set forth herein the Town Board hereby determines that the Amenities provide sufficient public benefit to grant the Incentives; and

**BE IT FURTHER RESOLVED**, that a detailed description of the Amenities being provided by Applicant is attached hereto as EXHIBIT B; and

**BE IT FURTHER RESOLVED**, that a detailed description of the Incentives being granted by the Town Board is attached hereto as EXHIBIT C; and

**BE IT FURTHER RESOLVED**, that in exchange for Applicant providing the Amenities the Town Board grants the Incentives for the Project, subject to the terms and conditions set forth herein; and

**BE IT FURTHER RESOLVED**, that the Town Board hereby approves the Incentive Zoning Agreement attached hereto as EXHIBIT D, and authorizes and directs the Town Supervisor to execute the Incentive Zoning Agreement on behalf of the Town, and that any changes as to form shall require approval of the Town Attorney; and

**BE IT FURTHER RESOLVED**, that the Town Board imposes the Conditions contained in EXHIBIT E on the incentive zoning Project; and

**BE IT FURTHER RESOLVED**, that the Town Board hereby adopts the Statement of Findings attached hereto as EXHIBIT F (“Findings”); and

**BE IT FURTHER RESOLVED**, that the Project shall be subject to the site plan requirements contained in Town Code Chapter 220, Article VII, and that Applicant shall obtain Preliminary Overall Site Plan Approval from the Planning Board for the entire Project prior to the Town Clerk affixing a reference to the Official Zoning Map that the Property was approved under Town Code 220-31 Incentive Zoning, and that obtaining signed Preliminary Overall Site Plans for the entire Project shall constitute “final plan approval” under Town Code 220-31(N); and

**BE IT FURTHER RESOLVED**, that the exhibits attached hereto are hereby made a part of, and incorporated into this Resolution as if fully restated herein; and

**BE IT FURTHER RESOLVED**, that for the reasons set forth in the attached Findings the Town Board determines that the Amenities shall not require site plan approval but shall be required to comply with all other provisions of Town Code, Town Site Design and Development Criteria, and Uniform Construction Codes. **(ATTACHMENT #6)**

Resolutions and Motions

## FINANCE

- **RESOLUTION NO. 2024-250: APPOINTMENT OF SIGNATORS ON TOWN’S BANK ACCOUNTS WITH CANANDAIGUA NATIONAL BANK**

- RESOLUTION 2024-251: ACKNOWLEDGEMENT AND AUTHORIZATION OF BUDGET TRANSFERS BY TOWN MANAGER
- RESOLUTION NO.2024-252: THE ADDITION OF JOHN FALBO AS TOWN OF CANANDAIGUA INVESTMENT ACCOUNT ADMINISTRATOR WITH NYCLASS AND MUNITRUST
- RESOLUTION NO. 2024 -253: BUDGET TRANSFER AUTHORIZATION
- RESOLUTION NO. 2024-254: AUTHORIZE PURCHASE OF CAPITAL EQUIPMENT FOR VARIOUS DEPARTMENTS
- RESOLUTION NO. 2024-255: REIMBURSEMENT OF WATER ACCOUNT

#### PLANNING / PUBLIC WORKS

- RESOLUTION NO. 2024-256: THE TOWN OF CANANDAIGUA ONANDA PARK UPLANDS AREA IMPROVEMENTS PROJECT AND SEQR TYPE I ACTION – INTENT TO BE LEAD AGENCY
- RESOLUTION NO. 2024-257: AUTHORIZING EXECUTION OF ADMINISTRATION AND OPERATION AGREEMENT FOR SPECIAL DISTRICT WATER SERVICES
- RESOLUTION NO. 2024-258: SETTING THE OPERATIONS AND MAINTENANCE (O&M) RATE FOR SPECIAL WATER DISTRICTS

#### ORDINANCE

- RESOLUTION NO. 2024–259: SETTING A PUBLIC HEARING ON A TEXT CODE AMENDMENT TO TOWN CODE CHAPTERS 220-9 AND 220-20 THAT WILL REDUCE THE MINIMUM REQUIREMENT FOR THE SIZE OF A DWELLING UNIT; AND SEQR INTENT TO DECLARE LEAD AGENCY

#### ECONOMIC DEVELOPMENT / GENERAL

- RESOLUTION NO. 2024-260: ACCEPTING COUNTY ROAD 10 EASEMENTS RELATED TO CREEKVIEW APARTMENTS AT WOODLAND PARK PHASE II
- RESOLUTION NO. 2024-261: ACCEPTANCE OF SOIL EROSION CONTROL SURETY PAYMENTS
- RESOLUTION NO. 2024-262: CREEKVIEW APARTMENTS, PHASE 1 ACCEPTANCE OF DEDICATION OF ROADWAY (WOODLAND PARK CIRCLE) AND INFRASTRUCTURE INCLUDING WATERMAIN AND STORM SEWER AND SIDEWALKS FOR PHASE 1 OF THE CREEKVIEW APARTMENTS SUBDIVISION, AUTHORIZATION FOR TOWN CLERK TO FILE NECESSARY DOCUMENTS
- RESOLUTION NO. 2024-263: TOWN OF CANANDAIGUA ADOPTION OF THE ONTARIO COUNTY HAZARD MITIGATION ACTION PLAN
- RESOLUTION NO. 2024-264: THE TOWN OF CANANDAIGUA NORTH ROAD RECONSTRUCTION AND NEW SIDEWALKS PROJECT AND SEQR TYPE I ACTION – INTENT TO BE LEAD AGENCY
- RESOLUTION NO. 2024 –265: AUTHORIZATION FOR TOWN OF CANANDAIGUA TOWN MANAGER TO SIGN STORMWATER CONTROL FACILITIES MAINTENANCE AGREEMENT FOR CREEKVIEW APARTMENTS AT WOODLAND PARK
- RESOLUTION NO. 2024-266: ACKNOWLEDGING WREATHS ACROSS AMERICA 2024 AND THANKING CEMETERY COMMITTEE FOR EFFORTS
- RESOLUTION NO. 2024-267: AUTHORIZING ADVERTISEMENT OF REBIDS FOR THE CANANDAIGUA TOWN HALL RENOVATIONS PROJECT
- RESOLUTION NO. 2024-268: AMENDING THE TOWN OF CANANDAIGUA VACATION, SICK, FLOATING HOLIDAY AND PERSONAL LEAVE POLICY FOR PART TIME EMPLOYEES
- RESOLUTION NO. 2024-269: ESTABLISHING A WORK FROM HOME POLICY
- RESOLUTION NO. 2024-270: OPTING INTO PAID FAMILY LEAVE
- RESOLUTION NO. 2024-271: AMENDING THE TOWN OF CANANDAIGUA’S LEAVE POLICY RELATED TO CANCER SCREENING

**RESOLUTION NO. 2024-250: APPOINTMENT OF SIGNATORS ON TOWN'S BANK ACCOUNTS WITH CANANDAIGUA NATIONAL BANK**

**WHEREAS**, the Town of Canandaigua's primary bank accounts are with Canandaigua National Bank and Trust Company; and

**WHEREAS**, the current signatory authorizations with the Town's accounts with Canandaigua National Bank include: Jared Simpson, Town Supervisor; Crystelyn Laske, Town Clerk, Lindsay Frarey, Director of Human Resources; and

**WHEREAS**, Mr. John Falbo was hired as the new Town Manager in August 2024; and

**WHEREAS**, the Town Board of the Town of Canandaigua wishes to make the Town Manager an authorized signatory on the Town accounts to continue the operations of the Town of Canandaigua in an efficient manner; and

**NOW, THEREFORE, BE IT RESOLVED** that the Town Board of the Town of Canandaigua does hereby authorize the Town Manager as a signatory of the Town bank accounts with Canandaigua National Bank; and

**BE IT FURTHER RESOLVED** that the Town Finance Clerk is authorized to notify Canandaigua National Bank of such action to include the addition of Mr. John Falbo as an additional signatory; and

**BE IT FINALLY RESOLVED** that the Town Clerk is directed to provide a copy of this resolution to Canandaigua National Bank, the Town Manager and the Finance Clerk II.

**RESOLUTION 2024-251: ACKNOWLEDGEMENT AND AUTHORIZATION OF BUDGET TRANSFERS BY TOWN MANAGER**

**WHEREAS**, the Town of Canandaigua Town Board (hereinafter referred to as "Town Board") has authorized the Town Manager and/or Clerk (Finance) to make interfund transfers in an amount less than \$5,000 by Resolution No. 2023-015; and

**WHEREAS**, the Town Manager and/or Clerk (Finance) have made budget transfers to compensate for expenses that exceeded the budgeted amount; and

**NOW, THEREFORE, BE IT RESOLVED** that the Town Board of the Town of Canandaigua hereby acknowledges and authorizes these budget transfers; and

**BE IT FINALLY RESOLVED** that the Town Board directs the Town Clerk to provide a copy of this resolution to the Finance Clerk II. **(ATTACHMENT #7)**

**RESOLUTION NO.2024-252: THE ADDITION OF JOHN FALBO AS TOWN OF CANANDAIGUA INVESTMENT ACCOUNT ADMINISTRATOR WITH NYCLASS AND MUNITRUST**

**WHEREAS**, the Town of Canandaigua's primary investment are with NYCLASS and MuniTrust; and

**WHEREAS**, Mr. John Falbo was hired as the new Town Manager in August 2024; and

**WHEREAS**, the Town Board of the Town of Canandaigua wishes to make the Town Manager an authorized signatory on the Town's NYCLASS and MuniTrust investment accounts continue the operations of the Town of Canandaigua in an efficient manner; and

**NOW, THEREFORE, BE IT RESOLVED** that the Town Board of the Town of Canandaigua does hereby authorize the addition as an authorized signatory of Mr. John Falbo to NYCLASS and MuniTrust investment accounts on behalf of the Town of Canandaigua; and

**BE IT FURTHER RESOLVED** that the Town Supervisor Jared Simpson shall remain the administrator of the NYCLASS and MuniTrust investment accounts; and

**BE IT FURTHER RESOLVED** that the Town Clerk, Crystelyn Laske shall remain an authorized signature on the Town of Canandaigua's investment accounts; and

**BE IT FINALLY RESOLVED** that the Town Clerk is directed to provide a copy of this resolution to Kathy Saville at NYCLASS, MuniTrust, the Town Manager and the Finance Clerk II.

**RESOLUTION NO. 2024 -253: BUDGET TRANSFER AUTHORIZATION**

**WHEREAS**, the Town Board of the Town of Canandaigua (herein after referred to as the "Town Board") is aware that adjustments need to be made within the Highway Budget to prevent a negative balance in the machinery contractual budget line (DA100.5130.400); and

**WHEREAS**, the Highway Superintendent has identified a budget line from which money can be transferred from in order to prevent the deficit; and

**WHEREAS**, the Town Board wishes to approve a budget transfer within the Highway Fund Budget of \$40,000 from the General Repairs Contractual (DA100.5110.400) to the Machinery Contractual line (DA100.5130.400); and

**NOW, THEREFORE, BE IT RESOLVED** that the Town Board hereby directs the Town Manager and Finance Clerk to make the following budget transfer entries into the Town of Canandaigua accounting system to amend the 2024 Town budget:

Increase: DA100.5130.400	\$ 40,000
Decrease: DA100.5110.400	\$ 40,000; and

**BE IT FINALLY RESOLVED** that the Town Board directs the Town Clerk to provide a copy of this resolution to the Town Manager and Finance Clerk.

**RESOLUTION NO. 2024-254: AUTHORIZE PURCHASE OF CAPITAL EQUIPMENT FOR VARIOUS DEPARTMENTS**

**WHEREAS**, the town board has been aware for the past several years that heavy equipment and fleet vehicles have not been replaced in accordance to the adopted replacement schedule; and

**WHEREAS**, the Highway Superintendent has worked with the Town Manager to finance the equipment and vehicles in the 2025 budget that are to be purchased for replacement; and

**WHEREAS**, the Highway Superintendent is requesting that the town board allow Highway Superintendent to begin the process of receiving quotes for the equipment due to the extended length of time it takes to receive; and

**WHEREAS**, the Highway Superintendent has identified the following items that are to be purchased in the 2025 budget:

1. John Deere 210 P Track excavator
2. John Deere 644 P wheeled loader

3. **Volvo 170 Wheeled Excavator**
4. **Three medium duty trucks**
5. **Two Code Enforcement vehicles**
6. **One water department medium duty truck;**

**NOW, THEREFORE, BE RESOLVED** that the Town Board of the Town of Canandaigua hereby authorizes the Highway Superintendent to proceed with the bidding of heavy equipment and vehicles that have been identified to be purchased in the 2025 town budget; and

**BE IT FURTHER RESOLVED** that the Town Clerk is directed to provide a copy of this resolution to the Highway Superintendent, the Finance Clerk, Town Supervisor and the Town Manager.

**RESOLUTION NO. 2024-255: REIMBURSEMENT OF WATER ACCOUNT**

**WHEREAS**, the Water Superintendent has been informed that a clerical error occurred on a water account that has overcharged a customer; and

**WHEREAS**, after reviewing the account with staff, it has been determined that when the account was created the information was mistakenly entered for the incorrect property address; and

**WHEREAS**, the amount due back to the property owner is \$444.50, to be paid from account SW 500.8320.400;

**NOW, THEREFORE, BE IT RESOLVED** that the Town Board of the Town of Canandaigua approves the reimbursement of \$444.50 to be paid by check to Gregory & Denise Kalbach, 3637 Lake Breeze Way, Canandaigua, NY 14424; and

**BE IT FURTHER RESOLVED** that the Town's Finance Clerk is authorized to make the necessary budgetary and accounting entries to effectuate the intent of this resolution, and

**BE IT FINALLY RESOLVED** that the Town Clerk shall provide a copy of this resolution to the Budget Officer, Finance Clerk, and Water Department.

**RESOLUTION NO. 2024-256: THE TOWN OF CANANDAIGUA ONANDA PARK UPLANDS AREA IMPROVEMENTS PROJECT AND SEQR TYPE I ACTION – INTENT TO BE LEAD AGENCY**

**WHEREAS**, the Town of Canandaigua Town Board (hereinafter referred to as Town Board) has reviewed the SEQR Full Environmental Assessment Form (EAF) Part 1, prepared by the MRB Group (hereinafter referred to as Town Engineer) on the above referenced Town of Canandaigua Onanda Park Uplands Area Improvements Project (hereinafter referred to as Action); and

**WHEREAS**, the Town Board determines that said Action is classified as a Type 1 Action under the State Environmental Quality Review (SEQR) Regulations; and

**WHEREAS**, the Town Board determines that said Action is also subject to a coordinated review and approval by other involved agencies under SEQR Regulations; and

**WHEREAS**, the Town Board determines that it is the most appropriate agency to insure the coordination of this Action and will provide written notifications to the identified involved and interested agencies, for the purpose of conducting a coordinated review and making the determination of significance thereon under the SEQR Regulations;

**NOW, THEREFORE BE IT, RESOLVED**, that the Town Board does hereby declare its intent to be designated as the lead agency for the Action, and identifies that it is a Type 1 Action pursuant to SEQRA; and

**BE IT FURTHER RESOLVED** that the Town Engineer is directed to provide notice hereof to the involved and interested agencies, seeking their agreement (or objection thereto) in writing; and

**BE IT FINALLY RESOLVED** that the Town Clerk is hereby directed to provide a copy of this resolution to the Town Manager, Highway & Water Superintendent, and the Town Engineer. **(ATTACHMENT #8)**

**RESOLUTION NO. 2024-257: AUTHORIZING EXECUTION OF ADMINISTRATION AND OPERATION AGREEMENT FOR SPECIAL DISTRICT WATER SERVICES**

**WHEREAS**, the Town Manager has presented an Administration and Operation Agreement for Water Services between Canandaigua Consolidated Water District (hereinafter referred to as "CCWD") and the following water districts:

- McIntyre Road Water District (S.2458)
- Canandaigua Bristol Water District (S.246A)
- County Road 30 Water District (S.2478)
- Hopkins Grimble Water District (S.248A)
- Hickox Road Water District (S.248D)
- Nott Road Water District, Ext#40 (S.249A)
- County Road #32, Ext#41 (S.2498); and

**WHEREAS**, under the terms of this agreement, CCWD will provide administrative and operational services to the water districts, including but not limited to billing, finance, budget, management, and maintenance of the water districts' property and equipment; and

**WHEREAS**, the agreement will be in effect for five (5) years, commencing with the 2025 Town of Canandaigua Fiscal Budget and each budget year thereafter, for the period between January 1, 2025 through December 31, 2029, unless terminated earlier by the Town Board; and

**WHEREAS**, the agreement specifies the allocation of Operation and Maintenance (O&M) fees, with 60% of collected fees to be transferred to CCWD for administrative and operational services, and the remaining 40% retained by each district for future maintenance needs; and

**WHEREAS**, CCWD will also charge the water districts the actual hourly rate for personnel engaged in repairs and maintenance services; and

**WHEREAS**, the agreement includes liability provisions and outlines the responsibilities of each party regarding the services provided; and

**WHEREAS**, the Town of Canandaigua Highway/Water Superintendent has reviewed this agreement and recommends the Town Board's adoption of such;

**NOW, THEREFORE, BE IT RESOLVED** that the Town Board of the Town of Canandaigua hereby approves the execution of the Administration and Operation Agreement for Water Services with the aforementioned water districts, and authorizes



the Town Supervisor and other Town Board members to execute the agreement on behalf of the Town of Canandaigua and its water districts; and

**BE IT FURTHER RESOLVED** that a copy of this resolution be filed with the Town Clerk and provided to the Town of Canandaigua Highway/Water Superintendent and any necessary parties of the listed Special Water Districts.

**(ATTACHMENT #9)**

**RESOLUTION NO. 2024-258: SETTING THE OPERATIONS AND MAINTENANCE (O&M) RATE FOR SPECIAL WATER DISTRICTS**

**WHEREAS**, the Town of Canandaigua provides water services to various special water districts within the town; and

**WHEREAS**, it is necessary to establish the operations and maintenance (O&M) rate for each special water district to ensure proper funding for maintenance, repairs, and operations of the water systems; and

**WHEREAS**, the Canandaigua Highway Superintendent has reviewed the operational needs and recommended that the O&M rate for the special water districts be set at \$0.50 (fifty cents) per \$1,000 of the assessed value, as the necessary amount to fund the operations and maintenance for each district; and

**WHEREAS**, the following special water districts are included in this resolution:

- McIntyre Road Water District (S.2458)
- Canandaigua Bristol Water District (S.246A)
- County Road 30 Water District (S.2478)
- Hopkins Grimble Water District (S.248A)
- Hickox Road Water District (S.248D)
- Nott Road Water District, Ext. #40 (S.249A)
- County Road #32, Ext. #41 (S.2498); and

**WHEREAS**, the disbursement of the O&M funds between the special districts and the Canandaigua Consolidated Water District (CCWD) shall be in accordance with the terms set forth in the "Administration & Operation Agreement for Special District Water Services," whereby 60% of the O&M fees collected by each water district will be transferred to CCWD for administrative and operational services, and the remaining 40% will be retained by the individual water districts for future maintenance needs; and

**NOW, THEREFORE, BE IT RESOLVED** that the Town Board of the Town of Canandaigua hereby sets the operations and maintenance (O&M) rate for the above-listed special water districts at \$0.50 (fifty cents) per \$1,000 of the assessed value for each district, based on the recommendation of the Canandaigua Highway Superintendent; and

**BE IT FURTHER RESOLVED** that the Budget Officer and the Town Manager shall take any and all necessary actions to implement the O&M rate into the yearly budget of the listed Special Water Districts, in accordance with the attached agreement; and

**BE IT FINALLY RESOLVED** that a copy of this resolution be filed with the Town Clerk and provided to the Town of Canandaigua Highway/Water Superintendent and any necessary parties of the listed Special Water Districts.

**RESOLUTION NO. 2024-259: SETTING A PUBLIC HEARING ON A TEXT CODE AMENDMENT TO TOWN CODE CHAPTERS 220-9 AND 220-20 THAT WILL REDUCE THE MINIMUM REQUIREMENT FOR THE SIZE OF A DWELLING UNIT; AND SEQR INTENT TO DECLARE LEAD AGENCY**

**WHEREAS**, the Town Board of the Town of Canandaigua (herein after referred to as “Town Board”) is considering a Local Law to execute a text code amendment to Town Code Chapters §220-9 and §220-20 that would reduce the minimum required square footage for a dwelling unit from 1,100 to 720; and

**WHEREAS**, the Town Board is aware of the desire to allow smaller home sizes in the Town of Canandaigua and this change would help homeowners seeking to build smaller; and

**WHEREAS**, the Town Board would like to hear from residents about the proposed Local Law; and

**WHEREAS**, the Town Board wishes to refer the proposed Local Law to the Town of Canandaigua Planning Board, Environmental Conservation Board, Zoning Board of Appeals, and the Ontario County Planning Board; and

**WHEREAS**, the Town Board intends to determine said proposed Local Law is classified as a Type I Action under the SEQR Regulations per §617 of the NYS Department of Environmental Conservation Law; and

**WHEREAS**, the Town Board intends to declare itself as the Lead Agency on the proposed action; and

**NOW, THEREFORE, BE IT RESOLVED** that the Town Board of the Town of Canandaigua hereby establishes a public hearing for the proposed Local Law to be held on November 25, 2024 at 6:00 pm at the Canandaigua Town Hall located at 5440 Route 5 & 20 West, Canandaigua, NY 14424 and also via Zoom videoconferencing; and

**BE IT FURTHER RESOLVED** that the Town Board directs the Town Planner to refer the proposed Local Law and notification of SEQR intent to declare Lead Agency to the Town of Canandaigua Planning Board, Environmental Conservation Board, Zoning Board of Appeals, and the Ontario County Planning Board; and

**BE IT FINALLY RESOLVED** that the Town Clerk is directed to provide notice of said public hearing.

**(ATTACHMENT #10)**

**RESOLUTION NO. 2024-260: ACCEPTING COUNTY ROAD 10 EASEMENTS RELATED TO CREEKVIEW APARTMENTS AT WOODLAND PARK PHASE II**

**WHEREAS**, CGA CR10 LLC, the property owners of the above-referenced development, have prepared a Watermain & Drainage Easement related to Creekview Apartments at Woodland Park PH 2 (Tax Map # 84.00-1-44.200 & 84.00-1-44.300) for the Town of Canandaigua; and

**WHEREAS**, at the request of the Town of Canandaigua, the property owner, CGA CR10 LLC, has submitted the required easements, descriptions, and maps to the Canandaigua Town Clerk’s office; and

**WHEREAS**, the Town Attorney of the Town of Canandaigua has recommended that the Town Board accept the Easements;

**NOW, THEREFORE, BE IT RESOLVED** that the Town Board of the Town of Canandaigua hereby accepts the Easements; and

**BE IT FINALLY RESOLVED** that the Town Clerk shall file said Easements at the Ontario County Clerk’s Office.

**(ATTACHMENT #11)**

**RESOLUTION NO. 2024-261: ACCEPTANCE OF SOIL EROSION CONTROL SURETY PAYMENTS**

**WHEREAS**, the Town of Canandaigua Planning Board has granted a Site Plan approval for the following properties:

5200 Foster Road, Canandaigua (Tax Map #126.00-1-46.410), owned by VNC Enterprises; and

3485 Lakeview Lane, Canandaigua (Tax Map #98.13-1-24.000), owned by Brett Shulman & Amy Libenson; and

**WHEREAS**, the Town of Canandaigua Planning Board has determined that soil erosion and sediment control sureties are to be provided and accepted by the Town Board prior to the issuance of building permits; and

**WHEREAS**, the Town Supervisor has reviewed the proposed estimates and found them to be satisfactory to meet the conditions of approval and the work to be completed; and

**WHEREAS**, the applicants have each provided a check in the amounts as follows:

\$19,778.00 for the purposes of the soil erosion and sediment control surety: (5200 Foster Rd- Check 42004 paid by Gerber Homes & Additions); and

\$811.14 for the purposes of the soil erosion and sediment control surety: (3485 Lakeview Ln- Check 1331 paid by Brett Shulman & Amy Libenson); and

**NOW, THEREFORE, BE IT RESOLVED**, the Town Board of the Town of Canandaigua hereby approves and accepts the listed soil erosion and sediment control surety payments in the total amount of \$20,589.14; and

**BE IT FURTHER RESOLVED** that the Town Clerk shall provide a copy of this resolution with the necessary documents to the Finance Clerk for deposit of the listed payments along with effectuating all associated budgetary and accounting entries.

**(ATTACHMENT #12)**

**RESOLUTION NO. 2024-262: CREEKVIEW APARTMENTS, PHASE 1 ACCEPTANCE OF DEDICATION OF ROADWAY (WOODLAND PARK CIRCLE) AND INFRASTRUCTURE INCLUDING WATERMAIN AND STORM SEWER AND SIDEWALKS FOR PHASE 1 OF THE CREEKVIEW APARTMENTS SUBDIVISION, AUTHORIZATION FOR TOWN CLERK TO FILE NECESSARY DOCUMENTS**

**WHEREAS**, the Town Board of the Town of Canandaigua (herein after referred to as 'Town Board') is considering the acceptance of a dedicated roadway and infrastructure (watermain and appurtenances, storm sewers and sidewalks) for Phase 1 of Creekview Apartments Subdivision; and

**WHEREAS**, the roadway to be dedicated in Phase 1 is Woodland Park Circle; and

**WHEREAS**, the Highway and Water Superintendent and Town Engineer (MRB Group) have completed and signed the Town of Canandaigua Inspection Form (Appendix G-7.0) and no deficiencies were identified; and inspected the watermain and no deficiencies were identified, and the Highway Superintendent has recommended that the Town Board accept the proposed dedication; and

**WHEREAS**, the Highway and Water Superintendent and Town Engineer (MRB Group) have completed the Town of Canandaigua Dedication Form (Appendix G-8.0) and recommends the Town Board accept the proposed dedication of the roadway and infrastructure; and

**WHEREAS**, the Town Attorney has reviewed the documentation associated with the proposed dedication and has approved the legal language and documentation presented by DeMarco Group dated October 17, 2024; and

**NOW, THEREFORE, BE IT RESOLVED**, that the Town Board hereby directs the Town Clerk to arrange for the filing of all necessary paperwork related to the proposed dedication at the Ontario County Clerk's Office.

**(ATTACHMENT #13)**

**RESOLUTION NO. 2024-263: TOWN OF CANANDAIGUA ADOPTION OF THE ONTARIO COUNTY HAZARD MITIGATION ACTION PLAN**

**WHEREAS**, the Town of Canandaigua recognizes the threat that natural hazards pose to people and property within the Town of Canandaigua; and

**WHEREAS**, the County of Ontario has prepared a multi-hazard mitigation plan, hereby known as Ontario County Hazard Mitigation Action Plan in accordance with the Disaster Mitigation Act of 2000; and

**WHEREAS**, Ontario County Hazard Mitigation Action Plan identifies mitigation goals and actions to reduce or eliminate long-term risk to people and property in the Town of Canandaigua from the impacts of future hazards and disasters; and

**WHEREAS**, adoption by the Town Board demonstrates their commitment to hazard mitigation and achieving the goals outlined in the Ontario County Hazard Mitigation Action Plan, August 8, 2024; and

**NOW, THEREFORE, BE IT RESOLVED** that the Canandaigua Town Board adopts the Ontario County Hazard Mitigation Action Plan, along with any future edits or amendments made by Ontario County to the current plan term, but shall be considered for re-adoption upon completion of the County's required five-year update; and

**BE IT FURTHER RESOLVED** that the Town Clerk provide a copy of this resolution to the Ontario County Office of Emergency Management.

**(ATTACHMENT #14)**

**RESOLUTION NO. 2024-264: THE TOWN OF CANANDAIGUA NORTH ROAD RECONSTRUCTION AND NEW SIDEWALKS PROJECT AND SEQR TYPE I ACTION – INTENT TO BE LEAD AGENCY**

**WHEREAS**, the Town of Canandaigua Town Board (hereinafter referred to as Town Board) has reviewed the SEQR Full Environmental Assessment Form (EAF) Part 1, prepared by the MRB Group (hereinafter referred to as Town Engineer) on the above referenced Town of Canandaigua North Road Reconstruction and New Sidewalks Project (hereinafter referred to as Action); and

**WHEREAS**, the Town Board determines that said Action is classified as a Type 1 Action under the State Environmental Quality Review (SEQR) Regulations; and

**WHEREAS**, the Town Board determines that said Action is also subject to a coordinated review and approval by other involved agencies under SEQR Regulations; and

**WHEREAS**, the Town Board determines that it is the most appropriate agency to insure the coordination of this Action and will provide written notifications to the identified involved and interested agencies, for the purpose of conducting a coordinated review and making the determination of significance thereon under the SEQR Regulations.

**NOW, THEREFORE, BE IT RESOLVED** that the Town Board does hereby declare its intent to be designated as the lead agency for the Action, and identifies that it is a Type 1 Action pursuant to SEQRA; and

**BE IT FURTHER RESOLVED** that the Town Engineer is directed to provide notice hereof to the involved and interested agencies, seeking their agreement (or objection thereto) in writing; and

**BE IT FINALLY RESOLVED**, the Town Clerk is hereby directed to provide a copy of this resolution to the Town Manager, Highway & Water Superintendent, and the Town Engineer.

**(ATTACHMENT #15)**

**RESOLUTION NO. 2024-265: AUTHORIZATION FOR TOWN OF CANANDAIGUA TOWN MANAGER TO SIGN STORMWATER CONTROL FACILITIES MAINTENANCE AGREEMENT FOR CREEKVIEW APARTMENTS AT WOODLAND PARK**

**WHEREAS**, the Town of Canandaigua and CGA CR10 LLC wish to enter into a Stormwater Control Facilities Maintenance Agreement to provide for the long term maintenance and continuation of permanent stormwater control measures as detailed in plans titled "Creekview Apartments at Woodland Park Phase 2 Final Plans" (Drawing Numbers 2490B-01 to 2490B-15) as prepared by BME Associates, and signed by the Town Planning Board Chairman on August 7, 2024; and

**WHEREAS**, the Town of Canandaigua as an MS4 is required to obtain stormwater control facilities maintenance agreements on new projects located within the Town of Canandaigua; and

**WHEREAS**, the Town and the property owner desire that the permanent stormwater control measures be constructed, as detailed on the approved project plans, and thereafter be maintained, cleaned, repaired, replaced, and continued in perpetuity by the property owner (CGA CR10 LLC) in order to ensure optimum performance of the components; and

**WHEREAS**, the property owner (CGA CR10 LLC) shall be responsible for all expenses related to the maintenance of the stormwater control measures; and

**WHEREAS**, a copy of the Stormwater Control Facilities Maintenance Agreement was presented to the Town Board for consideration and is available for review on the Town's website and is on file with the Town Clerk's office; and

**NOW, THEREFORE, BE IT RESOLVED** that the Town Board of the Town of Canandaigua authorizes the Town Manager to sign the Stormwater Control Facilities Maintenance Agreement between the Town of Canandaigua and CGA CR10 LLC for the stormwater facilities located at Creekview Apartments at Woodland Park and directs the Town Clerk to file such Maintenance Agreement at the Ontario County Clerk's office.

**(ATTACHMENT #16)**

**RESOLUTION NO. 2024-266: ACKNOWLEDGING WREATHS ACROSS AMERICA 2024 AND THANKING CEMETERY COMMITTEE FOR EFFORTS**

**WHEREAS**, the Town Board of the Town of Canandaigua (herein after referred to as 'Town Board') highly values its local heroes who have been laid to rest in our community; and

**WHEREAS**, the Cemetery Committee has done extensive research on ways in which the Town can continue to remember the veterans in our cemeteries and has applied to participate in the national program of Wreaths Across America; and

**WHEREAS**, Wreaths Across America's mission is to **Remember** the fallen. **Honor** those who serve. **Teach** the next generation the value of freedom; and

**WHEREAS**, the goal is to be able to place at Academy Cemetery 49 sponsored veterans' wreaths and at Hunn Cemetery 15 sponsored veterans' wreaths on the headstones of all local heroes laid to rest; and

**WHEREAS**, the Cemetery Committee, on behalf of the Town of Canandaigua, wishes to continue to ensure that individuals who served to protect the freedoms of our country never be forgotten, while bringing the community together in patriotic commemoration; and

**WHEREAS**, the Cemetery Committee will be responsible for executing the program; and

**NOW, THEREFORE, BE IT RESOLVED** that the Canandaigua Town Board hereby supports the second year of participation in the Wreaths Across America event to honor the Veterans at both Hunn and Academy Cemeteries on December 14, 2024; and

**BE IT FURTHER RESOLVED** that the Town Board thanks the Cemetery Committee for all its hard work to continue participating in this national program, Wreaths Across America, while furthering the communities' efforts to honor our local heroes who have been laid to rest; and

**BE IT FINALLY RESOLVED** that the Town Clerk is directed to provide a copy of this resolution to the Cemetery Committee of the Town of Canandaigua.

**RESOLUTION NO. 2024-267: AUTHORIZING ADVERTISEMENT OF REBIDS FOR THE CANANDAIGUA TOWN HALL RENOVATIONS PROJECT**

**WHEREAS**, Resolution No. 2024-227 authorized advertisement of bids for the Canandaigua Town Hall Renovation Project; and

**WHEREAS**, MRB Group prepared the Advertisement for Bids with a draft bidding schedule; and

**WHEREAS**, said resolution and bidding schedule provided for the bid opening to occur at the Town Hall on October 16th 2024 at 10 a.m.; and

**WHEREAS**, bids were received on such date and time, but the lowest received bid amount exceeded the New York State Wicks Law threshold of \$500,000 for public construction projects; and

**WHEREAS**, to move forward with the Town Hall renovation, the Town of Canandaigua will be required to rebid this project as four (4) separate contracts: General Construction, Electric, Mechanical, and Plumbing; and

**NOW, THEREFORE, BE IT RESOLVED** that the Canandaigua Town Board authorizes the rebid for the Canandaigua Town Hall Renovation Project with a bid opening date to be determined; and

**BE IT FURTHER RESOLVED** that upon determination of the new bid opening date and time, the Town Clerk shall have the Advertisement to Bid published in the local newspaper; and

**BE IT FINALLY RESOLVED** that the Town Clerk is directed to provide a copy of this resolution to the Highway Department and Gregory Hotaling, P.E. of MRB Group.

**RESOLUTION NO. 2024-268: AMENDING THE TOWN OF CANANDAIGUA VACATION, SICK, FLOATING HOLIDAY AND PERSONAL LEAVE POLICY FOR PART TIME EMPLOYEES**

**WHEREAS**, the Town of Canandaigua Town Board (herein after referred to as 'Town Board') desires to maintain an up-to-date Employee Handbook along with its policies; and

**WHEREAS**, staying competitive with vacation leave policies is essential for fostering a positive work environment, attracting and retaining talent, and ultimately driving business success; and

**WHEREAS**, the Human Resource Director reviewed the Holiday, Vacation, Sick, and Personal Leave Policy under Sections 801, 802, 803, and 805 of the Town of Canandaigua Employee Handbook specifically for Part Time Employees and found that our policies are not equitable for all staff and is recommending changes to bridge that gap; and

**WHEREAS**, the following recommended updates will be included in the Employee Handbook:

*801 Holidays*

Floating Holidays – A Part-Time employee will receive three (3) floating holidays in the amount of their average daily work hours.

Holiday Pay – If a Part-Time employee’s regularly scheduled workday falls on a designated holiday they will receive pay for their regularly scheduled work hours.

Assigned to Work on a Holiday – A full-time employee and a Part Time Employee who averages 20 or more hours a week who works on a designated holiday will be paid one and one-half times the employee’s regular rate of pay for all hours actually worked in addition to Holiday Pay.

*802 Vacation Leave*

Part-Time Employees with a regular work schedule of 20 or more hours per week – A part-time employee with a regular work schedule of 20 or more hours per week shall receive 2 weeks of paid vacation at time of hire. The 2 weeks will be equal to the average number of hours the employee is expected to work in that year. The vacation leave cannot exceed the employees normal work week schedule and/or weekly hours. The weeks granted shall be equal to the average number of hours the employee worked per week in the preceding year and will be credited on the employee’s anniversary date of hire following the schedule below.

*803 Sick Leave*

Eligibility – A part-time employee with a regular work schedule of 20 or more hours per week shall accrue sick time at a rate equivalent to their average daily work hours.

Allowance – A part-time employee will accrue one sick day a month based on their average daily work hours.

New Employees – A newly hired employee will be credited with eight hours of sick leave the first of the month after they are hired with the exception of Part Time employees whose time will be calculated based on their average daily work hours.

*805 Personal Leave*

Allowance – A part time employee will be credited with a prorated amount of paid personal leave each year based on hours worked in the previous year;

**NOW, THEREFORE, BE IT RESOLVED** that the Town Board hereby approves the above listed amendments to the Holiday, Vacation, Sick and Personal Leave policies for Part Time Employees under Section 801, 802, 803, and 805 of the Employee Handbook and directs the HR Director to make the adjustment for current staff as necessary to follow the new policies; and

**BE IT FURTHER RESOLVED** that the Human Resources Director and Town Manager are authorized to execute any and all documents necessary or appropriate to effectuate the intent of this resolution; and

**BE IT FINALLY RESOLVED**, the Town Clerk is directed to provide a copy of this resolution to the Human Resource Director.

**RESOLUTION NO. 2024-269: ESTABLISHING A WORK FROM HOME POLICY**

**WHEREAS**, the Town of Canandaigua recognizes the evolving nature of the workplace and the importance of flexibility for employees; and

**WHEREAS**, the COVID-19 pandemic has highlighted the benefits of remote work while also demonstrating the value of in-person collaboration; and

**WHEREAS**, a Work from Home model can enhance employee satisfaction, improve work-life balance, and increase productivity; and

**WHEREAS**, the Town of Canandaigua seeks to attract and retain talented employees by offering modern and flexible work arrangements; and

**NOW, THEREFORE, BE IT RESOLVED** that the Town of Canandaigua establishes the attached Work from Home Policy, effective October 28, 2024 with any future edits or amendments to said policy being made at the discretion of the Town Manager in consultation with the Human Resources Director; and

**BE IT FURTHER RESOLVED** that the Human Resources Director and Town Manager are authorized to execute any and all documents necessary or appropriate to effectuate the intent of this resolution and to disseminate this policy to all employees and to provide necessary training regarding the hybrid work arrangements; and

**BE IT FINALLY RESOLVED** that the Town Clerk is directed to provide a copy of this resolution to the Human Resource Director.

**(ATTACHMENT #17)**

**RESOLUTION NO. 2024-270: OPTING INTO PAID FAMILY LEAVE**

**WHEREAS**, the New York State Paid Family Leave (PFL) program provides essential benefits to employees for family-related events, including bonding with a newborn, caring for a family member with a serious health condition, or assisting with family obligations during a military deployment; and

**WHEREAS**, providing access to Paid Family Leave supports employee well-being, promotes a healthy work-life balance, and fosters a positive workplace culture; and

**WHEREAS**, the organization recognizes the importance of supporting its employees during critical life events;

**NOW, THEREFORE, BE IT RESOLVED** that the Town of Canandaigua hereby opts into the New York State Paid Family Leave program effective November 1, 2024; and

**BE IT FURTHER RESOLVED** that the Town of Canandaigua shall comply with all applicable laws and regulations governing the Paid Family Leave program and will inform employees of their rights and responsibilities under the program; and

**BE IT FURTHER RESOLVED** that the Human Resources Director and Town Manager are authorized to execute any and all documents necessary or appropriate to effectuate the intent of this resolution and ensure that all eligible employees can access these benefits; and

**BE IT FINIALLY RESOLVED** that the Town Clerk shall provide a copy of this resolution to the Human Resources Director.



**RESOLUTION NO. 2024-271: AMENDING THE TOWN OF CANANDAIGUA’S LEAVE POLICY RELATED TO CANCER SCREENING**

**WHEREAS**, the Town of Canandaigua is committed to the health and well-being of its employees; and

**WHEREAS**, New York State Civil Service Law § 159-b mandates provisions for leave for cancer screening to ensure that employees have access to necessary medical care; and

**WHEREAS**, the Town Board recognizes the need to update its existing Leave for Cancer Screening Policy to align with the current legal requirements; and

**WHEREAS**, the Human Resource Director identified that the Leave for Cancer Screening Policy was outdated and the updated law took effect on March 18, 2018, which establishes clear guidelines for employees seeking leave for any type of cancer screenings; and

**WHEREAS**, the Human Resource Director recommends that the Town Board adopt the following updated policy to align with legal requirements of New York State:

*607 Leave for Cancer Screening*

Policy – The Town of Canandaigua complies with New York State Civil Service Law which entitles all Town employees to paid leave to undertake screening of any cancer (under §159-b). This leave will not be charged against any available sick, vacation, personal, compensatory or other leave accruals. This does not preclude an employee’s option to use other available paid leave for this same purpose;

**NOW, THEREFORE, BE IT RESOLVED** that the Town of Canandaigua hereby adopts the updated Leave for Cancer Screening Policy; and

**BE IT FURTHER RESOLVED** that the Human Resources Director and Town Manager are authorized to execute any and all documents necessary or appropriate to effectuate the intent of this resolution along with any future edits or amendments to said policy required to maintain New York State compliance; and

**BE IT FURTHER RESOLVED** that the Town Clerk is directed to provide a copy of this resolution to the Human Resource Director.

- Approval of the following Town Board Meeting Minutes:
  - **08/26/24**
  - **09/19/24**
  - **09/23/24**

- Payment of the Bills  
Abstract Claim Fund Totals presented by Town Clerk  
Voucher Summary Report for Town Board Signatures  
(By signing, Town Board members represent they have reviewed the purchases for compliance with the Town’s approved policies & approve of the prepared Voucher Summary Report and the attached invoices)

Utility Abstract dated 10/10/2024 totaling \$ 172,311.18

General Fund	\$ 13,423.91
Highway Fund	\$ 511.65
Lighting Districts	\$ 38.82

Water Districts \$158,336.80

Town Board Abstract dated 10/28/2024 totaling \$ 975,130.69

General Fund \$ 265,633.40

Highway Fund \$ 600,313.10

Capital Projects \$ 73,120.39

Water Districts \$ 36,063.80

- Other Business
- Privilege of the Floor
- Adjournment

# **ATTACHMENT 1**

## **COMMUNICATIONS**



# TRAFFIC REPORT



During the Month of September 2024, Deputies continued to work the Enhanced Law Enforcement traffic patrol in the Town of Canandaigua. During this time, Deputies worked a total of 15 hours conducting traffic operations. Combined, they initiated 20 traffic stops and issued 14 citations consisting of the following:

County Road 16 - 7 citations  
- 7 speed in zone

State Route 5 - 1 citations  
- 1 Cell phone

Middle Cheshire Road – 3 citations  
- 3 speed in zone

State Route 21 – 1 citations  
- 1 Speed over 55

Whitecliff Drive – 1 citation  
- 1 Stop sign

State Route 332 – 1 citation  
- 1 Speed in zone

In addition to the above enforcement efforts, the deputies reported the following activity:  
N/A

Respectfully,

Sergeant Dana Egburtson

# Memo

To: Town Board of Canandaigua

CC: Agricultural Advisory Committee, Town Planner, Cloud Permit Workspace

Re: Review of CPN-2024-088, Incentive Zoning of Parkside Drive

From: Agricultural Advisory Committee

The Agricultural Advisory Committee Reviewed the Incentive Zoning request for Parkside Drive and they had these comments for the Town Board:

- The Agricultural Advisory Committee recommends that the Town Board find the proposed project DOES NOT impact agricultural land but the increased density of housing will increase traffic on adjacent roadways that will negatively impact the movement of farm machinery on those roadways.
- The Agricultural Advisory Committee recommends that the Town Board consider asking the developer for a momentary amenity that can be used to purchase development rights of at-risk agricultural land.

2024 Agricultural Advisory Committee Members:

- Samantha Stryker, Chairperson
- Bob DiCarlo
- Fernando Soberon
- Tim Riley
- Tim Stryker

# Memo

**To:** Town Board of Canandaigua

**CC:** Environmental Conservation Board, Town Planner, Cloud Permit Workspace

**Re:** Review of CPN-2024-088, Incentive Zoning of Parkside Drive

**From:** Environmental Conservation Board

The Environmental Conservation Board reviewed the Incentive Zoning request for Parkside Drive and they had these comments for the Town Board:

- The ECB supports the Town Board being the lead agency on the project.
- The ECB supports the addition of housing in the proposed area as housing is a critical need in the town. The ECB strongly urges affordable housing in the development.
- The ECB strongly recommends that additional public greenspace be added to this project. The ECB discussed many possible ways to add it such as removing houses from the north-east corner of the project or from the odd-shaped properties where roadways turn. Those spaces would lend themselves to creating a small playground or other passive greenspace. This would give all residents in the project better access to greenspace and better balance the visitor load in Blue Heron Park.
- The ECB noted that such a development will mean almost as many dogs as people. The ECB suggests that a dog park could be part of the public greenspace and amenities offered by the developer. The Town of Canandaigua does not have a dog park and a dog park in the development would help to reduce the number of dogs in Blue Heron Park.
- The ECB recommends that the developer consider climate friendly initiatives in their planning process to support NY State initiatives that will be banning fossil fuels in new construction starting in 2026. The ECB suggests that the developer consider roof top solar, air-source heat pumps, and other technologies that would support the initiative.
- The ECB recommends that the developer consider and implement these in their planning process: natural borders of tall native vegetation around storm water ponds; only Dark Sky compliant outdoor lighting; only native species be used in landscaping.

## **2024 Environmental Conservation Board Members:**

- Kimberly Burkard, Chairperson
- Justin Damann
- Edith Davey
- Mark Deutschlander
- Gary Kochersberger
- Pat Venezia

## Code Enforcement October Report

Another big month for our department, we have officially surpassed our total permits and applications for 2023 with no decrease in sight. This month has been busy with new builds getting in their last push before winter weather hits as well as complaints and code cases. We have seen month over month an increase in complaints surrounding multi-family residential occupancies which is a bit concerning from our point of view. We continue to actively pursue action while seeking compliance with all applicable codes and standards within each occupancy.

We have seen some questions and concerns from the public regarding the new FEMA Flood Maps and want to urge anyone with questions to reach out to our office. We are able to sit down with anyone and answer any questions or concerns while explaining what changes there are to their property or the township as a whole. Last note is that we have officially moved into Butler Road School house, while we have a few things to work out we will maintain the same level of efficiency and access to information for the community.

Year to Date Totals (as of 10/17/2024):

538 Applications submitted with a total estimated cost of construction of \$49,414,731.43

500 Permits issued with a total of \$213,155.12 in fees associated. Total estimated cost of construction of \$43,395,062.81

25 New Dwellings

3 New Commercial

16 Commercial Renovations/Alterations

2,264 Construction Inspections were performed.

100 Code Enforcement Cases.

48 Planning Reviews Completed.

26 Active SWPPP's.

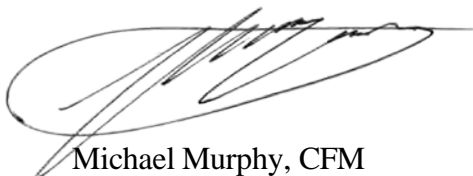
595 Storm Water Site Inspections.

23 Floodplain Development permits.

4 MS4 Illicit Discharge Investigations.

28 After Hours Call Outs.

Respectfully Submitted,

A handwritten signature in black ink, appearing to read "Michael Murphy", written over a horizontal line.

Michael Murphy, CFM

Lead Code Enforcement Officer

# **ATTACHMENT 2**

2025 Preliminary Budget





Town of Canandaigua , NY

# Budget Worksheet Account Summary

For Fiscal: 2025 Period Ending: 12/31/2025

		Defined Budgets								
		2023	2023	2024	2024	2025	2025	2025	2025	2025
		Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	2025 Dept Head	2025 Tentative	2025 Preliminary
<b>Fund: AA100 - GENERAL FUND</b>										
<b>Revenue</b>										
<a href="#">AA100.1001.00000</a>	REAL PROPERTY TAXES	575,000.00	575,000.00	544,873.00	544,873.00	0.00	0.00	1,060,423.00	475,238.00	1,011,817.00
<a href="#">AA100.1030.00000</a>	SPECIAL ASSESSMENT/PILOT	25,808.00	24,225.38	23,809.00	10,133.70	0.00	0.00	24,523.00	9,304.00	9,304.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Cdga Air Center			0.00	0.00	-231.00				
2025 Preliminary	DePaul			0.00	0.00	-914.00				
2025 Preliminary	Empire Pipeline			0.00	0.00	-6,274.00				
2025 Preliminary	FL Railway			0.00	0.00	-253.00				
2025 Preliminary	Parkside Apts			0.00	0.00	-1,632.00				
<a href="#">AA100.1090.00000</a>	PENALTY ON TAXES	11,000.00	19,765.15	11,000.00	18,356.10	0.00	0.00	11,330.00	12,500.00	12,500.00
<a href="#">AA100.1120.00000</a>	NON PROPERTY SALES TAX	2,775,000.00	3,638,402.29	2,875,000.00	1,433,830.20	0.00	0.00	2,900,000.00	2,900,000.00	2,900,000.00
<a href="#">AA100.1170.00000</a>	CABLE TV FRANCHISE FEES	85,000.00	93,753.58	90,000.00	86,248.98	0.00	0.00	92,700.00	92,700.00	92,700.00
<a href="#">AA100.1255.00000</a>	TOWN CLERK FEES	3,000.00	3,571.14	3,000.00	3,463.90	0.00	0.00	3,090.00	3,200.00	3,200.00
<a href="#">AA100.1603.00000</a>	VITAL STATISTICS FEE	4,070.00	4,700.00	4,600.00	2,948.00	0.00	0.00	4,738.00	4,390.00	4,390.00
<a href="#">AA100.2001.00000</a>	PARK & RECREATION FEES	140,000.00	127,261.60	140,000.00	122,427.85	0.00	0.00	144,200.00	120,000.00	120,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Cabin Rentals			0.00	0.00	-90,000.00				
2025 Preliminary	Pavilion Rentals			0.00	0.00	-30,000.00				
<a href="#">AA100.2001.10000</a>	PARK & REC FEES.FBC	40,000.00	0.00	0.00	0.00	0.00	0.00			
<a href="#">AA100.2110.00000</a>	ZONING FEES	45,000.00	60,859.67	50,000.00	73,674.00	0.00	0.00	51,500.00	55,000.00	55,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Short Term Rental			0.00	0.00	-18,000.00				
2025 Preliminary	Zoning Fees			0.00	0.00	-37,000.00				
<a href="#">AA100.2120.00000</a>	SOIL EROSION CONTROL	6,000.00	5,550.00	4,500.00	7,550.00	0.00	0.00	4,635.00	5,000.00	5,000.00
<a href="#">AA100.2148.00000</a>	RETURNED CHECK FEE	40.00	260.00	100.00	120.00	0.00	0.00	103.00	125.00	125.00

Budget Worksheet

For Fiscal: 2025 Period Ending: 12/31/2025  
 Defined Budgets

		2023 Total Budget	2023 Total Activity	2024 Total Budget	2024 Total Activity	2025 Total Budget	2025 YTD Activity	2025 2025 Dept Head	2025 2025 Tentative	2025 2025 Preliminary
<a href="#">AA100.2192.00000</a>	CEMETERY SERVICES	350.00	500.00	350.00	350.00	0.00	0.00	361.00	350.00	350.00
<a href="#">AA100.2302.00000</a>	SERVICES/OTHER GOVERNMEN...	25,000.00	31,000.00	67,000.00	8,000.00	0.00	0.00	12,000.00	12,000.00	12,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	City of Cdga transfer station days			0.00	0.00	-12,000.00				
<a href="#">AA100.2401.00000</a>	INTEREST & EARNINGS	3,500.00	195,144.32	80,000.00	160,776.41	0.00	0.00	200,000.00	200,000.00	200,000.00
<a href="#">AA100.2410.00000</a>	RENTAL OF REAL PROPERTY	16,360.00	17,580.00	16,360.00	14,997.24	0.00	0.00	17,880.00	17,880.00	17,880.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Boathouse Rental			0.00	0.00	-3,600.00				
2025 Preliminary	Farmland Lease (Stryker)			0.00	0.00	-2,280.00				
2025 Preliminary	Onanda House Rental			0.00	0.00	-12,000.00				
<a href="#">AA100.2544.00000</a>	DOG LICENSES	30,000.00	24,947.00	30,000.00	19,402.00	0.00	0.00	30,900.00	25,000.00	25,000.00
<a href="#">AA100.2590.00000</a>	SITE DEVELOPMENT FEES	75,000.00	95,217.70	75,000.00	133,236.11	0.00	0.00	100,000.00	100,000.00	100,000.00
<a href="#">AA100.2591.00000</a>	TRANSFER STATION FEES	25,000.00	22,861.00	25,000.00	16,929.00	0.00	0.00	25,750.00	25,000.00	25,000.00
<a href="#">AA100.2610.00000</a>	FINES & FORFEITED BAIL	105,000.00	86,859.40	110,000.00	82,374.00	0.00	0.00	113,300.00	95,000.00	95,000.00
<a href="#">AA100.2651.00000</a>	RECYCLING REVENUE	15,000.00	23,933.49	15,000.00	16,558.84	0.00	0.00	15,450.00	20,000.00	20,000.00
<a href="#">AA100.2665.00000</a>	SALE OF EQUIPMENT	1.00	9,175.00	0.00	10,775.00	0.00	0.00			
<a href="#">AA100.2680.00000</a>	INSURANCE RECOVERIES	0.00	7,856.87	0.00	0.00	0.00	0.00			
<a href="#">AA100.2701.00000</a>	REFUND PRIOR YEARS EXP	0.00	2,017.57	0.00	10,625.75	0.00	0.00			
<a href="#">AA100.2705.00000</a>	GIFTS & DONATIONS	1,000.00	2,626.70	1,000.00	1,150.00	0.00	0.00	1,030.00	2,000.00	2,000.00
<a href="#">AA100.2750.00000</a>	AIM-RELATED PAYMENTS	0.00	28,151.00	0.00	28,151.00	0.00	0.00			
<a href="#">AA100.2770.00000</a>	MISCELLANEOUS INCOME	0.00	67.28	0.00	351.62	0.00	0.00		30,000.00	30,000.00
<a href="#">AA100.3005.00000</a>	ONTARIO CO MORTGAGE TAX	300,000.00	538,357.21	275,000.00	114,649.68	0.00	0.00	283,250.00	300,000.00	300,000.00
<a href="#">AA100.3040.00000</a>	NYS AID TAX/ASSESSMENTS	12,000.00	0.00	0.00	24,257.64	0.00	0.00			
<a href="#">AA100.3089.00000</a>	ST AID.OTHER	0.00	6,307.49	8,308.59	10,277.59	0.00	0.00			
<a href="#">AA100.3092.00000</a>	ST AID.PLANNING STUDIES	15,000.00	0.00	0.00	0.00	0.00	0.00			
<a href="#">AA100.4089.00000</a>	FEDERAL AID, OTHER	0.00	1,080,158.00	0.00	0.00	0.00	0.00			
<a href="#">AA100.5031.00000</a>	INTERFUND TRANSFERS	38,000.00	0.00	15,000.00	0.00	0.00	0.00	20,000.00	20,000.00	20,000.00
<a href="#">AA100.5031.0000H</a>	INTERFUND TRANSFERS.CAPIT...	0.00	0.00	100,384.59	0.00	0.00	0.00			
<a href="#">AA100.5031.0000R</a>	TRANSFER FROM RESERVE	0.00	305,000.00	49,417.50	49,417.50	0.00	0.00		350,000.00	350,000.00
<a href="#">AA100.5031.000CM</a>	INTERFUND TRANSFERS.PARK ...	85,001.00	0.00	150,000.00	0.00	0.00	0.00	150,000.00	150,000.00	150,000.00

Budget Worksheet

For Fiscal: 2025 Period Ending: 12/31/2025  
Defined Budgets

		2023 Total Budget	2023 Total Activity	2024 Total Budget	2024 Total Activity	2025 Total Budget	2025 YTD Activity	2025 2025 Dept Head	2025 2025 Tentative	2025 2025 Preliminary
<a href="#">AA100.9000.00000</a>	APPROPRIATED FUND BALANCE..	3,163,721.00	2,399,595.00	1,958,311.00	3,071,700.00	0.00	0.00	600,000.00	700,000.00	700,000.00
	<b>Revenue Total:</b>	<b>7,619,851.00</b>	<b>9,430,703.84</b>	<b>6,723,013.68</b>	<b>6,077,605.11</b>	<b>0.00</b>	<b>0.00</b>	<b>5,867,163.00</b>	<b>5,724,687.00</b>	<b>6,261,266.00</b>
<b>Expense</b>										
<a href="#">AA100.1010.110.00000</a>	TOWN BOARD.ELECTED	22,129.00	22,128.08	22,792.00	18,408.60	0.00	0.00	23,476.00	23,476.00	23,476.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	TB #2			0.00	0.00	5,869.00				
2025 Preliminary	TB #3			0.00	0.00	5,869.00				
2025 Preliminary	TB #4			0.00	0.00	5,869.00				
2025 Preliminary	TB #5			0.00	0.00	5,869.00				
<a href="#">AA100.1010.400.00000</a>	TOWN BOARD.CONTRACTUAL	2,499.00	1,828.67	3,750.00	3,053.52	0.00	0.00	3,000.00	9,300.00	9,300.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Civic plus software (added by TM)			0.00	0.00	6,300.00				
2025 Preliminary	Ordinances & Local Laws			0.00	0.00	500.00				
2025 Preliminary	Public Hearing Notices			0.00	0.00	1,000.00				
2025 Preliminary	Training & Conferences			0.00	0.00	1,500.00				
<a href="#">AA100.1110.110.00000</a>	JUSTICES.ELECTED	55,552.00	55,551.60	57,218.00	46,214.70	0.00	0.00	92,000.00	76,000.00	76,000.00
<a href="#">AA100.1110.120.00000</a>	JUSTICES.COURT CLERK, FT	60,999.00	60,996.00	62,826.00	51,912.02	0.00	0.00	69,066.00	69,066.00	69,066.00
<a href="#">AA100.1110.130.00000</a>	JUSTICES.COURT CLERK, PT	1,000.00	357.60	1,000.00	59.73	0.00	0.00			
<a href="#">AA100.1110.140.00000</a>	JUSTICES.COURT CLERK, PT	29,120.00	15,945.00	33,488.00	23,688.75	0.00	0.00	37,128.00	37,128.00	37,128.00
<a href="#">AA100.1110.200.00000</a>	JUSTICES.CAPITAL.EQUIPMENT	500.00	379.62	9,808.59	4,641.17	0.00	0.00	1,500.00	1,500.00	1,500.00
<a href="#">AA100.1110.400.00000</a>	JUSTICES.CONTRACTUAL	8,150.00	6,506.13	9,050.00	5,727.41	0.00	0.00	11,120.00	8,000.00	8,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Association Dues			0.00	0.00	500.00				
2025 Preliminary	Cell Phone Stipend (1)			0.00	0.00	420.00				
2025 Preliminary	Financial Audit			0.00	0.00	3,000.00				
2025 Preliminary	Interpretive Services			0.00	0.00	100.00				
2025 Preliminary	Office Supplies (req \$1,000)			0.00	0.00	500.00				
2025 Preliminary	Postage (req \$2,000)			0.00	0.00	1,000.00				
2025 Preliminary	Toner (req \$1,000)			0.00	0.00	500.00				
2025 Preliminary	Training & Conferences (req 2,950)			0.00	0.00	1,980.00				
<a href="#">AA100.1110.401.00000</a>	JUSTICES..CONTR.COURTSECUR...	13,000.00	8,710.70	13,500.00	9,375.60	0.00	0.00	15,000.00	13,500.00	13,500.00
<a href="#">AA100.1220.110.00000</a>	SUPERVISOR.ELECTED	21,861.00	21,860.80	68,873.00	55,628.16	0.00	0.00	70,940.00	70,940.00	70,940.00

Budget Worksheet

For Fiscal: 2025 Period Ending: 12/31/2025  
 Defined Budgets

		2023	2023	2024	2024	2025	2025	2025	2025	2025
		Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	2025 Dept Head	2025 Tentative	2025 Preliminary
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	JS			0.00	0.00	70,940.00				
<a href="#">AA100.1220.120.00000</a>	SUPERVISOR.DEPUTY SUPERVI...	2,000.00	1,923.00	2,060.00	1,661.52	0.00	0.00	2,122.00	2,122.00	2,122.00
<a href="#">AA100.1220.142.00000</a>	SUPERVISOR.CONFIDENTIAL SE...	1.00	0.00	28,001.00	10,595.01	0.00	0.00	34,500.00	34,500.00	34,500.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	SC			0.00	0.00	34,500.00				
<a href="#">AA100.1220.400.00000</a>	SUPERVISOR.CONTRACTUAL	2,660.00	2,061.50	5,250.00	4,454.01	0.00	0.00	6,000.00	5,000.00	5,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Memberships			0.00	0.00	500.00				
2025 Preliminary	Office Supplies			0.00	0.00	500.00				
2025 Preliminary	Training - Conf. Secretary			0.00	0.00	500.00				
2025 Preliminary	Training & Conferences			0.00	0.00	3,500.00				
<a href="#">AA100.1230.100.00000</a>	TOWN MANAGER.PERSONAL S...	136,592.00	136,591.78	94,690.00	48,578.33	0.00	0.00	144,200.00	144,200.00	144,200.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	JF 3% increase per agreement			0.00	0.00	144,200.00				
<a href="#">AA100.1230.120.00000</a>	TOWN MGR.ADMINISTRATIVE ...	43,856.00	43,432.29	0.00	0.00	0.00	0.00			
<a href="#">AA100.1230.144.00000</a>	TOWN MGR. CLERK FINANCE P...	42,500.00	12,127.20	12,000.00	1,586.68	0.00	0.00			
<a href="#">AA100.1230.145.00000</a>	TOWN MGR.FINANCE CLERK F/T	65,000.00	53,730.85	62,500.00	51,738.55	0.00	0.00	70,000.00	70,000.00	70,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	JM			0.00	0.00	70,000.00				
<a href="#">AA100.1230.200.00000</a>	TOWN MANAGER.CAPITAL.EQU..	3,800.00	1,465.53	3,750.00	530.34	0.00	0.00	2,500.00	2,500.00	2,500.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Technology & Furniture			0.00	0.00	2,500.00				
<a href="#">AA100.1230.400.00000</a>	TOWN MANAGER.CONTRACTU...	9,430.00	9,417.97	23,060.00	21,397.41	0.00	0.00	10,760.00	10,760.00	10,760.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Cell Stipend (3)			0.00	0.00	1,260.00				
2025 Preliminary	Conference & Training - Staff			0.00	0.00	2,000.00				

**Budget Worksheet**

**For Fiscal: 2025 Period Ending: 12/31/2025**  
**Defined Budgets**

		2023	2023	2024	2024	2025	2025	2025	2025	2025
		Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	2025 Dept Head	2025 Tentative	2025 Preliminary
2025 Preliminary	Conference & Training -TM			0.00	0.00	3,000.00				
2025 Preliminary	Memberships			0.00	0.00	2,500.00				
2025 Preliminary	Office Supplies			0.00	0.00	500.00				
2025 Preliminary	Postage			0.00	0.00	1,500.00				
<a href="#">AA100.1320.400.00000</a>	AUDITOR.CONTRACTUAL	21,271.00	21,270.75	20,376.00	19,198.00	0.00	0.00	23,000.00	23,000.00	23,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Auditing Services for FY 2024			0.00	0.00	17,500.00				
2025 Preliminary	Single Audit			0.00	0.00	5,500.00				
<a href="#">AA100.1340.120.00000</a>	BUDGET OFFICER.PERSONAL S...	0.00	0.00	0.00	0.00	0.00	0.00	2,000.00		
<a href="#">AA100.1340.400.00000</a>	BUDGET.CONTRACTUAL	2,029.00	724.45	3,000.00	0.00	0.00	0.00	1,000.00	16,000.00	16,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Budget Legal Notices			0.00	0.00	200.00				
2025 Preliminary	CIP Budget Software			0.00	0.00	15,000.00				
2025 Preliminary	Print Budget Copies			0.00	0.00	800.00				
<a href="#">AA100.1345.400.00000</a>	PURCHASING.CONTRACTUAL	1,548.00	1,547.13	1,750.00	1,357.59	0.00	0.00	1,750.00	1,750.00	1,750.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	General Office Supplies			0.00	0.00	1,750.00				
<a href="#">AA100.1355.120.00000</a>	ASSESSOR.PERSONAL SERVICES	77,200.00	76,771.58	78,796.00	64,894.46	0.00	0.00	81,160.00	81,160.00	81,160.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	MR			0.00	0.00	81,160.00				
<a href="#">AA100.1355.132.00000</a>	ASSESSOR.REAL PROPERTY AIDE..	66,418.00	54,701.12	48,533.00	38,544.03	0.00	0.00	56,160.00	56,160.00	56,160.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	HR			0.00	0.00	56,160.00				
<a href="#">AA100.1355.150.00000</a>	ASSESSOR.BAR REVIEW SALARY	1,975.00	1,975.00	2,035.00	1,526.25	0.00	0.00	2,097.00	2,097.00	2,097.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Bar Chair			0.00	0.00	613.00				
2025 Preliminary	Bar Member #2			0.00	0.00	371.00				
2025 Preliminary	Bar Member #3			0.00	0.00	371.00				
2025 Preliminary	Bar Member #4			0.00	0.00	371.00				

**Budget Worksheet**

**For Fiscal: 2025 Period Ending: 12/31/2025**  
**Defined Budgets**

		2023	2023	2024	2024	2025	2025	2025	2025	2025
		Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	2025 Dept Head	2025 Tentative	2025 Preliminary
2025 Preliminary	Bar Member #5			0.00	0.00	371.00				
<a href="#">AA100.1355.200.00000</a>	ASSESSOR.CAPITAL.EQUIPMENT	500.00	0.00	500.00	0.00	0.00	0.00	500.00	500.00	500.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Technology Equipment			0.00	0.00	500.00				
<a href="#">AA100.1355.400.00000</a>	ASSESSOR.CONTRACTUAL	86,150.00	74,833.20	36,040.00	16,328.05	0.00	0.00	20,540.00	20,540.00	20,540.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Association Dues			0.00	0.00	500.00				
2025 Preliminary	Cell Phone Stipend (2)			0.00	0.00	840.00				
2025 Preliminary	IMATE			0.00	0.00	1,200.00				
2025 Preliminary	Legal Ads & Publications			0.00	0.00	400.00				
2025 Preliminary	Legal Expenses			0.00	0.00	5,000.00				
2025 Preliminary	MLS Annual Fee			0.00	0.00	600.00				
2025 Preliminary	Office Supplies			0.00	0.00	500.00				
2025 Preliminary	Postage			0.00	0.00	2,000.00				
2025 Preliminary	Roll Processing			0.00	0.00	2,600.00				
2025 Preliminary	RPS Fee (Ontario Cty)			0.00	0.00	1,500.00				
2025 Preliminary	Training & Conferences			0.00	0.00	5,000.00				
2025 Preliminary	Wireless/Internet			0.00	0.00	400.00				
<a href="#">AA100.1355.420.00000</a>	ASSESSOR.BAR REVIEW CONTR...	700.00	455.49	750.00	126.00	0.00	0.00	500.00	500.00	500.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Bar Meeting			0.00	0.00	250.00				
2025 Preliminary	Bar Training			0.00	0.00	250.00				
<a href="#">AA100.1380.400.00000</a>	FISCAL.AGENT.FEES	0.00	0.00	14,900.00	14,900.00	0.00	0.00	22,900.00	22,900.00	22,900.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	BPD fiscal services			0.00	0.00	8,000.00				
2025 Preliminary	Three + Plus one			0.00	0.00	14,900.00				
<a href="#">AA100.1410.110.00000</a>	TOWN CLERK.ELECTED	72,860.00	72,859.77	74,638.00	60,284.49	0.00	0.00	76,758.00	76,878.00	76,878.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Receiver of Taxes			0.00	0.00	4,000.00				
2025 Preliminary	Town Clerk Salary - CL			0.00	0.00	72,878.00				

Budget Worksheet

For Fiscal: 2025 Period Ending: 12/31/2025  
 Defined Budgets

		2023	2023	2024	2024	2025	2025	2025	2025	2025
		Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	2025 Dept Head	2025 Tentative	2025 Preliminary
<a href="#">AA100.1410.131.00000</a>	TOWN CLERK.FIRSTDEPUTY	48,006.00	48,005.90	53,560.00	43,689.76	0.00	0.00	56,203.00	56,203.00	56,203.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	First Deputy TC & Tax Receiver- HC			0.00	0.00	56,203.00				
<a href="#">AA100.1410.141.00000</a>	TOWN CLERK.DEPUTY #2	52,000.00	50,110.76	47,133.00	35,131.93	0.00	0.00	49,019.00	49,019.00	49,019.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Deputy Town Clerk - JO			0.00	0.00	49,019.00				
<a href="#">AA100.1410.142.00000</a>	TOWN CLERK.DEPUTY#3	42,476.00	33,662.75	47,133.00	21,242.52	0.00	0.00	47,133.00	47,133.00	47,133.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Deputy Town Clerk- TBD			0.00	0.00	47,133.00				
<a href="#">AA100.1410.200.00000</a>	TOWN CLERK.CAPITAL.EQUIPM...	850.00	626.78	850.00	659.61	0.00	0.00	850.00	850.00	850.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Town Clerk Equipment			0.00	0.00	850.00				
<a href="#">AA100.1410.400.00000</a>	TOWN CLERK.CONTRACTUAL	21,600.00	19,803.05	25,725.00	11,642.88	0.00	0.00	27,425.00	27,425.00	27,425.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	2 Yrs Speech Exec Transcription Licenses- HC & CL			2.00	275.00	550.00				
2025 Preliminary	Annual Training - 4 clerks			0.00	0.00	4,200.00				
2025 Preliminary	Attorney Fees			0.00	0.00	1,000.00				
2025 Preliminary	Audit of 2024 Books			0.00	0.00	2,900.00				
2025 Preliminary	Deposit Slips -TC & TR			0.00	0.00	300.00				
2025 Preliminary	Fold n Stuff Receipts			0.00	0.00	100.00				
2025 Preliminary	Fold n Stuff Tax Bills			0.00	0.00	425.00				
2025 Preliminary	Membership Fees			0.00	0.00	600.00				
2025 Preliminary	Mileage			0.00	0.00	100.00				
2025 Preliminary	Notary Public -CL			0.00	0.00	150.00				
2025 Preliminary	Office Supplies			0.00	0.00	5,500.00				
2025 Preliminary	Online Dog Maint Support - Edmunds			0.00	0.00	1,700.00				
2025 Preliminary	Postage - Tax Bills ( two mailings and receipts)			0.00	0.00	5,250.00				
2025 Preliminary	Postage - Town Clerk			0.00	0.00	2,000.00				
2025 Preliminary	Receiver of Taxes - Tax Warrant Publication			0.00	0.00	150.00				
2025 Preliminary	Receiver of Taxes Envelopes			0.00	0.00	300.00				

**Budget Worksheet**

**For Fiscal: 2025 Period Ending: 12/31/2025**  
**Defined Budgets**

		<b>2023</b>	<b>2023</b>	<b>2024</b>	<b>2024</b>	<b>2025</b>	<b>2025</b>	<b>2025</b>	<b>2025</b>	<b>2025</b>
		<b>Total Budget</b>	<b>Total Activity</b>	<b>Total Budget</b>	<b>Total Activity</b>	<b>Total Budget</b>	<b>YTD Activity</b>	<b>2025 Dept Head</b>	<b>2025 Tentative</b>	<b>2025 Preliminary</b>
2025 Preliminary	Software Support BAS			0.00	0.00	2,200.00				
<a href="#">AA100.1420.400.00000</a>	ATTORNEY.CONTRACTUAL	29,254.00	29,253.83	50,800.00	38,677.85	0.00	0.00	30,000.00	30,000.00	30,000.00
<a href="#">AA100.1430.132.00000</a>	PERSONNEL.HR AND PAYROLL ...	86,009.00	86,008.17	93,500.00	76,722.27	0.00	0.00	96,305.00	96,305.00	96,305.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	LF HR (Per contract)			0.00	0.00	87,550.00				
2025 Preliminary	LF Parks (Per contract)			0.00	0.00	8,755.00				
<a href="#">AA100.1430.200.00000</a>	PERSONNEL.CAPITAL.EQUIPM...	500.00	0.00	1,500.00	0.00	0.00	0.00	1,000.00	1.00	1.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Furniture/Office supplies			0.00	0.00	1.00				
<a href="#">AA100.1430.410.00000</a>	PERSONNEL.CONTRACTUAL	3,920.00	3,791.17	7,120.00	831.85	0.00	0.00	8,950.00	8,950.00	8,950.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Cell Phone Stipend (HR)			0.00	0.00	450.00				
2025 Preliminary	Employee Christmas Party			0.00	0.00	2,000.00				
2025 Preliminary	Employee recognition			0.00	0.00	1,500.00				
2025 Preliminary	Lunch for Trainings			0.00	0.00	1,000.00				
2025 Preliminary	Supplies- HR			0.00	0.00	500.00				
2025 Preliminary	Team Builder Town Employees			0.00	0.00	2,000.00				
2025 Preliminary	Training			0.00	0.00	1,500.00				
<a href="#">AA100.1430.420.00000</a>	PERSONNEL.EAP HUMAN RES...	1,403.04	1,403.04	1,550.00	0.00	0.00	0.00	1,530.00	1,530.00	1,530.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	EAP			0.00	0.00	1,530.00				
<a href="#">AA100.1440.400.00000</a>	ENGINEERING.CONTRACTUAL	78,703.87	78,703.64	73,363.00	22,457.68	0.00	0.00	70,000.00	50,000.00	50,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	General Engineering			0.00	0.00	50,000.00				
<a href="#">AA100.1440.406.00000</a>	ENGINEERING. SEWERS	12,696.00	12,695.75	1.00	0.00	0.00	0.00			
<a href="#">AA100.1450.400.00000</a>	ELECTIONS.CONTRACTUAL	10,750.00	10,632.72	11,250.00	102.37	0.00	0.00	11,200.00	11,200.00	11,200.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Inspector pay and Election services			0.00	0.00	11,000.00				



**Budget Worksheet**

**For Fiscal: 2025 Period Ending: 12/31/2025**  
**Defined Budgets**

		<b>2023</b>	<b>2023</b>	<b>2024</b>	<b>2024</b>	<b>2025</b>	<b>2025</b>	<b>2025</b>	<b>2025</b>	<b>2025</b>
		<b>Total Budget</b>	<b>Total Activity</b>	<b>Total Budget</b>	<b>Total Activity</b>	<b>Total Budget</b>	<b>YTD Activity</b>	<b>2025 Dept Head</b>	<b>2025 Tentative</b>	<b>2025 Preliminary</b>
2025 Preliminary	Refreshments			0.00	0.00	200.00				
<a href="#">AA100.1460.100.00000</a>	RECORDS MANAGEMENT. PER...	0.00	0.00	8,000.00	688.50	0.00	0.00			
<a href="#">AA100.1460.200.00000</a>	RECORDS MANAGEMENT.CAPI...	2,500.00	1,250.45	2,000.00	0.00	0.00	1,198.36	1,500.00	1,500.00	1,500.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Furniture & Technology			0.00	0.00	1,500.00				
<a href="#">AA100.1460.400.00000</a>	RECORDS MANAGEMENT.CON...	49,525.00	9,726.26	36,223.00	4,948.68	0.00	0.00	50,130.00	50,130.00	50,130.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Annual Maint/ Support - 5 laserfiche licenses			0.00	0.00	950.00				
2025 Preliminary	Biels Annual Maintenance- Storage of Microfilm			0.00	0.00	275.00				
2025 Preliminary	Convert Microfilm to Digital records			0.00	0.00	28,000.00				
2025 Preliminary	Foil Next Request- Web based program			0.00	0.00	7,500.00				
2025 Preliminary	General Code Annual Maint for E Code			0.00	0.00	1,200.00				
2025 Preliminary	General Code Codification			0.00	0.00	5,000.00				
2025 Preliminary	Kodak Scanner - Annual Maint & Care Kit			0.00	0.00	1,025.00				
2025 Preliminary	Office Supplies			0.00	0.00	500.00				
2025 Preliminary	Records Management Book Preservation			0.00	0.00	2,680.00				
2025 Preliminary	Updates to Official Zoning Map (MRB Cost)			0.00	0.00	3,000.00				
<a href="#">AA100.1480.100.00000</a>	PUBLICSERVINFORM.CONTRACTU...	1.00	0.00	1.00	0.00	0.00	0.00			
<a href="#">AA100.1480.400.00000</a>	PUBLICSERVINFORM.CONTRACTU...	3,250.00	771.83	18,351.00	7,643.05	0.00	0.00	8,160.00	8,160.00	8,160.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Communication Software - GoGov			0.00	0.00	4,800.00				
2025 Preliminary	Mailchimp			0.00	0.00	960.00				
2025 Preliminary	Newsletter Mailing			0.00	0.00	2,000.00				
2025 Preliminary	Zoom Subscription			0.00	0.00	400.00				
<a href="#">AA100.1620.200.00000</a>	BUILDINGS.CAPITAL.EQUIPME...	89,502.00	35,491.44	254,902.00	242,600.00	0.00	0.00	85,000.00	85,000.00	85,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	New Town Hall Roof			0.00	0.00	84,999.00				
2025 Preliminary	Stairwell Flooring			0.00	0.00	1.00				
<a href="#">AA100.1620.400.00000</a>	BUILDINGS.CONTRACTUAL	4,481.00	4,480.35	5,000.00	2,548.74	0.00	0.00	5,000.00	5,000.00	5,000.00

Budget Worksheet

For Fiscal: 2025 Period Ending: 12/31/2025  
 Defined Budgets

		2023	2023	2024	2024	2025	2025	2025	2025	2025
		Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	2025 Dept Head	2025 Tentative	2025 Preliminary
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Ontario County Taxes & Sewer			0.00	0.00	5,000.00				
<a href="#">AA100.1620.403.00000</a>	BUILDINGS..TOWNHALL.CONTR...	46,900.00	41,388.77	54,350.00	24,514.16	0.00	0.00	31,450.00	31,450.00	31,450.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Electric			0.00	0.00	15,500.00				
2025 Preliminary	Elevator Maintenance (Otis)			0.00	0.00	2,500.00				
2025 Preliminary	Flowers Funerals			0.00	0.00	500.00				
2025 Preliminary	Generator Testing and Maintenance			0.00	0.00	3,200.00				
2025 Preliminary	HVAC			0.00	0.00	2,000.00				
2025 Preliminary	Internet Communication			0.00	0.00	6,500.00				
2025 Preliminary	Liebert System (Vault)			0.00	0.00	1,250.00				
<a href="#">AA100.1620.404.00000</a>	BUILDINGS..HIGHWAYBLDG.C...	108,779.00	108,778.63	264,850.00	69,785.61	0.00	0.00	114,700.00	114,700.00	114,700.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	air filters			1.00	1,000.00	1,000.00				
2025 Preliminary	annual fire testing			1.00	1,500.00	1,500.00				
2025 Preliminary	Annual generator maintainance			1.00	2,500.00	2,500.00				
2025 Preliminary	Annual Siemans agreement for the HVAC system			1.00	14,000.00	14,000.00				
2025 Preliminary	Annual testing and PM's of hot water boilers			1.00	1,850.00	1,850.00				
2025 Preliminary	Cleaning of oil and grit Seperators twice a year			1.00	13,000.00	13,000.00				
2025 Preliminary	Cleaning supplies and paper goods			1.00	3,000.00	3,000.00				
2025 Preliminary	Electric			1.00	25,000.00	25,000.00				
2025 Preliminary	fire sprinkler system			1.00	2,500.00	2,500.00				
2025 Preliminary	First aid cabinets			1.00	750.00	750.00				
2025 Preliminary	Furniture, phones, handsets, computer item			1.00	3,000.00	3,000.00				
2025 Preliminary	Internet, IT repairs,			1.00	7,500.00	7,500.00				
2025 Preliminary	Natural Gas			1.00	20,000.00	20,000.00				
2025 Preliminary	Overhead door PM's and repairs			1.00	3,500.00	3,500.00				
2025 Preliminary	security monitoring			1.00	2,600.00	2,600.00				
2025 Preliminary	Transfer station highway faculty pest management			1.00	3,000.00	3,000.00				
2025 Preliminary	VFD PM's and repairs			1.00	10,000.00	10,000.00				
<a href="#">AA100.1620.405.00000</a>	BUILDINGS..PARKS.CONTR.UTIL...	37,250.00	30,049.06	37,500.00	28,023.40	0.00	0.00	37,500.00	37,500.00	37,500.00

**Budget Worksheet**

**For Fiscal: 2025 Period Ending: 12/31/2025**  
**Defined Budgets**

		<b>2023</b>	<b>2023</b>	<b>2024</b>	<b>2024</b>	<b>2025</b>	<b>2025</b>	<b>2025</b>	<b>2025</b>	<b>2025</b>
		<b>Total Budget</b>	<b>Total Activity</b>	<b>Total Budget</b>	<b>Total Activity</b>	<b>Total Budget</b>	<b>YTD Activity</b>	<b>2025 Dept Head</b>	<b>2025 Tentative</b>	<b>2025 Preliminary</b>
<a href="#">AA100.1620.410.00000</a>	BUILDINGS.JANITORIAL	29,742.00	11,826.58	6,500.00	2,578.71	0.00	0.00	6,500.00	6,500.00	6,500.00
<a href="#">AA100.1670.400.00000</a>	PRINTING & MAILING.CONTRA...	17,500.00	12,651.80	16,500.00	14,915.52	0.00	0.00	21,820.00	21,820.00	21,820.00

**Budget Detail**

<b>Budget Code</b>	<b>Description</b>	<b>Units</b>	<b>Price</b>	<b>Amount</b>
2025 Preliminary	CAP Community Advisory Panel	0.00	0.00	7,500.00
2025 Preliminary	Copier Allownce & Excess copy fees	0.00	0.00	6,000.00
2025 Preliminary	Copy Paper	0.00	0.00	3,000.00
2025 Preliminary	Envelopes	0.00	0.00	3,000.00
2025 Preliminary	Postage Meter Lease	0.00	0.00	1,820.00
2025 Preliminary	Postage Supplies	0.00	0.00	500.00

<a href="#">AA100.1680.100.00000</a>	CENTRAL DATA PROCESSING.P...	1.00	0.00	1.00	0.00	0.00	0.00			
<a href="#">AA100.1680.125.00000</a>	CENTRAL DATA PROCESSING.P...	0.00	0.00	1.00	0.00	0.00	0.00			
<a href="#">AA100.1680.200.00000</a>	DATA PROCESSING.CAPITAL.E...	70,694.39	67,503.61	114,207.00	62,022.15	0.00	0.00	232,500.00	153,500.00	153,500.00

**Budget Detail**

<b>Budget Code</b>	<b>Description</b>	<b>Units</b>	<b>Price</b>	<b>Amount</b>
2025 Preliminary	.Gov domain change	0.00	0.00	5,000.00
2025 Preliminary	Desktops (2)	0.00	0.00	2,000.00
2025 Preliminary	Door Access standardization	0.00	0.00	50,000.00
2025 Preliminary	Laptops (10)	0.00	0.00	23,000.00
2025 Preliminary	Monitors (4)	0.00	0.00	1,500.00
2025 Preliminary	Network printers	0.00	0.00	10,000.00
2025 Preliminary	New Internet Service to Highway	0.00	0.00	14,999.00
2025 Preliminary	Printers	0.00	0.00	1,000.00
2025 Preliminary	Projector	0.00	0.00	2,000.00
2025 Preliminary	Secutiry cameras - Parks	0.00	0.00	30,000.00
2025 Preliminary	Tablets (4)	0.00	0.00	4,000.00
2025 Preliminary	Wifi & Internet upgrades -Parks	0.00	0.00	10,000.00
2025 Preliminary	Wifi Improvements - Onanda (Combined with parks)	0.00	0.00	1.00

<a href="#">AA100.1680.400.00000</a>	DATA PROCESSING.CONTRACT...	119,000.00	106,872.75	184,217.50	170,666.90	0.00	0.00	155,732.00	155,732.00	155,732.00
--------------------------------------	-----------------------------	------------	------------	------------	------------	------	------	------------	------------	------------

**Budget Detail**

<b>Budget Code</b>	<b>Description</b>	<b>Units</b>	<b>Price</b>	<b>Amount</b>
2025 Preliminary	Adobe - Integrated	0.00	0.00	8,750.00
2025 Preliminary	Anxient Email back-up - Keyser	0.00	0.00	1,200.00
2025 Preliminary	Asure	0.00	0.00	7,800.00
2025 Preliminary	Cell Service	0.00	0.00	1,200.00
2025 Preliminary	Cisco Yearly Switch warranty fees	0.00	0.00	1,625.00
2025 Preliminary	Cloudpermit	0.00	0.00	16,500.00

**Budget Worksheet**

**For Fiscal: 2025 Period Ending: 12/31/2025**  
**Defined Budgets**

		<b>2023</b>	<b>2023</b>	<b>2024</b>	<b>2024</b>	<b>2025</b>	<b>2025</b>	<b>2025</b>	<b>2025</b>	<b>2025</b>
		<b>Total Budget</b>	<b>Total Activity</b>	<b>Total Budget</b>	<b>Total Activity</b>	<b>Total Budget</b>	<b>YTD Activity</b>	<b>2025 Dept Head</b>	<b>2025 Tentative</b>	<b>2025 Preliminary</b>
2025 Preliminary	Exchange Email - Microsoft			0.00	0.00	1,250.00				
2025 Preliminary	Granicus short term rental software			0.00	0.00	9,700.00				
2025 Preliminary	Hosted Server - Integrated			0.00	0.00	4,800.00				
2025 Preliminary	Integrated Service - 400 Hours			0.00	0.00	34,000.00				
2025 Preliminary	MFA - Integrated			0.00	0.00	1,320.00				
2025 Preliminary	Microsoft Co-Pilot			0.00	0.00	1,800.00				
2025 Preliminary	Microsoft Office			0.00	0.00	7,500.00				
2025 Preliminary	Password Software			0.00	0.00	3,000.00				
2025 Preliminary	Phone and Internet			0.00	0.00	19,200.00				
2025 Preliminary	Rukus - Wifi - Integrated			0.00	0.00	1,125.00				
2025 Preliminary	Sonicwall Security Suite - Integrated			0.00	0.00	3,000.00				
2025 Preliminary	SSL Certificate			0.00	0.00	200.00				
2025 Preliminary	Tax Collection software maintenance (Ont Cty)			0.00	0.00	560.00				
2025 Preliminary	Tech equipment (non-capital)			0.00	0.00	5,000.00				
2025 Preliminary	Tyler Tech			0.00	0.00	20,602.00				
2025 Preliminary	Verkada Fees - Securismart			0.00	0.00	5,000.00				
2025 Preliminary	Zak Web Hosting			0.00	0.00	600.00				
<a href="#">AA100.1910.400.00000</a>	UNALLOCATED INSURANCE	115,000.00	104,647.18	135,000.00	105,796.94	0.00	0.00	135,000.00	135,000.00	135,000.00
<a href="#">AA100.1920.400.00000</a>	MUNICIPAL ASSOCIATION DUES	1,500.00	1,500.00	1,750.00	1,500.00	0.00	0.00	1,500.00	1,500.00	1,500.00
<a href="#">AA100.1940.200.00000</a>	PURCHASE OF LAND/RIGHT OF...	308,300.00	305,419.30	15,000.00	0.00	0.00	0.00			
<a href="#">AA100.1940.400.00000</a>	PURCHASE OF LAND/RIGHT OF...	21,200.00	21,102.00	7,500.00	1,500.00	0.00	0.00			
<a href="#">AA100.1990.400.00000</a>	CONTINGENCY	28,772.96	0.00	72,163.78	0.00	0.00	0.00	150,000.00	100,000.00	100,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Based on 1.5% of operating budget (req \$150,000)			0.00	0.00	100,000.00				
<a href="#">AA100.3120.400.00000</a>	POLICE.CONTRACTUAL	29,000.00	7,651.07	29,000.00	8,562.89	0.00	0.00	30,000.00	20,000.00	20,000.00
<a href="#">AA100.3189.200.00000</a>	OTHER TRAFFIC SAFETY	62,280.00	53,037.15	27,952.00	13,979.73	0.00	0.00			
<a href="#">AA100.3310.200.00000</a>	TRAFFIC.CAPITAL.EQUIPMENT	25,000.00	9,000.00	0.00	0.00	0.00	0.00	15,000.00	15,000.00	15,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Radar Trailer			0.00	0.00	15,000.00				
<a href="#">AA100.3310.400.00000</a>	TRAFFIC.CONTRACTUAL	125,000.00	118,155.00	120,000.00	93,094.28	0.00	0.00	113,000.00	113,000.00	113,000.00

Budget Worksheet

For Fiscal: 2025 Period Ending: 12/31/2025  
Defined Budgets

		2023	2023	2024	2024	2025	2025	2025	2025	2025
		Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	2025 Dept Head	2025 Tentative	2025 Preliminary
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Painting of lines on the roads			1.00	95,000.00	95,000.00				
2025 Preliminary	Signs, steel post,			1.00	18,000.00	18,000.00				
<a href="#">AA100.3510.400.00000</a>	DOG CONTROL CONTRACTUAL	30,000.00	29,397.00	30,000.00	26,456.00	0.00	0.00	30,000.00	30,000.00	30,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Dog Control Services			0.00	0.00	30,000.00				
<a href="#">AA100.4020.100.00000</a>	REGISTRAR.PERSONAL SERVICES	3,000.00	2,458.66	3,000.00	2,250.00	0.00	0.00	3,100.00	3,100.00	3,100.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Deputy Registrar- HC			0.00	0.00	600.00				
2025 Preliminary	Registrar- CL			0.00	0.00	2,500.00				
<a href="#">AA100.4020.400.00000</a>	REGISTRAR.CONTRACTUAL	400.00	67.65	400.00	161.21	0.00	0.00	400.00	400.00	400.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Supplies			0.00	0.00	400.00				
<a href="#">AA100.4540.400.00000</a>	AMBULANCE CONTRACTUAL	9,000.00	9,000.00	9,000.00	9,000.00	0.00	0.00	9,000.00	9,000.00	9,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Canandaigua Ambulance (EMS)			0.00	0.00	5,000.00				
2025 Preliminary	Mercy Flight			0.00	0.00	4,000.00				
<a href="#">AA100.5010.110.00000</a>	HIGHWAY SUPT.ELECTED	56,135.00	56,134.78	67,500.00	51,923.07	0.00	0.00	77,250.00	77,250.00	77,250.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	JF			0.00	0.00	77,250.00				
<a href="#">AA100.5010.120.00000</a>	HIGHWAY.DEPUTY	5,150.00	5,149.82	5,305.00	4,284.84	0.00	0.00	5,464.00	5,464.00	5,464.00
<a href="#">AA100.5010.130.00000</a>	HIGHWAY. CLERK	11,633.00	7,590.62	18,273.00	7,886.85	0.00	0.00	22,880.00	22,880.00	22,880.00
<a href="#">AA100.5010.131.00000</a>	HIGHWAY.SENIOR CLERK	22,467.00	22,466.08	25,647.00	22,004.46	0.00	0.00	30,005.00	30,005.00	30,005.00
<a href="#">AA100.5182.200.00000</a>	STREET LIGHTS RT 332	0.00	0.00	800,385.59	0.00	0.00	0.00			
<a href="#">AA100.5182.400.00000</a>	STREET LIGHTING.CONTRACTU...	30,643.00	30,642.36	25,000.00	20,167.07	0.00	0.00	31,000.00	31,000.00	31,000.00
<a href="#">AA100.6410.410.00000</a>	PUBLICITY.CONTRACTUAL	1,500.00	0.00	0.00	0.00	0.00	0.00			
<a href="#">AA100.6410.420.00000</a>	PUBLICITY.PARK	500.00	0.00	0.00	0.00	0.00	0.00			

Budget Worksheet

For Fiscal: 2025 Period Ending: 12/31/2025  
 Defined Budgets

		2023 Total Budget	2023 Total Activity	2024 Total Budget	2024 Total Activity	2025 Total Budget	2025 YTD Activity	2025 2025 Dept Head	2025 2025 Tentative	2025 2025 Preliminary
<a href="#">AA100.6989.400.00000</a>	ECONOMIC DEVELOPMENT.CO...	25,000.00	25,000.00	25,000.00	25,000.00	0.00	0.00	40,000.00	40,000.00	40,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Canandaigua LDC			0.00	0.00	40,000.00				
<a href="#">AA100.7020.100.00000</a>	RECREATION DIRECTOR	1.00	0.00	0.00	0.00	0.00	0.00	40,000.00	65,000.00	65,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	New position			0.00	0.00	65,000.00				
<a href="#">AA100.7020.141.00000</a>	RECREATION.SR LIFEGUARD	17,920.00	13,310.00	16,160.00	9,880.00	0.00	0.00	16,600.00	16,600.00	16,600.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	101 Days X 8 HRS x \$20.50/HR			0.00	0.00	16,600.00				
<a href="#">AA100.7020.400.00000</a>	RECREATION.CONTRACTUAL	4,800.00	0.00	1,500.00	0.00	0.00	0.00	1,500.00	1,500.00	1,500.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Equipment			0.00	0.00	500.00				
2025 Preliminary	Training			0.00	0.00	1,000.00				
<a href="#">AA100.7110.121.00000</a>	PARKS.MAINTENANCE ASSISTA...	53,461.00	53,460.76	56,160.00	49,768.42	0.00	0.00	57,850.00	57,850.00	57,850.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	AC			0.00	0.00	57,850.00				
<a href="#">AA100.7110.130.00000</a>	PARK.LABORER F/T	76,003.00	65,508.26	68,640.00	62,437.32	0.00	0.00	78,520.00	78,520.00	78,520.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	AK \$25.75/HR			0.00	0.00	53,560.00				
2025 Preliminary	JK \$20/HR x 24HRS/Week			0.00	0.00	24,960.00				
<a href="#">AA100.7110.131.00000</a>	PERSONAL SERVICES.PT	59,789.00	59,788.71	51,251.00	62,946.84	0.00	0.00	68,850.00	68,850.00	68,850.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	JW- \$22.46/HR x 20 HRS/WK			0.00	0.00	24,000.00				
2025 Preliminary	PT Onanda Laborer \$18/HR x 24 HR WK x 28 WKS			0.00	0.00	12,100.00				
2025 Preliminary	PT Onanda Laborer \$18/HR x 24 HR WK x 28 WKS			0.00	0.00	12,100.00				

**Budget Worksheet**

**For Fiscal: 2025 Period Ending: 12/31/2025**  
**Defined Budgets**

		2023 Total Budget	2023 Total Activity	2024 Total Budget	2024 Total Activity	2025 Total Budget	2025 YTD Activity	2025 2025 Dept Head	2025 2025 Tentative	2025 2025 Preliminary
2025 Preliminary	Rangers X4 @ \$17.00/HR x 101 Days x 12			0.00	0.00	20,650.00				
<a href="#">AA100.7110.142.00000</a>	REC.ATTENDANTS GATEHOUSE	9,450.00	8,754.43	17,000.00	11,242.50	0.00	0.00	18,600.00	18,600.00	18,600.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Onanda Gatehouse \$16.50/HR			0.00	0.00	18,600.00				
<a href="#">AA100.7110.143.00000</a>	PARK.LABORERS P/T SEASONAL	44,401.00	44,372.20	75,600.00	31,397.01	0.00	0.00	86,400.00	86,400.00	86,400.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	FT Seasonal Laborers (3)			0.00	0.00	72,000.00				
2025 Preliminary	PT Seasonal Laborer			0.00	0.00	14,400.00				
<a href="#">AA100.7110.200.00000</a>	PARKS.NORMAL.CAP.MAINTEN...	513,832.00	397,012.76	311,307.00	42,890.25	0.00	0.00	274,306.00	274,306.00	274,306.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Additional Gator- Onanda			0.00	0.00	5,000.00				
2025 Preliminary	Babcock Roof Replacement			0.00	0.00	40,000.00				
2025 Preliminary	Blue Heron- Sign Replacement			0.00	0.00	1.00				
2025 Preliminary	Boat House Roof Replacement			0.00	0.00	30,000.00				
2025 Preliminary	Motion Junction- Hand Dryers			0.00	0.00	800.00				
2025 Preliminary	New Boilers- Gorham and Crouch			0.00	0.00	45,000.00				
2025 Preliminary	New Floor- Gorham Lodge			0.00	0.00	1.00				
2025 Preliminary	Onanda- paved trails to existing building			0.00	0.00	15,000.00				
2025 Preliminary	Onanda Upland Cabin			0.00	0.00	1.00				
2025 Preliminary	Onanda Wayside- Exterior Painting			0.00	0.00	20,000.00				
2025 Preliminary	Outhouse East- Pickleball court-double			0.00	0.00	45,000.00				
2025 Preliminary	Pierce Park- bathroom foundation repair			0.00	0.00	7,500.00				
2025 Preliminary	Pierce Park- paved walking path			0.00	0.00	50,000.00				
2025 Preliminary	Pierce Park- Pickleball court			0.00	0.00	1.00				
2025 Preliminary	Pierce Park- Sign replacement			0.00	0.00	4,000.00				
2025 Preliminary	Rotary Pavilion Roof Replacement			0.00	0.00	12,000.00				
2025 Preliminary	School house- exterior painting			0.00	0.00	1.00				
2025 Preliminary	Schoolhouse- Replacement windows and does			0.00	0.00	1.00				
<a href="#">AA100.7110.201.00000</a>	PARKS.PRKFUND.NEWREC.EXP....	85,001.00	0.00	150,002.00	0.00	0.00	0.00			
<a href="#">AA100.7110.400.00000</a>	PARK.CONTRACTUAL	55,888.00	55,887.02	57,178.00	44,113.64	0.00	0.00	52,900.00	52,900.00	52,900.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	APHIS Wildlife Services			0.00	0.00	2,500.00				

**Budget Worksheet**

**For Fiscal: 2025 Period Ending: 12/31/2025**  
**Defined Budgets**

		<b>2023</b>	<b>2023</b>	<b>2024</b>	<b>2024</b>	<b>2025</b>	<b>2025</b>	<b>2025</b>	<b>2025</b>	<b>2025</b>
		<b>Total Budget</b>	<b>Total Activity</b>	<b>Total Budget</b>	<b>Total Activity</b>	<b>Total Budget</b>	<b>YTD Activity</b>	<b>2025 Dept Head</b>	<b>2025 Tentative</b>	<b>2025 Preliminary</b>
2025 Preliminary	Backboard Replacements (x2)			0.00	0.00	2,500.00				
2025 Preliminary	Cell Phone Stipend (x2)			0.00	0.00	900.00				
2025 Preliminary	Fire Alarm Inspection			0.00	0.00	2,500.00				
2025 Preliminary	Fire Extinguisher Inspection			0.00	0.00	500.00				
2025 Preliminary	First Aid Supplies			0.00	0.00	800.00				
2025 Preliminary	Monthly GPS service			0.00	0.00	1,000.00				
2025 Preliminary	Monthly Software Billing			0.00	0.00	3,700.00				
2025 Preliminary	Onanda day/Season passes			0.00	0.00	3,000.00				
2025 Preliminary	Onanda Park Supplies			0.00	0.00	4,000.00				
2025 Preliminary	Paper goods/Cleaning Supplies			0.00	0.00	9,000.00				
2025 Preliminary	Parking Lot Maintenance			0.00	0.00	5,000.00				
2025 Preliminary	Pest Maintenance			0.00	0.00	2,000.00				
2025 Preliminary	Playground Maintenance Parts			0.00	0.00	2,000.00				
2025 Preliminary	Porta Potty Rental- Blue Heron			0.00	0.00	2,000.00				
2025 Preliminary	Septic Service			0.00	0.00	1,300.00				
2025 Preliminary	Tax Sewer Bill			0.00	0.00	1,000.00				
2025 Preliminary	Tools			0.00	0.00	500.00				
2025 Preliminary	Trail Maintenance			0.00	0.00	5,000.00				
2025 Preliminary	Trash Pick Up-Onanda			0.00	0.00	3,700.00				
<a href="#">AA100.7110.402.00000</a>	PARKS.LANDSCAPING	9,550.00	9,354.60	14,950.00	4,230.87	0.00	0.00	25,900.00	25,900.00	25,900.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Backpack Blower			0.00	0.00	500.00				
2025 Preliminary	Flowers			0.00	0.00	1,000.00				
2025 Preliminary	Grass sweeper			0.00	0.00	6,000.00				
2025 Preliminary	Hanging Baskets			0.00	0.00	700.00				
2025 Preliminary	Leaf Vacuum			0.00	0.00	2,500.00				
2025 Preliminary	Mulch			0.00	0.00	3,000.00				
2025 Preliminary	Park Trees			0.00	0.00	2,000.00				
2025 Preliminary	Professional Tree Services			0.00	0.00	5,000.00				
2025 Preliminary	Trail Maintenance			0.00	0.00	5,000.00				
2025 Preliminary	Tree Bags			0.00	0.00	200.00				
<a href="#">AA100.7110.404.00000</a>	PARKS AUBURN TRAIL	32,632.15	2,279.70	1.00	0.00	0.00	0.00	50,000.00	50,000.00	1.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Hire company to obtain easements needed			0.00	0.00	1.00				
<a href="#">AA100.7140.141.00000</a>	PLAYGROUND/RECREATION.LIF...	50,303.00	44,622.00	65,643.00	52,170.75	0.00	0.00	70,268.00	70,268.00	70,268.00



**Budget Worksheet**

**For Fiscal: 2025 Period Ending: 12/31/2025**  
**Defined Budgets**

		2023 Total Budget	2023 Total Activity	2024 Total Budget	2024 Total Activity	2025 Total Budget	2025 YTD Activity	2025 2025 Dept Head	2025 2025 Tentative	2025 2025 Preliminary
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>									
2025 Preliminary	Lifeguards \$18.50/HR			0.00	0.00	70,268.00				
<a href="#">AA100.7140.142.00000</a>	PLAYGROUND/RECREATION.SP...	10,000.00	0.00	0.00	0.00	0.00	0.00			
<a href="#">AA100.7140.200.00000</a>	PLAYGROUND/RECREATION.CA...	2,500.00	0.00	0.00	0.00	0.00	0.00			
<a href="#">AA100.7140.400.00000</a>	PLAYGROUND/RECREATION.C...	32,850.00	24,226.00	30,800.00	25,253.11	0.00	0.00	32,650.00	32,650.00	32,650.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>									
2025 Preliminary	AED Contractual Maintenance			0.00	0.00	1,600.00				
2025 Preliminary	AED Replacement Batteries			0.00	0.00	1,500.00				
2025 Preliminary	First Aid Supplies			0.00	0.00	700.00				
2025 Preliminary	Game Room Supplies			0.00	0.00	250.00				
2025 Preliminary	Gatehouse Replacement Balls			0.00	0.00	400.00				
2025 Preliminary	Lifeguard Rescue Board Replacement- Butler Beach			0.00	0.00	1,250.00				
2025 Preliminary	Lifeguard Supplies			0.00	0.00	1,250.00				
2025 Preliminary	Lifeguard Training			0.00	0.00	2,000.00				
2025 Preliminary	Membership Fees			0.00	0.00	500.00				
2025 Preliminary	Orientation Seasonal Staff			0.00	0.00	200.00				
2025 Preliminary	Staff Uniforms			0.00	0.00	3,000.00				
2025 Preliminary	YMCA Camp Fees per agreement			0.00	0.00	20,000.00				
<a href="#">AA100.7140.405.00000</a>	RECREATION.EVENTS.MOVIE NI...	2,500.00	2,430.45	3,575.00	3,573.88	0.00	0.00	4,000.00	4,000.00	4,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>									
2025 Preliminary	Movie Night			0.00	0.00	1,500.00				
2025 Preliminary	Music in the Parks X4			0.00	0.00	2,500.00				
<a href="#">AA100.7450.410.00000</a>	MUSEUM.CONTRACTUAL	10,000.00	10,000.00	10,000.00	10,000.00	0.00	0.00	12,500.00	12,500.00	12,500.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>									
2025 Preliminary	Ontario County Historical Society (req 10,000)			0.00	0.00	12,500.00				
<a href="#">AA100.7510.120.00000</a>	HISTORIAN.PERSONAL SERVICES	3,678.00	3,678.00	3,789.00	2,841.75	0.00	0.00	3,903.00	3,903.00	3,903.00
<a href="#">AA100.7510.400.00000</a>	HISTORIAN.CONTRACTUAL	1,250.00	1,079.15	2,350.00	632.95	0.00	0.00	1,250.00	1,250.00	1,250.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>									
2025 Preliminary	Education & Awareness			0.00	0.00	750.00				

**Budget Worksheet**

**For Fiscal: 2025 Period Ending: 12/31/2025**  
**Defined Budgets**

		2023 Total Budget	2023 Total Activity	2024 Total Budget	2024 Total Activity	2025 Total Budget	2025 YTD Activity	2025 2025 Dept Head	2025 2025 Tentative	2025 2025 Preliminary
2025 Preliminary	Mileage			0.00	0.00	500.00				
<a href="#">AA100.7550.400.00000</a>	CELEBRATIONS.CONTRACTUAL	5,500.00	5,493.14	23,950.00	18,626.80	0.00	0.00	20,000.00	20,000.00	20,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Fireworks			0.00	0.00	15,000.00				
2025 Preliminary	Special Events			0.00	0.00	5,000.00				
<a href="#">AA100.7620.400.00000</a>	ADULT RECREATION.CONTRAC...	3,000.00	1,012.12	3,000.00	523.00	0.00	0.00	3,000.00	3,000.00	3,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Bus Trips			0.00	0.00	1,500.00				
2025 Preliminary	Refreshments			0.00	0.00	1,000.00				
2025 Preliminary	Supplies			0.00	0.00	500.00				
<a href="#">AA100.8010.120.00000</a>	PLANNER.PERSONAL SVCS	26,800.00	26,099.70	56,650.00	50,338.27	0.00	0.00	63,700.00	63,700.00	63,700.00
<a href="#">AA100.8010.124.00000</a>	ZONING.OFFICER F/T	79,000.00	78,750.01	113,300.00	84,402.85	0.00	0.00	116,698.00	116,698.00	116,698.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	MW			0.00	0.00	58,349.00				
2025 Preliminary	VACANT-Zoning Inspector			0.00	0.00	58,349.00				
<a href="#">AA100.8010.141.00000</a>	ZONING.INSPECTOR P/T	10,000.00	7,596.17	13,125.00	9,927.82	0.00	0.00	13,519.00	13,519.00	13,519.00
<a href="#">AA100.8010.144.00000</a>	ZONING...CLERK P/T	27,664.00	11,398.07	0.00	0.00	0.00	0.00			
<a href="#">AA100.8010.146.00000</a>	ZONING.SENIOR CLERK	0.00	0.00	1.00	0.00	0.00	0.00			
<a href="#">AA100.8010.147.00000</a>	ZONING.OFFICE SPECIALIST I	0.00	0.00	38,000.00	31,610.14	0.00	0.00	52,000.00	52,000.00	52,000.00
<a href="#">AA100.8010.200.00000</a>	ZONE.PLANNER.CAPITAL.EQUI...	5,000.00	1,616.78	5,000.00	807.16	0.00	0.00	2,000.00	2,000.00	2,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	FURNITURE EQUIPMENT			0.00	0.00	2,000.00				
<a href="#">AA100.8010.400.00000</a>	ZONING INSPECTOR.CONTRAC...	2,451.00	2,450.71	2,840.00	1,432.55	0.00	0.00	2,940.00	2,940.00	2,940.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	ASSOCIATION DUES			0.00	0.00	300.00				
2025 Preliminary	CELL PHONE STIPEND (2)			0.00	0.00	840.00				
2025 Preliminary	TRAINING			0.00	0.00	1,800.00				
<a href="#">AA100.8010.420.00000</a>	ZONING.PLANNER.CONTRACT...	6,009.00	5,846.84	6,020.00	3,636.19	0.00	0.00	7,495.00	7,495.00	7,495.00

**Budget Worksheet**

**For Fiscal: 2025 Period Ending: 12/31/2025**  
**Defined Budgets**

		<b>2023</b>	<b>2023</b>	<b>2024</b>	<b>2024</b>	<b>2025</b>	<b>2025</b>	<b>2025</b>	<b>2025</b>	<b>2025</b>
		<b>Total Budget</b>	<b>Total Activity</b>	<b>Total Budget</b>	<b>Total Activity</b>	<b>Total Budget</b>	<b>YTD Activity</b>	<b>2025 Dept Head</b>	<b>2025 Tentative</b>	<b>2025 Preliminary</b>
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	APA MEMBERSHIP			0.00	0.00	500.00				
2025 Preliminary	CELL PHONE STIPEND			0.00	0.00	420.00				
2025 Preliminary	OFFICE SUPPLIES			0.00	0.00	600.00				
2025 Preliminary	PLANNER TRAINING & LEADERSHIP CLASSES			0.00	0.00	2,750.00				
2025 Preliminary	POSTAGE			0.00	0.00	2,000.00				
2025 Preliminary	ZONING SIGNS			0.00	0.00	1,225.00				
<a href="#">AA100.8020.120.00000</a>	PLANNING BOARD.PERSONAL S...	16,299.00	14,873.00	16,015.00	11,801.25	0.00	0.00	16,471.00	16,471.00	16,471.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	PB #2			0.00	0.00	2,836.00				
2025 Preliminary	PB #3			0.00	0.00	2,836.00				
2025 Preliminary	PB #4			0.00	0.00	2,836.00				
2025 Preliminary	PB #5			0.00	0.00	2,836.00				
2025 Preliminary	PB ALTERNATE (12 meetings @ \$72)			0.00	0.00	864.00				
2025 Preliminary	PB CHAIR			0.00	0.00	4,263.00				
<a href="#">AA100.8020.140.00000</a>	PB STENOGRAPHER P/T.PERSO...	7,946.00	7,779.81	6,930.00	6,956.29	0.00	0.00	7,860.00	7,860.00	7,860.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	KH - PB & ZBA			0.00	0.00	7,860.00				
<a href="#">AA100.8020.150.00000</a>	ECB.PERSONAL SERVICES	4,321.00	3,708.00	4,822.00	3,085.66	0.00	0.00	4,966.00	4,966.00	4,966.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	ECB Chair			0.00	0.00	1,030.00				
2025 Preliminary	ECB Members ( 6 @ \$656)			0.00	0.00	3,936.00				
<a href="#">AA100.8020.160.00000</a>	PLANNING.SECRETARY STENO...	16,406.00	16,405.18	18,080.00	17,992.66	0.00	0.00	37,440.00	37,440.00	37,440.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	KB - appr. 1560 hours per year to include Ag Comm.			0.00	0.00	37,440.00				
<a href="#">AA100.8020.400.00000</a>	PLANNING BOARD.CONTRACT...	22,657.00	14,193.43	12,750.00	11,108.72	0.00	0.00	14,350.00	14,350.00	14,350.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Legal			0.00	0.00	9,000.00				

**Budget Worksheet**

**For Fiscal: 2025 Period Ending: 12/31/2025**  
**Defined Budgets**

		2023	2023	2024	2024	2025	2025	2025	2025	2025
		Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	2025 Dept Head	2025 Tentative	2025 Preliminary
2025 Preliminary	Office Supplies			0.00	0.00	500.00				
2025 Preliminary	Postage			0.00	0.00	600.00				
2025 Preliminary	Publications Legal Notices			0.00	0.00	750.00				
2025 Preliminary	Training & Conferences			0.00	0.00	3,500.00				
<a href="#">AA100.8020.405.00000</a>	PLANNING.CIC CONTRACTUAL	4,001.00	0.00	0.00	0.00	0.00	0.00			
<a href="#">AA100.8020.410.00000</a>	PLANNING.ENGINEERING.CON...	4,843.00	4,842.23	2,400.00	2,762.44	0.00	0.00	4,000.00	4,000.00	4,000.00
<a href="#">AA100.8020.412.00000</a>	PLANNING.COMP PLAN	0.00	0.00	0.00	0.00	0.00	0.00	1,000.00	1,000.00	1,000.00
<a href="#">AA100.8020.422.00000</a>	PLANNING.OPEN SPACE TEAM ...	5,000.00	0.00	3,800.00	0.00	0.00	0.00	2,000.00	2,000.00	2,000.00
<a href="#">AA100.8020.424.00000</a>	PLANNING.UPTOWN	2,500.00	0.00	1,000.00	0.00	0.00	0.00			
<a href="#">AA100.8020.428.00000</a>	PLANNING.HISTORICAL PROJEC...	750.00	749.80	200.00	0.00	0.00	0.00	200.00	200.00	200.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Public Information (Printing)			0.00	0.00	200.00				
<a href="#">AA100.8020.450.00000</a>	PLANNING.ECB.CONTRACTUAL	1,805.00	1,805.00	1,800.00	135.00	0.00	0.00	2,075.00	2,075.00	2,075.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	NYSACC Dues			0.00	0.00	75.00				
2025 Preliminary	Training			0.00	0.00	1,000.00				
2025 Preliminary	Trees			0.00	0.00	1,000.00				
<a href="#">AA100.8040.120.00000</a>	ZONING BOARD OF APPEALS.P...	6,003.00	6,003.00	6,460.00	4,739.99	0.00	0.00	6,652.00	6,652.00	6,652.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	ZBA #2			0.00	0.00	1,033.00				
2025 Preliminary	ZBA #3			0.00	0.00	1,033.00				
2025 Preliminary	ZBA #4			0.00	0.00	1,033.00				
2025 Preliminary	ZBA #5			0.00	0.00	1,033.00				
2025 Preliminary	ZBA Alternate \$72 per meeting @ 6 meetings			0.00	0.00	432.00				
2025 Preliminary	ZBA Chair			0.00	0.00	2,088.00				
<a href="#">AA100.8040.140.00000</a>	ZONING BOARD OF APPEALS S...	4,634.00	0.00	0.00	0.00	0.00	0.00	1,000.00	1.00	1.00
<a href="#">AA100.8040.400.00000</a>	ZONING BOARD OF APPEALS C...	4,228.00	4,227.32	5,000.00	4,832.20	0.00	0.00	5,000.00	5,000.00	5,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Publications			0.00	0.00	1,000.00				
2025 Preliminary	Training			0.00	0.00	1,000.00				

**Budget Worksheet**

**For Fiscal: 2025 Period Ending: 12/31/2025**  
**Defined Budgets**

		<b>2023</b>	<b>2023</b>	<b>2024</b>	<b>2024</b>	<b>2025</b>	<b>2025</b>	<b>2025</b>	<b>2025</b>	<b>2025</b>
		<b>Total Budget</b>	<b>Total Activity</b>	<b>Total Budget</b>	<b>Total Activity</b>	<b>Total Budget</b>	<b>YTD Activity</b>	<b>2025 Dept Head</b>	<b>2025 Tentative</b>	<b>2025 Preliminary</b>
2025 Preliminary	ZBA Attorney (Legal Expenses)			0.00	0.00	3,000.00				
<a href="#">AA100.8140.200.00000</a>	STORMSEWERS.CAPITAL.EQUI...	500.00	0.00	500.00	0.00	0.00	0.00			
<a href="#">AA100.8140.400.00000</a>	STORMSEWERS.CONTRACTUAL	10,600.00	8,435.00	14,000.00	13,006.27	0.00	0.00	12,000.00	12,000.00	12,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	MS4 Updates			0.00	0.00	12,000.00				
<a href="#">AA100.8160.130.00000</a>	WASTE & RECYCLING MEO.PER...	64,390.00	64,389.81	66,921.00	56,544.50	0.00	0.00	68,779.00	68,779.00	68,779.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	overtime			1.00	5,000.00	5,000.00				
2025 Preliminary	TW			1.00	63,779.00	63,779.00				
<a href="#">AA100.8160.140.00000</a>	WASTE & RECYCLING LABORS P...	36,733.00	36,732.58	41,600.00	31,238.78	0.00	0.00	54,920.00	54,920.00	54,920.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	overtime			1.00	5,000.00	5,000.00				
2025 Preliminary	P/T (4)			4.00	12,480.00	49,920.00				
<a href="#">AA100.8160.200.00000</a>	WASTE & RECYCLING EQUIPM...	27,001.00	0.00	18,300.00	18,273.90	0.00	0.00	21,000.00	21,000.00	21,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Ticket machine			0.00	0.00	21,000.00				
<a href="#">AA100.8160.400.00000</a>	WASTE & RECYCLING CONTRA...	113,630.00	93,722.65	110,700.00	64,514.29	0.00	0.00	113,500.00	113,500.00	113,500.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Compostable liners			0.00	0.00	2,500.00				
2025 Preliminary	Electronics Recycling			0.00	0.00	500.00				
2025 Preliminary	Impact earth			0.00	0.00	5,000.00				
2025 Preliminary	packer repairs, tarps			0.00	0.00	12,000.00				
2025 Preliminary	Soild Waste Disposal			0.00	0.00	92,000.00				
2025 Preliminary	Tags			0.00	0.00	1,000.00				
2025 Preliminary	Waster oil recycling			0.00	0.00	500.00				
<a href="#">AA100.8540.400.00000</a>	DRAINAGE.CONTRACTUAL	0.00	0.00	3,000.00	0.00	0.00	0.00	10,000.00	10,000.00	10,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Storm Water Software			0.00	0.00	10,000.00				

Budget Worksheet

For Fiscal: 2025 Period Ending: 12/31/2025  
 Defined Budgets

		2023	2023	2024	2024	2025	2025	2025	2025	2025
		Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	2025 Dept Head	2025 Tentative	2025 Preliminary
<a href="#">AA100.8664.121.00000</a>	CODE ENFORCEMENT	88,153.00	88,152.74	78,000.00	64,266.15	0.00	0.00	86,500.00	86,500.00	86,500.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	MM Salary			1.00	86,500.00	86,500.00				
<a href="#">AA100.8664.122.00000</a>	CODE ENFORCEMENT	18,475.00	17,483.25	20,851.00	14,887.91	0.00	0.00	21,701.00	21,701.00	21,701.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	RB \$25.53/hr Estimated 850hrs			1.00	21,701.00	21,701.00				
<a href="#">AA100.8664.124.00000</a>	CODE ENFORCEMENT	68,082.00	68,081.10	50,600.00	15,108.36	0.00	0.00	62,500.00	62,500.00	62,500.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	SM Salary			1.00	62,500.00	62,500.00				
<a href="#">AA100.8664.125.00000</a>	CODE ENFORCEMENT. STORM...	0.00	0.00	0.00	0.00	0.00	0.00	65,000.00	65,000.00	65,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Stormwater Inspector Position (New)			1.00	65,000.00	65,000.00				
<a href="#">AA100.8664.126.00000</a>	CODE ENFORCEMENT	1.00	0.00	62,000.00	41,910.82	0.00	0.00	68,000.00	68,000.00	68,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	KF			1.00	68,000.00	68,000.00				
<a href="#">AA100.8664.200.00000</a>	CODE ENFORCEMENT.CAPITAL...	30,936.00	3,321.70	48,000.00	47,800.00	0.00	0.00	76,000.00	76,000.00	76,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	New Code Enforcement Vehicle			1.00	28,000.00	28,000.00				
2025 Preliminary	New Code Enforcement Vehicle			1.00	48,000.00	48,000.00				
<a href="#">AA100.8664.400.00000</a>	CODE ENFORCEMENT.CONTRA...	5,425.00	5,424.34	13,340.00	9,463.92	0.00	0.00	42,500.00	42,500.00	42,500.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Cell Phone Plans & Stipends (5)			1.00	2,000.00	2,000.00				
2025 Preliminary	Equipment, Software.			1.00	7,000.00	7,000.00				
2025 Preliminary	NPDES Pro Software			1.00	15,000.00	15,000.00				
2025 Preliminary	Ontario-Wayne Stormwater Coalition Membership			1.00	5,000.00	5,000.00				
2025 Preliminary	Postage			0.00	0.00	500.00				
2025 Preliminary	Staff Memberships and Associations			1.00	2,000.00	2,000.00				

**Budget Worksheet**

**For Fiscal: 2025 Period Ending: 12/31/2025**  
**Defined Budgets**

		2023	2023	2024	2024	2025	2025	2025	2025	2025
		Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	2025 Dept Head	2025 Tentative	2025 Preliminary
2025 Preliminary	Tablets and Plans (4)			1.00	2,500.00	2,500.00				
2025 Preliminary	Training			1.00	6,000.00	6,000.00				
2025 Preliminary	Uniforms and Boots			1.00	2,500.00	2,500.00				
<a href="#">AA100.8710.400.00000</a>	CONSERVATION.PROGRAM.CO...	21,550.00	0.00	1,500.00	0.00	0.00	0.00			
<a href="#">AA100.8710.401.00000</a>	CONSERVATION.AG COMMITT...	5,500.00	0.00	500.00	275.00	0.00	0.00	2,301.00	2,301.00	2,301.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Ag Committee			0.00	0.00	800.00				
2025 Preliminary	Code Update			0.00	0.00	1.00				
2025 Preliminary	Training			0.00	0.00	1,500.00				
<a href="#">AA100.8730.450.00000</a>	FORESTRY TREE ADVISORY BO...	15,500.00	0.00	500.00	0.00	0.00	0.00	700.00	700.00	700.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Arbor Day Tree Planting			0.00	0.00	700.00				
<a href="#">AA100.8810.400.00000</a>	CEMETERIES CONTRACTUAL	13,250.00	12,098.01	17,674.00	5,288.89	0.00	0.00	21,500.00	21,500.00	21,500.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Academy Interpretive Sign			0.00	0.00	1,000.00				
2025 Preliminary	Burial Costs (Academy)			0.00	0.00	1,000.00				
2025 Preliminary	Fencing			0.00	0.00	1,000.00				
2025 Preliminary	GPR			0.00	0.00	5,000.00				
2025 Preliminary	Headstone Preservation (Ellison Conservation)			0.00	0.00	6,000.00				
2025 Preliminary	Pine Bank Cemetery			0.00	0.00	5,000.00				
2025 Preliminary	Public Engagement			0.00	0.00	1,000.00				
2025 Preliminary	Sandhill column repairs			0.00	0.00	1,500.00				
<a href="#">AA100.8989.400.00000</a>	CDGA LAKE MANAGEMENT PL...	30,047.00	30,047.00	31,210.00	31,210.00	0.00	0.00	32,000.00	32,000.00	32,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Watershed Contribution			0.00	0.00	28,000.00				
2025 Preliminary	Watershed Inspection Program			0.00	0.00	4,000.00				
<a href="#">AA100.9010.800.00000</a>	NYS RETIREMENT	167,000.00	155,744.67	212,000.00	0.00	0.00	0.00	222,740.00	222,740.00	222,740.00
<a href="#">AA100.9030.800.00000</a>	SOCIAL SECURITY/MEDICARE	128,076.00	128,075.46	132,000.00	112,860.92	0.00	0.00	140,000.00	140,000.00	140,000.00
<a href="#">AA100.9040.800.00000</a>	WORKERS COMPENSATION	112,302.00	112,301.11	113,510.00	113,509.26	0.00	0.00	89,308.00	89,308.00	89,308.00
<a href="#">AA100.9050.800.00000</a>	UNEMPLOYMENT INSURANCE	5,000.00	3,019.56	5,000.00	3,606.46	0.00	0.00	5,000.00	5,000.00	5,000.00

**Budget Worksheet**

**For Fiscal: 2025 Period Ending: 12/31/2025**  
**Defined Budgets**

		2023	2023	2024	2024	2025	2025	2025	2025	2025
		Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	2025 Dept Head	2025 Tentative	2025 Preliminary
<a href="#">AA100.9055.800.00000</a>	DISABILITY INSURANCE	1,700.00	1,614.86	1,750.00	599.04	0.00	0.00	1,750.00	1,750.00	1,750.00
<a href="#">AA100.9060.810.00000</a>	MEDICAL INSURANCE	162,100.00	161,879.55	202,000.00	131,543.37	0.00	0.00	229,200.00	229,200.00	229,200.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	General fund Health Insurance (22 employees)			0.00	0.00	229,200.00				
<a href="#">AA100.9060.811.00000</a>	DENTAL INSURANCE	12,500.00	11,960.47	12,500.00	10,225.39	0.00	0.00	16,257.00	16,257.00	16,257.00
<a href="#">AA100.9060.820.00000</a>	HOSPITAL/MEDICAL BUY-OUT	9,000.00	8,845.80	8,000.00	7,884.30	0.00	0.00	12,000.00	12,000.00	12,000.00
<a href="#">AA100.9060.830.00000</a>	HSA ACCOUNT	52,400.00	50,322.36	51,700.00	49,003.38	0.00	0.00	51,700.00	51,700.00	51,700.00
<a href="#">AA100.9710.600.00000</a>	SERIAL BONDS.PRINCIPAL	215,000.00	215,000.00	220,000.00	0.00	0.00	0.00	230,000.00	230,000.00	651,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Highway Facility Bond Principal			0.00	0.00	230,000.00				
2025 Preliminary	North Road Project Bond Principal			0.00	0.00	421,000.00				
<a href="#">AA100.9710.700.00000</a>	SERIAL BONDS.INTEREST	70,713.00	68,612.50	63,775.00	31,887.50	0.00	0.00	58,275.00	58,275.00	223,853.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Highway Facility Bond Interest			0.00	0.00	58,275.00				
2025 Preliminary	North Road Project Bond Interest			0.00	0.00	165,578.00				
<a href="#">AA100.9785.600.00000</a>	LEASE INSTALLMENT.PRINCIPAL	39,151.00	39,150.32	40,239.00	40,238.70	0.00	0.00	41,358.00	41,358.00	41,358.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Roll-Off Lease Principal			0.00	0.00	41,358.00				
<a href="#">AA100.9785.700.00000</a>	LEASE INSTALLMENT.INTEREST	3,357.00	3,356.75	2,269.00	2,268.37	0.00	0.00	1,150.00	1,150.00	1,150.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Roll-off Lease-Interest			0.00	0.00	1,150.00				
<a href="#">AA100.9901.900.00000</a>	INTERFUND TRANSFER	0.00	0.00	0.00	700,000.00	0.00	0.00			
<a href="#">AA100.9901.900.0000R</a>	TRANSFER TO RESERVE	500,000.00	500,000.00	0.00	0.00	0.00	0.00			
<a href="#">AA100.9950.900.00000</a>	INTERFUND TRANSFER.CAPITAL...	1,572,595.00	2,694,628.73	7,361.22	1,156,061.53	0.00	0.00			
	<b>Expense Total:</b>	<b>7,673,367.41</b>	<b>7,967,075.24</b>	<b>6,557,248.68</b>	<b>5,303,647.15</b>	<b>0.00</b>	<b>1,198.36</b>	<b>5,862,885.00</b>	<b>5,724,687.00</b>	<b>6,261,266.00</b>
<b>Fund: AA100 - GENERAL FUND Surplus (Deficit):</b>		<b>-53,516.41</b>	<b>1,463,628.60</b>	<b>165,765.00</b>	<b>773,957.96</b>	<b>0.00</b>	<b>-1,198.36</b>	<b>4,278.00</b>	<b>0.00</b>	<b>0.00</b>



Budget Worksheet

For Fiscal: 2025 Period Ending: 12/31/2025  
 Defined Budgets

		2023	2023	2024	2024	2025	2025	2025	2025	2025
		Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	2025 Dept Head	2025 Tentative	2025 Preliminary
<b>Fund: AA231 - CONTINGENT/TAX RESERVE</b>										
<b>Revenue</b>										
<a href="#">AA231.2401.00000</a>	INTEREST & EARNINGS.CONT T...	0.00	45,524.85	0.00	40,726.25	0.00	0.00			
<a href="#">AA231.5031.00000</a>	INTERFUND TRANSFER	0.00	500,000.00	0.00	0.00	0.00	0.00			
	<b>Revenue Total:</b>	<b>0.00</b>	<b>545,524.85</b>	<b>0.00</b>	<b>40,726.25</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
	<b>Fund: AA231 - CONTINGENT/TAX RESERVE Total:</b>	<b>0.00</b>	<b>545,524.85</b>	<b>0.00</b>	<b>40,726.25</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: AA232 - CAMPUS REPAIR RESERVE</b>										
<b>Revenue</b>										
<a href="#">AA232.2401.00000</a>	INTEREST & EARNING.BUILDING..	0.00	10,426.80	0.00	8,667.86	0.00	0.00			
	<b>Revenue Total:</b>	<b>0.00</b>	<b>10,426.80</b>	<b>0.00</b>	<b>8,667.86</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
	<b>Fund: AA232 - CAMPUS REPAIR RESERVE Total:</b>	<b>0.00</b>	<b>10,426.80</b>	<b>0.00</b>	<b>8,667.86</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: AA233 - TECHNOLOGY RESERVE</b>										
<b>Revenue</b>										
<a href="#">AA233.2401.00000</a>	INTEREST & EARNING.TECHNO...	0.00	2,337.45	0.00	1,910.75	0.00	0.00			
<a href="#">AA233.9000.00000</a>	APPROPRIATED FUND BALANCE..	0.00	0.00	49,417.50	49,417.50	0.00	0.00			
	<b>Revenue Total:</b>	<b>0.00</b>	<b>2,337.45</b>	<b>49,417.50</b>	<b>51,328.25</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Expense</b>										
<a href="#">AA233.9901.900.00000</a>	TECH RESERVE. INTERFUND TR...	0.00	0.00	49,417.50	49,417.50	0.00	0.00			
	<b>Expense Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>49,417.50</b>	<b>49,417.50</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
	<b>Fund: AA233 - TECHNOLOGY RESERVE Surplus (Deficit):</b>	<b>0.00</b>	<b>2,337.45</b>	<b>0.00</b>	<b>1,910.75</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: AA234 - OPEN SPACE RESERVE</b>										
<b>Revenue</b>										
<a href="#">AA234.2401.00000</a>	INTEREST & EARNING.OPEN SP...	0.00	56,953.01	0.00	33,802.54	0.00	0.00			
	<b>Revenue Total:</b>	<b>0.00</b>	<b>56,953.01</b>	<b>0.00</b>	<b>33,802.54</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Expense</b>										
<a href="#">AA234.9901.900.00000</a>	INTERFUND TRANSFER	0.00	305,000.00	0.00	0.00	0.00	0.00			
	<b>Expense Total:</b>	<b>0.00</b>	<b>305,000.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
	<b>Fund: AA234 - OPEN SPACE RESERVE Surplus (Deficit):</b>	<b>0.00</b>	<b>-248,046.99</b>	<b>0.00</b>	<b>33,802.54</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: AA235 - NYS EMPLOYEE SYSTEM RESERVE</b>										
<b>Revenue</b>										
<a href="#">AA235.2401.00000</a>	INTEREST & EARNING.NYS RETI...	0.00	9,452.15	0.00	7,857.55	0.00	0.00			
	<b>Revenue Total:</b>	<b>0.00</b>	<b>9,452.15</b>	<b>0.00</b>	<b>7,857.55</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
	<b>Fund: AA235 - NYS EMPLOYEE SYSTEM RESERVE Total:</b>	<b>0.00</b>	<b>9,452.15</b>	<b>0.00</b>	<b>7,857.55</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>

Budget Worksheet

For Fiscal: 2025 Period Ending: 12/31/2025  
Defined Budgets

		2023	2023	2024	2024	2025	2025	2025	2025	2025
		Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	2025 Dept Head	2025 Tentative	2025 Preliminary
<b>Fund: AA237 - BONDED INDEBTEDNESS RESERVE</b>										
<b>Revenue</b>										
<a href="#">AA237.2401.00000</a>	INTEREST & EARNINGS.BONDE...	0.00	10,956.31	0.00	9,108.06	0.00	0.00			
	<b>Revenue Total:</b>	<b>0.00</b>	<b>10,956.31</b>	<b>0.00</b>	<b>9,108.06</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
	<b>Fund: AA237 - BONDED INDEBTEDNESS RESERVE Total:</b>	<b>0.00</b>	<b>10,956.31</b>	<b>0.00</b>	<b>9,108.06</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: AA238 - SOLID WASTE MANAGEMENT RESERVE</b>										
<b>Revenue</b>										
<a href="#">AA238.2401.00000</a>	INTEREST & EARNINGS.SOLID ...	0.00	40,733.72	0.00	33,862.09	0.00	0.00			
	<b>Revenue Total:</b>	<b>0.00</b>	<b>40,733.72</b>	<b>0.00</b>	<b>33,862.09</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
	<b>Fund: AA238 - SOLID WASTE MANAGEMENT RESERVE Total:</b>	<b>0.00</b>	<b>40,733.72</b>	<b>0.00</b>	<b>33,862.09</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: CM100 - NEW RECREATION REVENUE FUND</b>										
<b>Revenue</b>										
<a href="#">CM100.2001.00000</a>	PARK & RECREATION FEES	0.00	42,000.00	0.00	21,000.00	0.00	0.00			
<a href="#">CM100.2401.00000</a>	INTEREST & EARNINGS	0.00	17,156.68	0.00	14,291.77	0.00	0.00			
	<b>Revenue Total:</b>	<b>0.00</b>	<b>59,156.68</b>	<b>0.00</b>	<b>35,291.77</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
	<b>Fund: CM100 - NEW RECREATION REVENUE FUND Total:</b>	<b>0.00</b>	<b>59,156.68</b>	<b>0.00</b>	<b>35,291.77</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: DA100 - HIGHWAY</b>										
<b>Revenue</b>										
<a href="#">DA100.1001.00000</a>	REAL PROPERTY TAXES	925,000.00	925,000.00	925,000.00	925,000.00	0.00	0.00	2,004,954.00	1,233,054.00	1,233,054.00
<a href="#">DA100.1120.00000</a>	NON PROPERTY SALES TAX	2,450,000.00	2,450,000.00	2,600,000.00	1,550,936.53	0.00	0.00	2,700,000.00	2,700,000.00	2,700,000.00
<a href="#">DA100.2302.00000</a>	SERVICES/OTHER GOVERNMENT...	143,970.00	185,182.74	171,500.00	217,347.60	0.00	0.00	176,645.00	176,645.00	176,645.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	mowing of 332			1.00	-3,200.00	-3,200.00				
2025 Preliminary	Snowplowing for OC roads			0.00	0.00	-173,445.00				
<a href="#">DA100.2303.00000</a>	SALE OF FUEL	3,500.00	11,533.82	5,000.00	6,589.03	0.00	0.00	5,000.00	5,000.00	5,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Sale of Fuel to Cheshire FD			0.00	0.00	-5,000.00				
<a href="#">DA100.2401.00000</a>	INTEREST & EARNINGS	1,500.00	49,700.12	25,000.00	26,521.67	0.00	0.00	50,000.00	50,000.00	50,000.00
<a href="#">DA100.2410.00000</a>	RENTAL OF LABOR/INDIVIDUALS	2,500.00	11,735.94	12,000.00	8,449.15	0.00	0.00	7,000.00	7,000.00	7,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Mechanical Labor (Cheshire Labor)			0.00	0.00	-7,000.00				

Budget Worksheet

For Fiscal: 2025 Period Ending: 12/31/2025  
 Defined Budgets

		2023	2023	2024	2024	2025	2025	2025	2025	2025
		Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	2025 Dept Head	2025 Tentative	2025 Preliminary
<a href="#">DA100.2414.00000</a>	RENTAL OF EQUIPMENT	5,000.00	0.00	5,000.00	0.00	0.00	0.00	10,000.00	18,000.00	18,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Rental of Town Equipment			0.00	0.00	-18,000.00				
<a href="#">DA100.2665.00000</a>	SALE OF EQUIPMENT	10,000.00	23,425.00	35,000.00	58,915.00	0.00	0.00	142,500.00	142,500.00	142,500.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	John Deere 210 excavator			0.00	0.00	-130,000.00				
2025 Preliminary	Truck #8 F-550 one ton			0.00	0.00	-12,500.00				
<a href="#">DA100.2680.00000</a>	INSURANCE RECOVERIES	0.00	4,836.30	0.00	6,125.00	0.00	0.00			
<a href="#">DA100.2690.00000</a>	OTHER COMPENSATION FOR L...	0.00	8,074.00	0.00	0.00	0.00	0.00			
<a href="#">DA100.2701.00000</a>	REFUND PRIOR YEAR EXP	0.00	2,189.07	0.00	118.18	0.00	0.00			
<a href="#">DA100.3501.00000</a>	NYS STATE AID CHIPS	451,628.00	535,871.13	487,935.00	307,887.34	0.00	0.00	487,935.00	487,935.00	487,935.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Chips, EWR,POP, Pave NY			1.00	-487,935.00	-487,935.00				
<a href="#">DA100.4960.00000</a>	FEMA - EMERGENCY DISASTER	0.00	0.00	0.00	34,745.49	0.00	0.00	100.00		
<a href="#">DA100.5031.00000</a>	INTERFUND TRANSFERS	0.00	0.00	0.00	700,000.00	0.00	0.00			
<a href="#">DA100.9000.00000</a>	APPROPRIATED FUND BALANCE..	859,106.71	326,423.16	1,189,690.00	0.00	0.00	0.00	450,000.00	500,000.00	500,000.00
<a href="#">DA100.9231.00000</a>	HIGHWAY EQUIPMENT RESERVE	0.00	0.00	0.00	0.00	0.00	0.00		150,000.00	150,000.00
	<b>Revenue Total:</b>	<b>4,852,204.71</b>	<b>4,533,971.28</b>	<b>5,456,125.00</b>	<b>3,842,634.99</b>	<b>0.00</b>	<b>0.00</b>	<b>6,034,134.00</b>	<b>5,470,134.00</b>	<b>5,470,134.00</b>
<b>Expense</b>										
<a href="#">DA100.1420.400.00000</a>	HWY.ATTORNEY.CONTRACTUAL	1,000.00	148.50	1,000.00	0.00	0.00	0.00	2,500.00	2,500.00	2,500.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Legal Services			0.00	0.00	2,500.00				
<a href="#">DA100.1440.400.00000</a>	HWY.ENGINEERING.CONTRAC...	18,457.00	18,457.00	9,500.00	5,285.00	0.00	0.00	8,500.00	8,500.00	8,500.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Engineering Services			0.00	0.00	8,500.00				
<a href="#">DA100.5010.400.00000</a>	HWY.ADMIN.CONTRACTUAL	11,741.00	10,430.17	17,920.00	15,308.12	0.00	0.00	18,420.00	18,420.00	18,420.00

**Budget Worksheet**

**For Fiscal: 2025 Period Ending: 12/31/2025**  
**Defined Budgets**

		<b>2023</b>	<b>2023</b>	<b>2024</b>	<b>2024</b>	<b>2025</b>	<b>2025</b>	<b>2025</b>	<b>2025</b>	<b>2025</b>
		<b>Total Budget</b>	<b>Total Activity</b>	<b>Total Budget</b>	<b>Total Activity</b>	<b>Total Budget</b>	<b>YTD Activity</b>	<b>2025 Dept Head</b>	<b>2025 Tentative</b>	<b>2025 Preliminary</b>
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Breakroom Supplies			0.00	0.00	1,250.00				
2025 Preliminary	CDL Training			0.00	0.00	3,900.00				
2025 Preliminary	Cell Phone Stipend (6)			0.00	0.00	2,520.00				
2025 Preliminary	First Aid Supplies			0.00	0.00	500.00				
2025 Preliminary	Healthworks DOT Exams			0.00	0.00	3,000.00				
2025 Preliminary	Office Supplies			0.00	0.00	2,000.00				
2025 Preliminary	Postage			0.00	0.00	100.00				
2025 Preliminary	Tablet internet service			0.00	0.00	500.00				
2025 Preliminary	Thruway Tolls			0.00	0.00	650.00				
2025 Preliminary	Training and Conferences			0.00	0.00	4,000.00				
<a href="#">DA100.5110.130.00000</a>	GENERAL REPAIRS.WAGES F/T	635,325.00	600,460.00	696,000.00	636,168.67	0.00	0.00	760,080.00	760,080.00	760,080.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	16 F/T employees - 3% increase per union agreement			0.00	0.00	655,080.00				
2025 Preliminary	Assistant highway manager			1.00	45,000.00	45,000.00				
2025 Preliminary	Overtime			0.00	0.00	60,000.00				
<a href="#">DA100.5110.131.00000</a>	GENERAL REPAIRS.VACATIONB...	10,000.00	8,865.40	10,000.00	0.00	0.00	0.00	10,000.00	10,000.00	10,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Vacation Buy Back			0.00	0.00	10,000.00				
<a href="#">DA100.5110.400.00000</a>	GENERAL REPAIRS.CONTRACT...	1,254,076.45	889,936.97	1,950,000.00	1,097,148.77	0.00	0.00	1,500,000.00	1,500,000.00	1,500,000.00
<a href="#">DA100.5112.200.00000</a>	HWY.PERMANENT IMPROVEM...	451,628.00	451,628.00	487,935.00	488,331.60	0.00	0.00	487,935.00	487,935.00	487,935.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	NYS CHIPS, EWR, POP, Pave NY			0.00	0.00	487,935.00				
<a href="#">DA100.5130.200.00000</a>	MACHINERY.CAPITAL.EQUIPM...	596,561.71	515,117.42	489,869.00	134,200.00	0.00	0.00	1,322,000.00	819,000.00	819,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	2 Pick-up Trucks			0.00	0.00	120,000.00				
2025 Preliminary	Dump Truck			0.00	0.00	195,000.00				
2025 Preliminary	Ford F-550			0.00	0.00	84,000.00				
2025 Preliminary	Loader Lease			0.00	0.00	29,000.00				
2025 Preliminary	Track excavator			0.00	0.00	270,000.00				
2025 Preliminary	wheel loader (lease)			0.00	0.00	65,000.00				

Budget Worksheet

For Fiscal: 2025 Period Ending: 12/31/2025  
 Defined Budgets

		2023 Total Budget	2023 Total Activity	2024 Total Budget	2024 Total Activity	2025 Total Budget	2025 YTD Activity	2025 2025 Dept Head	2025 2025 Tentative	2025 2025 Preliminary
2025 Preliminary	Wheeled Excavator (lease)			0.00	0.00	56,000.00				
<a href="#">DA100.5130.400.00000</a>	MACHINERY.CONTRACTUAL..	145,177.63	128,928.00	89,918.02	115,681.51	0.00	0.00	250,000.00	250,000.00	250,000.00
<a href="#">DA100.5130.400.00110</a>	MACHINERY.CONTRACTUAL CA...	589.44	589.44	309.78	309.78	0.00	0.00			
<a href="#">DA100.5130.400.00111</a>	MACHINERY.CONTRACTUAL.C...	638.60	638.60	0.00	0.00	0.00	0.00			
<a href="#">DA100.5130.400.00114</a>	MACHINERY.CONTRACTUAL.C...	21.00	21.00	763.31	763.31	0.00	0.00			
<a href="#">DA100.5130.400.00115</a>	MACHINERY.CONTRACTUAL.C...	131.99	131.99	0.00	0.00	0.00	0.00			
<a href="#">DA100.5130.400.00201</a>	MACHINERY.CONTRACTUAL.T...	688.93	688.93	840.88	840.88	0.00	0.00			
<a href="#">DA100.5130.400.00203</a>	MACHINERY.CONTRACTUAL.T...	8,816.36	8,816.36	3,258.92	3,258.92	0.00	0.00			
<a href="#">DA100.5130.400.00204</a>	MACHINERY.CONTRACTUAL.T...	20,983.45	20,983.45	268.37	268.37	0.00	0.00			
<a href="#">DA100.5130.400.00205</a>	MACHINERY.CONTRACTUAL.T...	14,686.93	14,686.93	8,472.08	8,472.08	0.00	0.00			
<a href="#">DA100.5130.400.00206</a>	MACHINERY.CONTRACTUAL.T...	609.73	609.73	135.82	135.82	0.00	0.00			
<a href="#">DA100.5130.400.00207</a>	MACHINERY.CONTRACTUAL.T...	10,090.88	10,090.88	541.79	541.79	0.00	0.00			
<a href="#">DA100.5130.400.00208</a>	MACHINERY.CONTRACTUAL.T...	3,472.45	3,472.45	7,313.04	7,313.04	0.00	0.00			
<a href="#">DA100.5130.400.00209</a>	MACHINERY.CONTRACTUAL.T...	324.52	324.52	0.00	0.00	0.00	0.00			
<a href="#">DA100.5130.400.00212</a>	MACHINERY.CONTRACTUAL.T...	0.00	0.00	1,847.80	1,847.80	0.00	0.00			
<a href="#">DA100.5130.400.00213</a>	MACHINERY.CONTRACTUAL.T...	9,588.38	9,588.38	13,104.13	13,104.13	0.00	0.00			
<a href="#">DA100.5130.400.00215</a>	MACHINERY.CONTRACTUAL.T...	2,020.07	2,020.07	1,843.52	1,843.52	0.00	0.00			
<a href="#">DA100.5130.400.00218</a>	MACHINERY.CONTRACTUAL.T...	392.79	392.79	4,806.26	4,806.26	0.00	0.00			
<a href="#">DA100.5130.400.00233</a>	MACHINERY.CONTRACTUAL.T...	256.50	256.50	803.81	803.81	0.00	0.00			
<a href="#">DA100.5130.400.00234</a>	MACHINERY.CONTRACTUAL.T...	1,921.17	1,921.17	286.56	286.56	0.00	0.00			
<a href="#">DA100.5130.400.00236</a>	MACHINERY.CONTRACTUAL.T...	17,423.61	17,423.61	4,451.68	4,451.68	0.00	0.00			
<a href="#">DA100.5130.400.00237</a>	MACHINERY.CONTRACTUAL.T...	8,908.20	8,908.20	3,657.50	3,657.50	0.00	0.00			
<a href="#">DA100.5130.400.00238</a>	MACHINERY.CONTRACTUAL.T...	7,256.68	7,256.68	2,417.74	2,417.74	0.00	0.00			
<a href="#">DA100.5130.400.00239</a>	MACHINERY.CONTRACTUAL.T...	6,478.74	6,478.74	4,443.04	4,443.04	0.00	0.00			
<a href="#">DA100.5130.400.00240</a>	MACHINERY.CONTRACTUAL T...	9,340.73	9,340.73	5,113.48	5,113.48	0.00	0.00			
<a href="#">DA100.5130.400.00241</a>	MACHINERY.CONTRACTUAL.T...	4,956.90	4,956.90	2,296.66	2,296.66	0.00	0.00			
<a href="#">DA100.5130.400.00242</a>	MACHINERY.CONTRACTUAL.T...	2,513.53	2,513.53	830.69	830.69	0.00	0.00			
<a href="#">DA100.5130.400.00243</a>	MACHINERY.CONTRACTUAL.T...	856.95	856.95	299.99	299.99	0.00	0.00			
<a href="#">DA100.5130.400.00245</a>	MACHINERY.CONTRACTUAL.T...	754.93	754.93	1,446.02	1,446.02	0.00	0.00			
<a href="#">DA100.5130.400.00246</a>	MACHINERY.CONTRACTUAL.T...	1,112.10	1,112.10	7,349.50	7,349.50	0.00	0.00			

Budget Worksheet

For Fiscal: 2025 Period Ending: 12/31/2025  
 Defined Budgets

		2023	2023	2024	2024	2025	2025	2025	2025	2025
		Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	2025 Dept Head	2025 Tentative	2025 Preliminary
<a href="#">DA100.5130.400.00247</a>	MACHINERY.CONTRACTUAL.T...	0.00	0.00	2,750.30	2,750.30	0.00	0.00			
<a href="#">DA100.5130.400.00248</a>	MACHINERY.CONTRACTUAL.B...	706.73	706.73	3,917.92	3,917.92	0.00	0.00			
<a href="#">DA100.5130.400.00249</a>	MACHINERY.CONTRACTUAL.V...	6,447.10	6,447.10	1,726.27	1,726.27	0.00	0.00			
<a href="#">DA100.5130.400.00252</a>	MACHINERY.CONTRACTUAL.T...	0.00	0.00	967.86	967.86	0.00	0.00			
<a href="#">DA100.5130.400.00306</a>	MACHINERY.CONTRACTUAL.G...	442.50	442.50	0.00	0.00	0.00	0.00			
<a href="#">DA100.5130.400.00312</a>	MACHINERY.CONTRACTUAL.G...	0.00	0.00	241.91	241.91	0.00	0.00			
<a href="#">DA100.5130.400.00313</a>	MACHINERY.CONTRACTUAL.TR...	1,482.36	1,482.36	0.00	0.00	0.00	0.00			
<a href="#">DA100.5130.400.00320</a>	MACHINERY.CONTRACTUAL.EX...	2,920.85	2,920.85	2,691.73	2,691.73	0.00	0.00			
<a href="#">DA100.5130.400.00324</a>	MACHINERY.CONTRACTUAL.EX...	107.60	107.60	440.37	440.37	0.00	0.00			
<a href="#">DA100.5130.400.00326</a>	MACHINERY.CONTRACTUAL.TR...	2,620.96	2,620.96	4,755.48	4,755.48	0.00	0.00			
<a href="#">DA100.5130.400.00337</a>	MACHINERY.CONTRACTUAL.TR...	408.55	408.55	0.00	0.00	0.00	0.00			
<a href="#">DA100.5130.400.00340</a>	MACHINERY.CONTRACTUAL.S...	3,817.86	3,817.86	4,331.07	4,331.07	0.00	0.00			
<a href="#">DA100.5130.400.00350</a>	MACHINERY.CONTRACTUAL.RO...	0.00	0.00	405.16	405.16	0.00	0.00			
<a href="#">DA100.5130.400.00355</a>	MACHINERY.CONTRACTUAL.D...	472.55	472.55	3,112.17	3,112.17	0.00	0.00			
<a href="#">DA100.5130.400.00359</a>	MACHINERY.CONTRACTUAL.M...	647.01	647.01	1,647.73	1,647.73	0.00	0.00			
<a href="#">DA100.5130.400.00361</a>	MACHINERY.CONTRACTUAL.B...	0.00	0.00	398.32	398.32	0.00	0.00			
<a href="#">DA100.5130.400.00362</a>	MACHINERY.CONTRACTUAL.TR...	1,386.01	1,386.01	0.00	0.00	0.00	0.00			
<a href="#">DA100.5130.400.00363</a>	MACHINERY.CONTRACTUAL.L...	15.36	15.36	934.13	934.13	0.00	0.00			
<a href="#">DA100.5130.400.00365</a>	MACHINERY.CONTRACTUAL.EX...	1,037.39	1,037.39	1,048.14	1,048.14	0.00	0.00			
<a href="#">DA100.5130.400.00366</a>	MACHINERY.CONTRACTUAL.EX...	1,629.80	1,629.80	7,915.36	7,915.36	0.00	0.00			
<a href="#">DA100.5130.400.00368</a>	MACHINERY.CONTRACTUAL.M...	125.00	125.00	0.00	0.00	0.00	0.00			
<a href="#">DA100.5130.400.00370</a>	MACHINERY.CONTRACTUAL.S...	539.79	539.79	0.00	0.00	0.00	0.00			
<a href="#">DA100.5130.400.00371</a>	MACHINERY.CONTRACTUAL.L...	1,016.85	1,016.85	254.18	254.18	0.00	0.00			
<a href="#">DA100.5130.400.00373</a>	MACHINERY.CONTRACTUAL.M...	220.00	220.00	393.78	393.78	0.00	0.00			
<a href="#">DA100.5130.400.00374</a>	MACHINERY.CONTRACTUAL.M...	118.79	118.79	144.70	144.70	0.00	0.00			
<a href="#">DA100.5130.400.00375</a>	MACHINERY.CONTRACTUAL.L...	0.00	0.00	175.18	175.18	0.00	0.00			
<a href="#">DA100.5130.400.00376</a>	MACHINERY,CONTRACTUAL.W...	4,113.16	4,113.16	0.00	0.00	0.00	0.00			
<a href="#">DA100.5130.400.00377</a>	MACHINERY.CONTRACTUAL.RO...	331.20	331.20	175.84	175.84	0.00	0.00			
<a href="#">DA100.5130.400.00378</a>	MACHINERY.CONTRACTUAL.EX...	792.98	792.98	367.99	367.99	0.00	0.00			
<a href="#">DA100.5130.400.00379</a>	MACHINERY.CONTRACTUAL.TR...	354.98	354.98	147.58	147.58	0.00	0.00			
<a href="#">DA100.5130.400.00380</a>	MACHINERY.CONTRACTUAL.SK...	778.82	778.82	209.35	209.35	0.00	0.00			

**Budget Worksheet**

**For Fiscal: 2025 Period Ending: 12/31/2025**  
**Defined Budgets**

		<b>2023</b>	<b>2023</b>	<b>2024</b>	<b>2024</b>	<b>2025</b>	<b>2025</b>	<b>2025</b>	<b>2025</b>	<b>2025</b>
		<b>Total Budget</b>	<b>Total Activity</b>	<b>Total Budget</b>	<b>Total Activity</b>	<b>Total Budget</b>	<b>YTD Activity</b>	<b>2025 Dept Head</b>	<b>2025 Tentative</b>	<b>2025 Preliminary</b>
<a href="#">DA100.5130.400.00381</a>	MACHINERY.CONTRACTUAL.M...	1,026.62	1,026.62	557.09	557.09	0.00	0.00			
<a href="#">DA100.5130.400.00382</a>	MACHINERY.CONTRACTUAL.M...	118.80	118.80	1,979.60	1,979.60	0.00	0.00			
<a href="#">DA100.5130.400.00383</a>	MACHINERY.CONTRACTUAL.U...	1,616.09	1,616.09	889.66	889.66	0.00	0.00			
<a href="#">DA100.5130.400.00384</a>	MACHINERY.CONTRACTUAL.H...	0.00	0.00	189.52	189.52	0.00	0.00			
<a href="#">DA100.5130.400.00404</a>	MACHINERY.CONTRACTUAL.W...	1,878.73	1,878.73	938.50	938.50	0.00	0.00			
<a href="#">DA100.5130.400.00405</a>	MACHINERY.CONTRACTUAL.W...	1,256.21	1,256.21	71.50	71.50	0.00	0.00			
<a href="#">DA100.5130.400.00406</a>	MACHINERY.CONTRACTUAL.W...	0.00	0.00	625.89	625.89	0.00	0.00			
<a href="#">DA100.5130.400.00501</a>	MACHINERY.CONTRACTUAL.PK...	418.53	418.53	0.00	0.00	0.00	0.00			
<a href="#">DA100.5130.400.00502</a>	MACHINERY.CONTRACTUAL.P...	1,135.78	1,135.78	448.42	448.42	0.00	0.00			
<a href="#">DA100.5130.400.00503</a>	MACHINERY.CONTRACTUAL.P...	273.36	273.36	314.50	314.50	0.00	0.00			
<a href="#">DA100.5130.400.00504</a>	MACHINERY.CONTRACTUAL.PK...	0.00	0.00	90.37	90.37	0.00	0.00			
<a href="#">DA100.5130.400.00505</a>	MACHINERY.CONTRACTUAL.PK...	0.00	0.00	176.45	176.45	0.00	0.00			
<a href="#">DA100.5130.400.00508</a>	MACHINERY.CONTRACTUAL.PK...	619.31	619.31	403.00	403.00	0.00	0.00			
<a href="#">DA100.5130.400.00510</a>	MACHINERY.CONTRACTUAL.PK...	2,520.49	2,520.49	2,372.14	2,372.14	0.00	0.00			
<a href="#">DA100.5130.400.00511</a>	MACHINERY.CONTRACTUAL.P...	2,134.49	2,134.49	951.38	951.38	0.00	0.00			
<a href="#">DA100.5130.400.00512</a>	MACHINERY. CONTRACTUAL. P...	0.00	0.00	500.00	500.00	0.00	0.00			
<a href="#">DA100.5130.400.00999</a>	MACHINERY.CONTRACTUAL.C...	4,421.46	4,421.46	2,469.07	2,469.07	0.00	0.00			
<a href="#">DA100.5130.410.00000</a>	MACHINERY.FUEL METERING	210,000.00	191,607.15	210,000.00	121,677.65	0.00	0.00	210,000.00	210,000.00	210,000.00
<a href="#">DA100.5142.130.00000</a>	SNOW REMOVAL.WAGES F/T	468,394.00	408,023.72	460,000.00	262,639.72	0.00	0.00	474,000.00	474,000.00	474,000.00
<a href="#">DA100.5142.400.00000</a>	SNOW REMOVAL.CONTRACTU...	470,000.00	378,039.35	511,500.00	272,460.81	0.00	0.00	511,000.00	450,000.00	450,000.00
<a href="#">DA100.9010.800.00000</a>	NYS RETIREMENT	121,600.00	100,927.56	151,000.00	0.00	0.00	0.00	128,726.00	128,726.00	128,726.00
<a href="#">DA100.9030.800.00000</a>	SOCIAL SECURITY/MEDICARE	77,250.00	75,678.57	77,500.00	68,586.27	0.00	0.00	93,000.00	93,000.00	93,000.00
<a href="#">DA100.9040.800.00000</a>	WORKERS COMPENSATION	33,500.00	33,493.31	29,238.00	29,237.23	0.00	0.00	23,773.00	23,773.00	23,773.00
<a href="#">DA100.9050.800.00000</a>	UNEMPLOYMENT INSURANCE	2,000.00	0.00	2,000.00	0.00	0.00	0.00	2,000.00	2,000.00	2,000.00
<a href="#">DA100.9055.800.00000</a>	DISABILITY INSURANCE	2,500.00	455.32	600.00	197.76	0.00	0.00	700.00	700.00	700.00
<a href="#">DA100.9060.810.00000</a>	MEDICAL INSURANCE	137,100.00	136,665.62	164,730.00	117,705.91	0.00	0.00	164,000.00	164,000.00	164,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Highway Fund Health Insurance (16 employees)			0.00	0.00	164,000.00				
<a href="#">DA100.9060.811.00000</a>	DENTAL INSURANCE	14,400.00	13,075.84	14,750.00	10,891.39	0.00	0.00	15,000.00	15,000.00	15,000.00

Budget Worksheet

For Fiscal: 2025 Period Ending: 12/31/2025  
Defined Budgets

		2023	2023	2024	2024	2025	2025	2025	2025	2025
		Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	2025 Dept Head	2025 Tentative	2025 Preliminary
<a href="#">DA100.9060.820.00000</a>	HOSPITAL/MEDICAL BUY-OUT	6,000.00	4,461.36	4,000.00	4,845.96	0.00	0.00	6,000.00	6,000.00	6,000.00
<a href="#">DA100.9060.830.00000</a>	HSA ACCOUNT	48,200.00	46,713.02	54,000.00	46,500.00	0.00	0.00	46,500.00	46,500.00	46,500.00
<a href="#">DA100.9950.900.00000</a>	INTERFUND TRANSFER.CAPITAL...	25,000.00	25,000.00	0.00	0.00	0.00	0.00			
	<b>Expense Total:</b>	<b>4,924,700.42</b>	<b>4,222,901.91</b>	<b>5,560,492.00</b>	<b>3,555,898.35</b>	<b>0.00</b>	<b>0.00</b>	<b>6,034,134.00</b>	<b>5,470,134.00</b>	<b>5,470,134.00</b>
	<b>Fund: DA100 - HIGHWAY Surplus (Deficit):</b>	<b>-72,495.71</b>	<b>311,069.37</b>	<b>-104,367.00</b>	<b>286,736.64</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: DA230 - HWY EQUIPMENT RESERVE</b>										
<b>Revenue</b>										
<a href="#">DA230.2401.00000</a>	INTEREST & EARNING.EQUIPM...	0.00	15,853.20	0.00	13,178.84	0.00	0.00			
	<b>Revenue Total:</b>	<b>0.00</b>	<b>15,853.20</b>	<b>0.00</b>	<b>13,178.84</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
	<b>Fund: DA230 - HWY EQUIPMENT RESERVE Total:</b>	<b>0.00</b>	<b>15,853.20</b>	<b>0.00</b>	<b>13,178.84</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: DA232 - HWY IMPROVEMENT RESERVE</b>										
<b>Revenue</b>										
<a href="#">DA232.2401.00000</a>	INTEREST & EARNING.HWY IM...	0.00	16,955.90	0.00	14,095.54	0.00	0.00			
	<b>Revenue Total:</b>	<b>0.00</b>	<b>16,955.90</b>	<b>0.00</b>	<b>14,095.54</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
	<b>Fund: DA232 - HWY IMPROVEMENT RESERVE Total:</b>	<b>0.00</b>	<b>16,955.90</b>	<b>0.00</b>	<b>14,095.54</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: DA235 - SNOW/ICE REMOVAL RD REPAIR RESERVE</b>										
<b>Revenue</b>										
<a href="#">DA235.2401.00000</a>	INTEREST & EARNING.SNOW&I...	0.00	10,440.30	0.00	8,679.10	0.00	0.00			
	<b>Revenue Total:</b>	<b>0.00</b>	<b>10,440.30</b>	<b>0.00</b>	<b>8,679.10</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
	<b>Fund: DA235 - SNOW/ICE REMOVAL RD REPAIR RESERVE Total:</b>	<b>0.00</b>	<b>10,440.30</b>	<b>0.00</b>	<b>8,679.10</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SD600 - RT 332 DRAINAGE DISTRICT</b>										
<b>Revenue</b>										
<a href="#">SD600.1030.00000</a>	SPECIAL ASSESSMENT.RT 332 ...	9,984.00	9,984.00	9,912.00	9,912.00	0.00	0.00		14,759.00	14,759.00
<a href="#">SD600.2401.00000</a>	INTEREST & EARNINGS.RT 332 ...	90.00	561.67	200.00	467.67	0.00	0.00		206.00	206.00
<a href="#">SD600.9000.00000</a>	APPROPRIATED FUND BALANCE..	5,000.00	0.00	4,900.00	0.00	0.00	0.00		5,047.00	5,047.00
	<b>Revenue Total:</b>	<b>15,074.00</b>	<b>10,545.67</b>	<b>15,012.00</b>	<b>10,379.67</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>20,012.00</b>	<b>20,012.00</b>
<b>Expense</b>										
<a href="#">SD600.8520.400.00000</a>	MAINTENANCE..RT 332 DRAIN...	15,074.00	4,953.90	15,012.00	0.00	0.00	0.00		20,012.00	20,012.00
	<b>Expense Total:</b>	<b>15,074.00</b>	<b>4,953.90</b>	<b>15,012.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>20,012.00</b>	<b>20,012.00</b>
	<b>Fund: SD600 - RT 332 DRAINAGE DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>5,591.77</b>	<b>0.00</b>	<b>10,379.67</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SD605 - LAKEWOOD MEADOWS DRAINAGE DISTRICT</b>										
<b>Revenue</b>										
<a href="#">SD605.1030.00000</a>	SPECIAL ASSESSMENT.LAKEW...	1,932.00	1,932.00	1,932.00	1,932.00	0.00	0.00		1,990.00	1,990.00



Budget Worksheet

For Fiscal: 2025 Period Ending: 12/31/2025  
 Defined Budgets

		2023 Total Budget	2023 Total Activity	2024 Total Budget	2024 Total Activity	2025 Total Budget	2025 YTD Activity	2025 2025 Dept Head	2025 2025 Tentative	2025 2025 Preliminary
<a href="#">SD605.2401.00000</a>	INTEREST & EARNINGS.LAKEW...	18.00	114.74	70.00	95.90	0.00	0.00		70.00	70.00
	<b>Revenue Total:</b>	<b>1,950.00</b>	<b>2,046.74</b>	<b>2,002.00</b>	<b>2,027.90</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>2,060.00</b>	<b>2,060.00</b>
<b>Expense</b>										
<a href="#">SD605.8520.400.00000</a>	MAINTENANCE..LAKEWOOD M...	1,950.00	0.00	2,002.00	0.00	0.00	0.00		2,060.00	2,060.00
	<b>Expense Total:</b>	<b>1,950.00</b>	<b>0.00</b>	<b>2,002.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>2,060.00</b>	<b>2,060.00</b>
<b>Fund: SD605 - LAKEWOOD MEADOWS DRAINAGE DISTRICT Surplus (...)</b>		<b>0.00</b>	<b>2,046.74</b>	<b>0.00</b>	<b>2,027.90</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SD610 - ASHTON DRAINAGE DISTRICT</b>										
<b>Revenue</b>										
<a href="#">SD610.2401.00000</a>	INTEREST & EARNINGS.ASHTON..	8.00	71.66	45.00	55.34	0.00	0.00		45.00	45.00
	<b>Revenue Total:</b>	<b>8.00</b>	<b>71.66</b>	<b>45.00</b>	<b>55.34</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>45.00</b>	<b>45.00</b>
<b>Expense</b>										
<a href="#">SD610.8520.400.00000</a>	MAINTENANCE..ASHTON DRAI...	8.00	0.00	45.00	0.00	0.00	0.00		45.00	45.00
	<b>Expense Total:</b>	<b>8.00</b>	<b>0.00</b>	<b>45.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>45.00</b>	<b>45.00</b>
<b>Fund: SD610 - ASHTON DRAINAGE DISTRICT Surplus (Deficit):</b>		<b>0.00</b>	<b>71.66</b>	<b>0.00</b>	<b>55.34</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SD615 - FOX RIDGE DRAINAGE DISTRICT</b>										
<b>Revenue</b>										
<a href="#">SD615.1030.00000</a>	SPECIAL ASSESSMENT.FOX RID...	0.00	0.00	10,472.00	10,472.00	0.00	0.00		10,786.00	10,786.00
<a href="#">SD615.2401.00000</a>	INTEREST & EARNINGS.FOX RI...	22.00	168.59	120.00	169.58	0.00	0.00		120.00	120.00
<a href="#">SD615.9000.00000</a>	APPROPRIATED FUND BALANCE..	0.00	0.00	21,528.00	0.00	0.00	0.00			
	<b>Revenue Total:</b>	<b>22.00</b>	<b>168.59</b>	<b>32,120.00</b>	<b>10,641.58</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>10,906.00</b>	<b>10,906.00</b>
<b>Expense</b>										
<a href="#">SD615.8520.400.00000</a>	MAINTENANCE..FOX RIDGE DR...	22.00	0.00	32,120.00	0.00	0.00	0.00		10,906.00	10,906.00
	<b>Expense Total:</b>	<b>22.00</b>	<b>0.00</b>	<b>32,120.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>10,906.00</b>	<b>10,906.00</b>
<b>Fund: SD615 - FOX RIDGE DRAINAGE DISTRICT Surplus (Deficit):</b>		<b>0.00</b>	<b>168.59</b>	<b>0.00</b>	<b>10,641.58</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SD620 - LANDINGS DRAINAGE DISTRICT</b>										
<b>Revenue</b>										
<a href="#">SD620.2401.00000</a>	INTEREST & EARNINGS.LANDI...	5.00	37.53	20.00	28.98	0.00	0.00		20.00	20.00
	<b>Revenue Total:</b>	<b>5.00</b>	<b>37.53</b>	<b>20.00</b>	<b>28.98</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>20.00</b>	<b>20.00</b>
<b>Expense</b>										
<a href="#">SD620.8520.400.00000</a>	MAINTENANCE..LANDINGS DRA...	5.00	0.00	20.00	0.00	0.00	0.00		20.00	20.00
	<b>Expense Total:</b>	<b>5.00</b>	<b>0.00</b>	<b>20.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>20.00</b>	<b>20.00</b>
<b>Fund: SD620 - LANDINGS DRAINAGE DISTRICT Surplus (Deficit):</b>		<b>0.00</b>	<b>37.53</b>	<b>0.00</b>	<b>28.98</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>

Budget Worksheet

For Fiscal: 2025 Period Ending: 12/31/2025  
 Defined Budgets

		2023 Total Budget	2023 Total Activity	2024 Total Budget	2024 Total Activity	2025 Total Budget	2025 YTD Activity	2025 2025 Dept Head	2025 2025 Tentative	2025 2025 Preliminary
<b>Fund: SD625 - OLD BROOKSIDE DRAINAGE DISTRICT</b>										
<b>Revenue</b>										
<a href="#">SD625.2401.00000</a>	INTEREST & EARNINGS.OLD BR...	8.00	67.46	60.00	52.08	0.00	0.00		60.00	60.00
	<b>Revenue Total:</b>	<b>8.00</b>	<b>67.46</b>	<b>60.00</b>	<b>52.08</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>60.00</b>	<b>60.00</b>
<b>Expense</b>										
<a href="#">SD625.8520.400.00000</a>	MAINTENANCE..OLD BROOKSI...	8.00	0.00	60.00	0.00	0.00	0.00		60.00	60.00
	<b>Expense Total:</b>	<b>8.00</b>	<b>0.00</b>	<b>60.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>60.00</b>	<b>60.00</b>
	<b>Fund: SD625 - OLD BROOKSIDE DRAINAGE DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>67.46</b>	<b>0.00</b>	<b>52.08</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SD630 - LAKESIDE ESTATES DRAINAGE DISTRICT</b>										
<b>Revenue</b>										
<a href="#">SD630.2401.00000</a>	INTEREST & EARNINGS.LAKESI...	5.00	46.60	45.00	35.99	0.00	0.00		45.00	45.00
	<b>Revenue Total:</b>	<b>5.00</b>	<b>46.60</b>	<b>45.00</b>	<b>35.99</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>45.00</b>	<b>45.00</b>
<b>Expense</b>										
<a href="#">SD630.8520.400.00000</a>	MAINTENANCE..LAKESIDE ESTA...	5.00	0.00	45.00	0.00	0.00	0.00		45.00	45.00
	<b>Expense Total:</b>	<b>5.00</b>	<b>0.00</b>	<b>45.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>45.00</b>	<b>45.00</b>
	<b>Fund: SD630 - LAKESIDE ESTATES DRAINAGE DISTRICT Surplus (Defici..)</b>	<b>0.00</b>	<b>46.60</b>	<b>0.00</b>	<b>35.99</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SD635 - WATERFORD POINT DRAINAGE DISTRICT</b>										
<b>Revenue</b>										
<a href="#">SD635.1030.00000</a>	SPECIAL ASSESSMENT.WATERF...	1,610.00	1,610.00	805.00	805.00	0.00	0.00	805.00	805.00	805.00
<a href="#">SD635.2401.00000</a>	INTEREST & EARNINGS.WATER...	5.00	73.49	70.00	59.81	0.00	0.00		70.00	70.00
<a href="#">SD635.9000.00000</a>	APPROPRIATED FDBD FOR BU...	6,890.00	0.00	0.00	0.00	0.00	0.00			
	<b>Revenue Total:</b>	<b>8,505.00</b>	<b>1,683.49</b>	<b>875.00</b>	<b>864.81</b>	<b>0.00</b>	<b>0.00</b>	<b>805.00</b>	<b>875.00</b>	<b>875.00</b>
<b>Expense</b>										
<a href="#">SD635.8520.400.00000</a>	MAINTENANCE..WATERFORD ...	8,505.00	0.00	875.00	0.00	0.00	0.00		875.00	875.00
	<b>Expense Total:</b>	<b>8,505.00</b>	<b>0.00</b>	<b>875.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>875.00</b>	<b>875.00</b>
	<b>Fund: SD635 - WATERFORD POINT DRAINAGE DISTRICT Surplus (Defi..)</b>	<b>0.00</b>	<b>1,683.49</b>	<b>0.00</b>	<b>864.81</b>	<b>0.00</b>	<b>0.00</b>	<b>805.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SD640 - STABLEGATE DRAINAGE DISTRICT</b>										
<b>Revenue</b>										
<a href="#">SD640.1030.00000</a>	SPECIAL ASSESSMENT.STABLE...	0.00	0.00	6,213.00	6,213.00	0.00	0.00			
<a href="#">SD640.2401.00000</a>	INTEREST & EARNINGS.STABLE...	8.00	88.76	90.00	91.89	0.00	0.00		30.00	30.00
<a href="#">SD640.9000.00000</a>	APPROPRIATED FUND BALANCE	0.00	0.00	9,000.00	0.00	0.00	0.00			
	<b>Revenue Total:</b>	<b>8.00</b>	<b>88.76</b>	<b>15,303.00</b>	<b>6,304.89</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>30.00</b>	<b>30.00</b>

Budget Worksheet

For Fiscal: 2025 Period Ending: 12/31/2025  
Defined Budgets

		2023	2023	2024	2024	2025	2025	2025	2025	2025
		Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	2025 Dept Head	2025 Tentative	2025 Preliminary
<b>Expense</b>										
<a href="#">SD640.8520.400.00000</a>	MAINTENANCE..STABLEGATE D...	8.00	0.00	15,303.00	0.00	0.00	0.00		30.00	30.00
	<b>Expense Total:</b>	<b>8.00</b>	<b>0.00</b>	<b>15,303.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>30.00</b>	<b>30.00</b>
	<b>Fund: SD640 - STABLEGATE DRAINAGE DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>88.76</b>	<b>0.00</b>	<b>6,304.89</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>

**Fund: SF450 - FIRE PROTECTION**

<b>Revenue</b>										
<a href="#">SF450.1001.00000</a>	REAL PROPERTY TAXES.FIRE PR...	1,365,000.00	1,365,000.00	1,750,000.00	1,750,000.00	0.00	0.00	1,990,000.00	1,990,000.00	1,990,000.00
<a href="#">SF450.1120.00000</a>	NON PROPERTY SALES TAX	100,000.00	100,000.00	0.00	0.00	0.00	0.00			
<a href="#">SF450.2401.00000</a>	INTEREST & EARNINGS.FIRE PR...	200.00	1,423.78	2,500.00	1,875.92	0.00	0.00	200.00	200.00	200.00
<a href="#">SF450.9000.00000</a>	APPROPRIATED FUND BALANCE..	25,000.00	23,576.22	2,500.00	0.00	0.00	0.00			
	<b>Revenue Total:</b>	<b>1,490,200.00</b>	<b>1,490,000.00</b>	<b>1,755,000.00</b>	<b>1,751,875.92</b>	<b>0.00</b>	<b>0.00</b>	<b>1,990,200.00</b>	<b>1,990,200.00</b>	<b>1,990,200.00</b>

<b>Expense</b>										
<a href="#">SF450.3410.400.00000</a>	FIRE PROTECTION DISTRICT AG...	1,490,200.00	1,490,000.00	1,755,000.00	1,755,000.00	0.00	0.00	1,990,200.00	1,990,200.00	1,990,200.00

**Budget Detail**

Budget Code	Description	Units	Price	Amount
2025 Preliminary	Cheshire VFD	0.00	0.00	890,000.00
2025 Preliminary	City of CDGA FD	0.00	0.00	1,100,000.00
2025 Preliminary	Misc. Exp	0.00	0.00	200.00

<b>Expense Total:</b>	<b>1,490,200.00</b>	<b>1,490,000.00</b>	<b>1,755,000.00</b>	<b>1,755,000.00</b>	<b>0.00</b>	<b>0.00</b>	<b>1,990,200.00</b>	<b>1,990,200.00</b>	<b>1,990,200.00</b>
-----------------------	---------------------	---------------------	---------------------	---------------------	-------------	-------------	---------------------	---------------------	---------------------

<b>Fund: SF450 - FIRE PROTECTION Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>-3,124.08</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
---	-------------	-------------	-------------	------------------	-------------	-------------	-------------	-------------	-------------

**Fund: SL700 - CENTERPOINT LIGHTING DISTRICT**

<b>Revenue</b>										
<a href="#">SL700.1001.00000</a>	REAL PROPERTY TAXES.CENTER...	1,808.00	1,808.00	1,910.00	1,910.00	0.00	0.00	2,000.00	1,967.00	1,967.00
<a href="#">SL700.2401.00000</a>	INTEREST & EARNINGS.CENTER...	6.00	14.29	12.00	10.70	0.00	0.00		12.00	12.00
<a href="#">SL700.9000.00000</a>	APPROPRIATED FUND BALANCE..	0.00	332.97	0.00	0.00	0.00	0.00			
	<b>Revenue Total:</b>	<b>1,814.00</b>	<b>2,155.26</b>	<b>1,922.00</b>	<b>1,920.70</b>	<b>0.00</b>	<b>0.00</b>	<b>2,000.00</b>	<b>1,979.00</b>	<b>1,979.00</b>

<b>Expense</b>										
<a href="#">SL700.5182.200.00000</a>	STREET LIGHTING.CAP EQUIP.C...	6.00	0.00	0.00	0.00	0.00	0.00			
<a href="#">SL700.5182.400.00000</a>	UTILITIES ELECTRIC..CENTERPO...	1,808.00	2,155.26	1,922.00	1,518.02	0.00	0.00	2,000.00	1,979.00	1,979.00
	<b>Expense Total:</b>	<b>1,814.00</b>	<b>2,155.26</b>	<b>1,922.00</b>	<b>1,518.02</b>	<b>0.00</b>	<b>0.00</b>	<b>2,000.00</b>	<b>1,979.00</b>	<b>1,979.00</b>

<b>Fund: SL700 - CENTERPOINT LIGHTING DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>402.68</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
---	-------------	-------------	-------------	---------------	-------------	-------------	-------------	-------------	-------------

**Fund: SL705 - FOX RIDGE LIGHTING DISTRICT**

<b>Revenue</b>										
<a href="#">SL705.1001.00000</a>	REAL PROPERTY TAXES.FOX RI...	13,100.00	13,100.00	15,432.00	15,432.00	0.00	0.00	12,200.00	11,960.00	11,960.00

Budget Worksheet

For Fiscal: 2025 Period Ending: 12/31/2025  
Defined Budgets

		2023 Total Budget	2023 Total Activity	2024 Total Budget	2024 Total Activity	2025 Total Budget	2025 YTD Activity	2025 2025 Dept Head	2025 2025 Tentative	2025 2025 Preliminary
<a href="#">SL705.2401.00000</a>	INTEREST & EARNINGS.FOX RI...	6.00	38.46	40.00	49.83	0.00	0.00	50.00	40.00	40.00
<a href="#">SL705.9000.00000</a>	APPROPRIATED FUND BALANCE..	1,794.00	0.00	0.00	0.00	0.00	0.00			
	<b>Revenue Total:</b>	<b>14,900.00</b>	<b>13,138.46</b>	<b>15,472.00</b>	<b>15,481.83</b>	<b>0.00</b>	<b>0.00</b>	<b>12,250.00</b>	<b>12,000.00</b>	<b>12,000.00</b>

**Expense**

<a href="#">SL705.5182.400.00000</a>	UTILITIES ELECTRIC..FOX RIDGE...	10,900.00	10,987.80	11,000.00	7,331.94	0.00	0.00	11,000.00	11,000.00	11,000.00
<a href="#">SL705.5182.401.00000</a>	STREET LIGHTING.MAINTENAN...	4,000.00	127.74	4,472.00	0.00	0.00	0.00	704.00	1,000.00	1,000.00

**Budget Detail**

Budget Code	Description	Units	Price	Amount
2025 Preliminary	Light bulbs	0.00	0.00	500.00
2025 Preliminary	Photos eyes	0.00	0.00	500.00
	<b>Expense Total:</b>	<b>14,900.00</b>	<b>11,115.54</b>	<b>15,472.00</b>

<b>Fund: SL705 - FOX RIDGE LIGHTING DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>2,022.92</b>	<b>0.00</b>	<b>8,149.89</b>	<b>0.00</b>	<b>0.00</b>	<b>546.00</b>	<b>0.00</b>	<b>0.00</b>
---	-------------	-----------------	-------------	-----------------	-------------	-------------	---------------	-------------	-------------

**Fund: SL710 - LANDINGS LIGHTING DISTRICT**

**Revenue**

<a href="#">SL710.2401.00000</a>	INTEREST & EARNINGS.LANDI...	1.00	6.18	5.00	4.76	0.00	0.00		5.00	5.00
	<b>Revenue Total:</b>	<b>1.00</b>	<b>6.18</b>	<b>5.00</b>	<b>4.76</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>5.00</b>	<b>5.00</b>

**Expense**

<a href="#">SL710.5182.400.00000</a>	UTILITIES ELECTRIC..LANDINGS ...	1.00	0.00	5.00	0.00	0.00	0.00		5.00	5.00
	<b>Expense Total:</b>	<b>1.00</b>	<b>0.00</b>	<b>5.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>5.00</b>	<b>5.00</b>

<b>Fund: SL710 - LANDINGS LIGHTING DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>6.18</b>	<b>0.00</b>	<b>4.76</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
--	-------------	-------------	-------------	-------------	-------------	-------------	-------------	-------------	-------------	-------------

**Fund: SL715 - LAKEWOOD MEADOWS LIGHTING DISTRICT**

**Revenue**

<a href="#">SL715.1001.00000</a>	REAL PROPERTY TAXES.LAKEW...	530.00	530.00	1,475.00	1,475.00	0.00	0.00	400.00		
<a href="#">SL715.2401.00000</a>	INTEREST & EARNINGS.LAKEW...	3.00	17.06	15.00	17.08	0.00	0.00	20.00	15.00	15.00
<a href="#">SL715.9000.00000</a>	APPROPRIATED FUND BALANCE..	0.00	0.00	0.00	0.00	0.00	0.00		1,475.00	1,475.00
	<b>Revenue Total:</b>	<b>533.00</b>	<b>547.06</b>	<b>1,490.00</b>	<b>1,492.08</b>	<b>0.00</b>	<b>0.00</b>	<b>420.00</b>	<b>1,490.00</b>	<b>1,490.00</b>

**Expense**

<a href="#">SL715.5182.240.00000</a>	UTILITIES-EQUIPMENT.LAKEW...	210.00	127.74	1,095.00	0.00	0.00	0.00			
<a href="#">SL715.5182.400.00000</a>	UTILITIES-ELECTRIC.LAKEWOOD..	323.00	367.74	395.00	279.94	0.00	0.00	400.00	1,490.00	1,490.00

**Budget Detail**

Budget Code	Description	Units	Price	Amount
2025 Preliminary	Lights	0.00	0.00	1,095.00

Budget Worksheet

For Fiscal: 2025 Period Ending: 12/31/2025  
Defined Budgets

		2023	2023	2024	2024	2025	2025	2025	2025	2025
		Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	2025 Dept Head	2025 Tentative	2025 Preliminary
2025 Preliminary	RGE			0.00	0.00	395.00				
<b>Expense Total:</b>		<b>533.00</b>	<b>495.48</b>	<b>1,490.00</b>	<b>279.94</b>	<b>0.00</b>	<b>0.00</b>	<b>400.00</b>	<b>1,490.00</b>	<b>1,490.00</b>
<b>Fund: SL715 - LAKEWOOD MEADOWS LIGHTING DISTRICT Surplus (D...</b>		<b>0.00</b>	<b>51.58</b>	<b>0.00</b>	<b>1,212.14</b>	<b>0.00</b>	<b>0.00</b>	<b>20.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SL720 - FALLBROOK PARK LIGHTING DISTRICT</b>										
<b>Revenue</b>										
<a href="#">SL720.1001.00000</a>	REAL PROPERTY TAXES.FALLBR...	1,597.00	1,597.00	2,118.00	2,118.00	0.00	0.00	2,200.00	2,190.00	2,190.00
<a href="#">SL720.2401.00000</a>	INTEREST & EARNINGS.FALLBR...	3.00	12.81	10.00	12.25	0.00	0.00	15.00	10.00	10.00
<a href="#">SL720.9000.00000</a>	APPROPRIATED FUND BALANCE..	0.00	44.92	0.00	0.00	0.00	0.00			
<b>Revenue Total:</b>		<b>1,600.00</b>	<b>1,654.73</b>	<b>2,128.00</b>	<b>2,130.25</b>	<b>0.00</b>	<b>0.00</b>	<b>2,215.00</b>	<b>2,200.00</b>	<b>2,200.00</b>
<b>Expense</b>										
<a href="#">SL720.5182.400.00000</a>	UTILITIES ELECTRIC.FALLBROOK...	1,600.00	1,654.73	1,700.00	1,142.65	0.00	0.00	2,200.00	1,700.00	1,700.00
<a href="#">SL720.5182.401.00000</a>	STREET LIGHTING.MAINTENAN...	0.00	0.00	428.00	0.00	0.00	0.00		500.00	500.00
<b>Expense Total:</b>		<b>1,600.00</b>	<b>1,654.73</b>	<b>2,128.00</b>	<b>1,142.65</b>	<b>0.00</b>	<b>0.00</b>	<b>2,200.00</b>	<b>2,200.00</b>	<b>2,200.00</b>
<b>Fund: SL720 - FALLBROOK PARK LIGHTING DISTRICT Surplus (Deficit):</b>		<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>987.60</b>	<b>0.00</b>	<b>0.00</b>	<b>15.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SM900 - UPTOWN BUSINESS IMPROVEMENT DISTRICT</b>										
<b>Revenue</b>										
<a href="#">SM900.1001.00000</a>	REAL PROPERTY TAXES.UPTO...	105,400.00	105,400.00	105,000.00	105,000.00	0.00	0.00			
<a href="#">SM900.2401.00000</a>	INTEREST & EARNINGS.UPTO...	100.00	370.65	400.00	439.23	0.00	0.00	200.00	200.00	200.00
<a href="#">SM900.9000.00000</a>	APPROPRIATED FUND BALANCE..	0.00	0.00	0.00	0.00	0.00	0.00		35,200.00	35,200.00
<b>Revenue Total:</b>		<b>105,500.00</b>	<b>105,770.65</b>	<b>105,400.00</b>	<b>105,439.23</b>	<b>0.00</b>	<b>0.00</b>	<b>200.00</b>	<b>35,400.00</b>	<b>35,400.00</b>
<b>Expense</b>										
<a href="#">SM900.5182.400.00000</a>	STREET LIGHTING-CONTRACTU...	12,400.00	977.12	0.00	0.00	0.00	0.00			
<a href="#">SM900.5182.401.00000</a>	STREET LIGHTING-UTILITIES.UP...	0.00	0.00	15,400.00	5,244.83	0.00	0.00	15,400.00	15,400.00	15,400.00
<a href="#">SM900.7110.200.00000</a>	PARKS.EQUIP & CAP OUTLAY.U...	93,100.00	93,089.00	0.00	0.00	0.00	0.00			
<a href="#">SM900.8510.400.00000</a>	COMMUNITY BEAUTIF - CONT....	0.00	0.00	15,000.00	0.00	0.00	0.00	15,000.00	20,000.00	20,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Parks Mowing			0.00	0.00	20,000.00				
<a href="#">SM900.9730.700.00000</a>	BAN DEBT INTEREST	0.00	0.00	75,000.00	0.00	0.00	0.00			
<b>Expense Total:</b>		<b>105,500.00</b>	<b>94,066.12</b>	<b>105,400.00</b>	<b>5,244.83</b>	<b>0.00</b>	<b>0.00</b>	<b>30,400.00</b>	<b>35,400.00</b>	<b>35,400.00</b>
<b>Fund: SM900 - UPTOWN BUSINESS IMPROVEMENT DISTRICT Surplus ..</b>		<b>0.00</b>	<b>11,704.53</b>	<b>0.00</b>	<b>100,194.40</b>	<b>0.00</b>	<b>0.00</b>	<b>-30,200.00</b>	<b>0.00</b>	<b>0.00</b>

Budget Worksheet

For Fiscal: 2025 Period Ending: 12/31/2025  
 Defined Budgets

		2023 Total Budget	2023 Total Activity	2024 Total Budget	2024 Total Activity	2025 Total Budget	2025 YTD Activity	2025 2025 Dept Head	2025 2025 Tentative	2025 2025 Preliminary
<b>Fund: SS800 - SANITARY SEWER</b>										
<b>Revenue</b>										
<a href="#">SS800.1030.00000</a>	SPECIAL ASSESSMENTS..PURDY...	18,210.00	18,210.00	18,210.00	18,210.00	0.00	0.00	18,210.00	18,210.00	18,210.00
<a href="#">SS800.2401.00000</a>	INTEREST & EARNINGS.SEWER	14.00	73.30	90.00	68.94	0.00	0.00	100.00	100.00	100.00
	<b>Revenue Total:</b>	<b>18,224.00</b>	<b>18,283.30</b>	<b>18,300.00</b>	<b>18,278.94</b>	<b>0.00</b>	<b>0.00</b>	<b>18,310.00</b>	<b>18,310.00</b>	<b>18,310.00</b>
<b>Expense</b>										
<a href="#">SS800.9710.600.00000</a>	SERIAL BONDS.PRINCIPAL.PUR...	18,210.00	18,210.00	18,300.00	0.00	0.00	0.00	18,210.00	18,310.00	18,310.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Dec 2025 Purdy Rd Bond Principal			0.00	0.00	18,210.00				
2025 Preliminary	Interest			0.00	0.00	100.00				
<a href="#">SS800.9710.700.00000</a>	SERIAL BONDS.INTEREST.PURD...	14.00	0.00	0.00	0.00	0.00	0.00			
	<b>Expense Total:</b>	<b>18,224.00</b>	<b>18,210.00</b>	<b>18,300.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>18,210.00</b>	<b>18,310.00</b>	<b>18,310.00</b>
	<b>Fund: SS800 - SANITARY SEWER Surplus (Deficit):</b>	<b>0.00</b>	<b>73.30</b>	<b>0.00</b>	<b>18,278.94</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SW500 - CANANDAIGUA CONSOLIDATED WATER DISTRICT</b>										
<b>Revenue</b>										
<a href="#">SW500.1001.00000</a>	REAL PROPERTY TAXES.CANDG...	695,000.00	695,000.00	791,001.00	791,001.00	0.00	0.00	929,234.00	930,401.00	930,401.00
<a href="#">SW500.2140.00000</a>	WATER QUARTERLY SALES.CA...	725,000.00	1,021,081.63	725,000.00	454,557.03	0.00	0.00	750,000.00	1,000,000.00	1,000,000.00
<a href="#">SW500.2142.00000</a>	WATER FILL STATION SALES.CA...	2,000.00	2,365.76	2,000.00	1,727.10	0.00	0.00	2,000.00	2,000.00	2,000.00
<a href="#">SW500.2144.00000</a>	WATER NEW SERVICES.CANDG...	25,000.00	34,261.00	12,000.00	19,452.00	0.00	0.00	25,000.00	25,000.00	25,000.00
<a href="#">SW500.2148.00000</a>	PENALTY ON WATER.CANDGA ...	5,000.00	9,044.48	5,000.00	3,500.56	0.00	0.00	10,000.00	10,000.00	10,000.00
<a href="#">SW500.2389.00000</a>	INTEREST OTHER GOVT	1,713.00	0.00	1,452.00	0.00	0.00	0.00		1,183.00	1,183.00
<a href="#">SW500.2401.00000</a>	INTEREST & EARNINGS.CANAN...	4,500.00	55,974.99	55,000.00	54,202.58	0.00	0.00	65,000.00	60,000.00	60,000.00
<a href="#">SW500.2655.00000</a>	SALES - OTHER-REPAIRS/REPLA...	2,500.00	61.20	500.00	1,134.02	0.00	0.00	20,000.00	20,000.00	20,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Sale of Water truck			1.00	-20,000.00	-20,000.00				
<a href="#">SW500.5031.00000</a>	INTERFUND TRANSFERS.CAND...	14,814.00	14,814.00	19,093.00	19,093.00	0.00	0.00	2,500.00	19,149.00	19,149.00
<a href="#">SW500.9000.00000</a>	APPROPRIATED FUND BALANCE..	523,850.00	5,178.35	361,714.00	0.00	0.00	0.00	400,000.00	200,000.00	200,000.00
	<b>Revenue Total:</b>	<b>1,999,377.00</b>	<b>1,837,781.41</b>	<b>1,972,760.00</b>	<b>1,344,667.29</b>	<b>0.00</b>	<b>0.00</b>	<b>2,203,734.00</b>	<b>2,267,733.00</b>	<b>2,267,733.00</b>
<b>Expense</b>										
<a href="#">SW500.1910.400.00000</a>	UNALLOCATED INS.CONTRACT...	13,500.00	13,238.00	17,531.64	17,531.64	0.00	0.00	17,600.00	17,600.00	17,600.00
<a href="#">SW500.1990.400.00000</a>	CONTINGENCY.CONTRACTUAL....	0.00	0.00	19,768.36	0.00	0.00	0.00	26,250.00	26,250.00	26,250.00

Budget Worksheet

For Fiscal: 2025 Period Ending: 12/31/2025  
 Defined Budgets

		2023	2023	2024	2024	2025	2025	2025	2025	2025
		Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	2025 Dept Head	2025 Tentative	2025 Preliminary
<a href="#">SW500.8310.120.00000</a>	WATER ADMIN.SUPER.SALARY....	55,000.00	54,999.88	75,000.00	60,577.02	0.00	0.00	80,000.00	80,000.00	80,000.00
<a href="#">SW500.8310.121.00000</a>	WATER ADMIN.CLERK.CDGA C...	15,000.00	13,412.15	18,273.00	7,615.31	0.00	0.00	20,000.00	20,000.00	20,000.00
<a href="#">SW500.8310.122.00000</a>	WATER ADMIN.SENIOR CLERK....	25,131.00	24,210.25	25,647.00	19,736.70	0.00	0.00	30,005.00	30,005.00	30,005.00
<a href="#">SW500.8310.131.00000</a>	WATER ADMIN.MAINASST.CA...	189,461.00	189,460.30	195,000.00	173,630.76	0.00	0.00	252,710.00	252,710.00	252,710.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Water asst supervisor			0.00	0.00	45,000.00				
2025 Preliminary	Water Maintenance Assistants (x3)			0.00	0.00	207,710.00				
<a href="#">SW500.8310.200.00000</a>	WATER ADMIN.CAP EQUIP.CA...	13,911.50	13,515.81	35,000.00	0.00	0.00	0.00	85,000.00	85,000.00	85,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Replace pick up truck			0.00	0.00	85,000.00				
<a href="#">SW500.8310.400.00000</a>	WATER ADMIN.CONTRACTUAL...	950.00	949.27	5,760.00	2,599.70	0.00	0.00	4,780.00	4,780.00	4,780.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Cell Phone Stipend (3)			0.00	0.00	1,280.00				
2025 Preliminary	Copier allowance and overage			0.00	0.00	2,500.00				
2025 Preliminary	Office supplies			0.00	0.00	1,000.00				
<a href="#">SW500.8310.410.00000</a>	WATER ADMIN.LEGAL SERVICES..	1,844.00	456.00	5,000.00	0.00	0.00	0.00	5,250.00	5,250.00	5,250.00
<a href="#">SW500.8310.420.00000</a>	WATER ADMIN.METER READIN...	43,436.27	43,436.27	39,000.00	30,686.23	0.00	0.00	50,500.00	50,500.00	50,500.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Badger			0.00	0.00	16,500.00				
2025 Preliminary	Envelopes, paper			0.00	0.00	6,000.00				
2025 Preliminary	Muni Link			0.00	0.00	16,500.00				
2025 Preliminary	Postage			0.00	0.00	9,000.00				
2025 Preliminary	Quick print - fold & stuff			0.00	0.00	2,500.00				
<a href="#">SW500.8310.423.00000</a>	WATER ADMIN.VEHICLE GPS.C...	1,000.00	682.20	1,000.00	504.35	0.00	0.00	750.00	750.00	750.00
<a href="#">SW500.8310.424.00000</a>	WATER ADMIN.TRAINING & D...	4,342.00	4,341.28	9,179.00	3,120.00	0.00	0.00	5,600.00	5,600.00	5,600.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	APWA membership			1.00	1,000.00	1,000.00				
2025 Preliminary	AWWA membership			1.00	600.00	600.00				
2025 Preliminary	FLWWA dues and semi monthly training			1.00	2,000.00	2,000.00				

**Budget Worksheet**

**For Fiscal: 2025 Period Ending: 12/31/2025**  
**Defined Budgets**

		<b>2023</b>	<b>2023</b>	<b>2024</b>	<b>2024</b>	<b>2025</b>	<b>2025</b>	<b>2025</b>	<b>2025</b>	<b>2025</b>
		<b>Total Budget</b>	<b>Total Activity</b>	<b>Total Budget</b>	<b>Total Activity</b>	<b>Total Budget</b>	<b>YTD Activity</b>	<b>2025 Dept Head</b>	<b>2025 Tentative</b>	<b>2025 Preliminary</b>
2025 Preliminary	Two employees for Grade D water certification			2.00	1,000.00	2,000.00				
<a href="#">SW500.8310.450.00000</a>	WATER ADMIN.ENGINEERING....	63,863.00	63,862.36	42,843.00	15,854.95	0.00	0.00	53,500.00	53,500.00	53,500.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	General engineering			1.00	10,000.00	10,000.00				
2025 Preliminary	Water master plan			1.00	35,000.00	35,000.00				
2025 Preliminary	WIIA grant			1.00	8,500.00	8,500.00				
<a href="#">SW500.8320.400.00000</a>	WATER PURCHASES.CONT.CA...	551,973.00	551,972.67	525,000.00	400,003.80	0.00	0.00	550,000.00	775,000.00	775,000.00
<a href="#">SW500.8320.420.00000</a>	WATER PURCHASES.UTILITIES....	54,194.00	53,859.58	58,000.00	30,437.65	0.00	0.00	58,000.00	58,000.00	58,000.00
<a href="#">SW500.8340.440.00000</a>	SERVICES & MAINT.SERVICES &...	227,106.00	227,105.19	163,000.00	119,436.54	0.00	0.00	169,500.00	169,500.00	169,500.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Annual fire inspection systems			1.00	1,000.00	1,000.00				
2025 Preliminary	ARC/GIS annual subscription			1.00	3,000.00	3,000.00				
2025 Preliminary	Directional drilling			1.00	6,000.00	6,000.00				
2025 Preliminary	Generator inspections and services			1.00	4,000.00	4,000.00				
2025 Preliminary	Materials to operate the water system			1.00	100,000.00	100,000.00				
2025 Preliminary	Monthly SCADA			1.00	20,000.00	20,000.00				
2025 Preliminary	Painting fire hydrants			30.00	500.00	15,000.00				
2025 Preliminary	PRV maintenance			1.00	5,000.00	5,000.00				
2025 Preliminary	Security monitoring			1.00	2,000.00	2,000.00				
2025 Preliminary	Semi Annual CL 2 calibration			1.00	10,000.00	10,000.00				
2025 Preliminary	Trimble Unity monitoring			1.00	3,500.00	3,500.00				
<a href="#">SW500.8397.200.00000</a>	WATER CAP PROJECTS.CAP EQU..	172,442.00	172,441.40	250,000.00	128,474.15	0.00	0.00	235,000.00	235,000.00	235,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	24 new fire hydrants			0.00	0.00	100,000.00				
2025 Preliminary	Water meters			0.00	0.00	135,000.00				
<a href="#">SW500.8397.400.00000</a>	WATER CAPITAL PROJECTS.CO...	167,796.73	34,761.66	100,000.00	43,497.91	0.00	0.00			
<a href="#">SW500.9010.800.00000</a>	NYS RETIREMENT..CANDGA CO...	20,825.00	14,455.52	24,000.00	0.00	0.00	0.00	12,588.00	12,588.00	12,588.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	NYSLRS			0.00	0.00	12,588.00				
<a href="#">SW500.9030.800.00000</a>	SOCIAL SECURITY...CANDGA C...	19,904.00	19,903.66	19,500.00	18,465.42	0.00	0.00	16,000.00	16,000.00	16,000.00



Budget Worksheet

For Fiscal: 2025 Period Ending: 12/31/2025  
 Defined Budgets

		2023	2023	2024	2024	2025	2025	2025	2025	2025
		Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	2025 Dept Head	2025 Tentative	2025 Preliminary
<a href="#">SW500.9040.800.00000</a>	WORKERS COMPENSATION...C...	5,950.00	5,910.58	5,200.00	5,159.51	0.00	0.00	4,200.00	4,200.00	4,200.00
<a href="#">SW500.9050.800.00000</a>	UNEMPLOYMENT INSURANCE...	1,000.00	0.00	1,000.00	0.00	0.00	0.00	1,000.00	1,000.00	1,000.00
<a href="#">SW500.9055.800.00000</a>	DISABILITY INSURANCE...CAND...	100.00	83.88	100.00	34.56	0.00	0.00	100.00	100.00	100.00
<a href="#">SW500.9060.810.00000</a>	HOSPITAL/MEDICAL INSURANC...	28,621.00	27,962.56	32,300.00	29,951.29	0.00	0.00	44,000.00	44,000.00	44,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Water Department Health Insurance			0.00	0.00	44,000.00				
<a href="#">SW500.9060.811.00000</a>	DENTAL INSURANCE.CANDGA ...	4,700.00	3,079.16	3,700.00	3,083.06	0.00	0.00	3,900.00	3,900.00	3,900.00
<a href="#">SW500.9060.820.00000</a>	HOSPITAL/MEDICAL INSURANC...	3,000.00	2,999.88	4,000.00	2,153.76	0.00	0.00	3,000.00	4,000.00	4,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Water Dept. BuyOut			0.00	0.00	4,000.00				
<a href="#">SW500.9060.830.00000</a>	HOSPITAL/MEDICAL INS.HSA A...	11,500.00	11,500.00	11,500.00	10,000.00	0.00	0.00	13,000.00	13,000.00	13,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	HRA/HSA Contributions			0.00	0.00	13,000.00				
<a href="#">SW500.9090.876.00000</a>	EMP BENEFIT VAC BUYBACK	2,000.00	1,198.40	2,000.00	0.00	0.00	0.00	2,000.00	2,000.00	2,000.00
<a href="#">SW500.9710.600.00000</a>	SERIAL BONDS PRINCIPAL	240,000.00	240,000.00	240,000.00	0.00	0.00	0.00	245,000.00	245,000.00	245,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Dec 2025 CCWD Bond - Principal			0.00	0.00	245,000.00				
<a href="#">SW500.9710.700.00000</a>	SERIAL BONDS INTEREST	62,100.00	62,100.00	57,300.00	28,650.00	0.00	0.00	52,500.00	52,500.00	52,500.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Dec 2025 CCWD Bond - interest			0.00	0.00	26,250.00				
2025 Preliminary	Jan 2025 CCWD Bond - Interest			0.00	0.00	26,250.00				
<a href="#">SW500.9950.900.00000</a>	TRNSF.CITY.WATERPLANTRESE...	0.00	0.00	1.00	0.00	0.00	0.00			
	<b>Expense Total:</b>	<b>2,000,650.50</b>	<b>1,851,897.91</b>	<b>1,985,603.00</b>	<b>1,151,204.31</b>	<b>0.00</b>	<b>0.00</b>	<b>2,041,733.00</b>	<b>2,267,733.00</b>	<b>2,267,733.00</b>
<b>Fund: SW500 - CANANDAIGUA CONSOLIDATED WATER DISTRICT Sur...</b>		<b>-1,273.50</b>	<b>-14,116.50</b>	<b>-12,843.00</b>	<b>193,462.98</b>	<b>0.00</b>	<b>0.00</b>	<b>162,001.00</b>	<b>0.00</b>	<b>0.00</b>

**Budget Worksheet**

**For Fiscal: 2025 Period Ending: 12/31/2025**  
**Defined Budgets**

		2023 Total Budget	2023 Total Activity	2024 Total Budget	2024 Total Activity	2025 Total Budget	2025 YTD Activity	2025 2025 Dept Head	2025 2025 Tentative	2025 2025 Preliminary
<b>Fund: SW505 - CANANDAIGUA BRISTOL JOINT WATER DISTRICT</b>										
<b>Revenue</b>										
<a href="#">SW505.1001.00000</a>	REAL PROPERTY TAXES.CANDG...	12,624.00	12,624.00	16,962.00	16,962.00	0.00	0.00	28,323.00	17,418.00	17,418.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Bristol Tax Levy			0.00	0.00	-11,478.00				
2025 Preliminary	Canandaigua Tax Levy			0.00	0.00	-5,940.00				
<a href="#">SW505.1030.00000</a>	SPECIAL ASSESSMENT.CANDGA...	60,962.00	60,962.00	61,336.00	61,336.00	0.00	0.00	61,336.00	61,336.00	61,336.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Bristol			0.00	0.00	-43,758.00				
2025 Preliminary	Canandaigua			0.00	0.00	-17,578.00				
<a href="#">SW505.2401.00000</a>	INTEREST & EARNINGS.CANAN...	0.00	351.43	325.00	301.06	0.00	0.00	300.00	300.00	300.00
<a href="#">SW505.3991.00000</a>	STATE AID CAP PROJ	0.00	22,000.00	0.00	0.00	0.00	0.00			
<a href="#">SW505.9000.00000</a>	APPROPRIATED FUND BALANCE..	10,068.00	0.00	826.00	0.00	0.00	0.00			
	<b>Revenue Total:</b>	<b>83,654.00</b>	<b>95,937.43</b>	<b>79,449.00</b>	<b>78,599.06</b>	<b>0.00</b>	<b>0.00</b>	<b>89,959.00</b>	<b>79,054.00</b>	<b>79,054.00</b>
<b>Expense</b>										
<a href="#">SW505.8310.400.00000</a>	LEGAL EXPENSE..CANDGA BRIS...	0.00	610.50	0.00	0.00	0.00	0.00			
<a href="#">SW505.8340.400.00000</a>	SERVICES & MAINTENANCE.CO...	20,500.00	0.00	10,325.00	0.00	0.00	0.00	19,900.00	18,554.00	18,554.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Bristol O&M			0.00	0.00	8,198.00				
2025 Preliminary	Canandaigua O&M			0.00	0.00	4,243.00				
2025 Preliminary	Service and Maintanance Contractual			0.00	0.00	6,113.00				
<a href="#">SW505.9710.600.00000</a>	SERIAL BONDS BRISTOL.PRINCI...	20,000.00	20,000.00	25,000.00	0.00	0.00	0.00	25,000.00	25,000.00	25,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Dec 2025 CDGA/Bristol Bond - Principal			0.00	0.00	25,000.00				
<a href="#">SW505.9710.700.00000</a>	SERIAL BONDS BRISTOL.INTERE...	37,725.00	37,725.00	36,750.00	18,375.00	0.00	0.00	35,500.00	35,500.00	35,500.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Dec 2025 CDGA/Bristol Bond - Interest			0.00	0.00	17,750.00				
2025 Preliminary	June 2025 CDGA/Bristol Bond - Interest			0.00	0.00	17,750.00				
<a href="#">SW505.9903.900.00000</a>	TRANSFER/WATER-MAINT.CA...	1,919.00	1,919.00	2,545.00	2,545.00	0.00	0.00			

Budget Worksheet

For Fiscal: 2025 Period Ending: 12/31/2025  
Defined Budgets

		2023 Total Budget	2023 Total Activity	2024 Total Budget	2024 Total Activity	2025 Total Budget	2025 YTD Activity	2025 2025 Dept Head	2025 2025 Tentative	2025 2025 Preliminary
<a href="#">SW505.9903.901.00000</a>	TRANSFER/WATER-MAINT...CA...	3,510.00	3,510.00	4,829.00	4,829.00	0.00	0.00			
	<b>Expense Total:</b>	<b>83,654.00</b>	<b>63,764.50</b>	<b>79,449.00</b>	<b>25,749.00</b>	<b>0.00</b>	<b>0.00</b>	<b>80,400.00</b>	<b>79,054.00</b>	<b>79,054.00</b>
<b>Fund: SW505 - CANANDAIGUA BRISTOL JOINT WATER DISTRICT Surp..</b>		<b>0.00</b>	<b>32,172.93</b>	<b>0.00</b>	<b>52,850.06</b>	<b>0.00</b>	<b>0.00</b>	<b>9,559.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SW515 - CANANDAIGUA-FARMINGTON WATER DISTRICT</b>										
<b>Revenue</b>										
<a href="#">SW515.1001.00000</a>	REAL PROPERTY TAXES.CANDG...	220,976.00	220,976.00	286,919.00	286,919.00	0.00	0.00	301,265.00	300,467.00	300,467.00
<a href="#">SW515.2401.00000</a>	INTEREST & EARNINGS.CANAN...	40.00	337.26	350.00	525.33	0.00	0.00	600.00	350.00	350.00
	<b>Revenue Total:</b>	<b>221,016.00</b>	<b>221,313.26</b>	<b>287,269.00</b>	<b>287,444.33</b>	<b>0.00</b>	<b>0.00</b>	<b>301,865.00</b>	<b>300,817.00</b>	<b>300,817.00</b>
<b>Expense</b>										
<a href="#">SW515.8350.400.00000</a>	FARM.COMMON WATER.CONT...	220,976.00	220,976.00	285,288.00	285,288.00	0.00	0.00	295,887.00	300,817.00	300,817.00
<a href="#">SW515.8389.400.00000</a>	CDGA.COMMON WATER.CONT...	40.00	0.00	1,981.00	0.00	0.00	0.00			
	<b>Expense Total:</b>	<b>221,016.00</b>	<b>220,976.00</b>	<b>287,269.00</b>	<b>285,288.00</b>	<b>0.00</b>	<b>0.00</b>	<b>295,887.00</b>	<b>300,817.00</b>	<b>300,817.00</b>
<b>Fund: SW515 - CANANDAIGUA-FARMINGTON WATER DISTRICT Surp..</b>		<b>0.00</b>	<b>337.26</b>	<b>0.00</b>	<b>2,156.33</b>	<b>0.00</b>	<b>0.00</b>	<b>5,978.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SW525 - MCINTYRE ROAD WATER DISTRICT</b>										
<b>Revenue</b>										
<a href="#">SW525.1001.00000</a>	REAL PROPERTY TAXES.MCINT...	7,243.00	7,243.00	8,451.00	8,451.00	0.00	0.00		8,490.00	8,490.00
<a href="#">SW525.2401.00000</a>	INTEREST & EARNINGS.MCINT...	8.00	46.78	45.00	39.04	0.00	0.00		45.00	45.00
<a href="#">SW525.9000.00000</a>	APPROPRIATED FUND BALANCE..	1,100.00	274.22	3,200.00	0.00	0.00	0.00		1,000.00	1,000.00
	<b>Revenue Total:</b>	<b>8,351.00</b>	<b>7,564.00</b>	<b>11,696.00</b>	<b>8,490.04</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>9,535.00</b>	<b>9,535.00</b>
<b>Expense</b>										
<a href="#">SW525.8340.400.00000</a>	SERVICES & MAINTENANCE.CO...	787.00	0.00	3,988.00	1,200.00	0.00	0.00		1,993.00	1,993.00
<a href="#">SW525.9710.600.00000</a>	SERIAL BONDS.PRINCIPAL.MCI...	3,000.00	3,000.00	3,000.00	0.00	0.00	0.00	3,000.00	3,000.00	3,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Dec 2025 McIntyre Bond Principal			0.00	0.00	3,000.00				
<a href="#">SW525.9710.700.00000</a>	SERIAL BONDS.INTEREST.MCIN...	3,384.00	3,384.00	3,225.00	1,612.50	0.00	0.00	3,064.00	3,064.00	3,064.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Dec 2025 McIntyre Bond Interest			0.00	0.00	1,532.00				
2025 Preliminary	June 2025 McIntyre Bond Interest			0.00	0.00	1,532.00				
<a href="#">SW525.9903.900.00000</a>	TRANSFER/WATER-MAINTENA...	1,180.00	1,180.00	1,483.00	1,483.00	0.00	0.00		1,478.00	1,478.00

Budget Worksheet

For Fiscal: 2025 Period Ending: 12/31/2025  
 Defined Budgets

		2023	2023	2024	2024	2025	2025	2025	2025	2025
		Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	2025 Dept Head	2025 Tentative	2025 Preliminary
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Transfer to CCWD			0.00	0.00	1,478.00				
<b>Expense Total:</b>		<b>8,351.00</b>	<b>7,564.00</b>	<b>11,696.00</b>	<b>4,295.50</b>	<b>0.00</b>	<b>0.00</b>	<b>6,064.00</b>	<b>9,535.00</b>	<b>9,535.00</b>
<b>Fund: SW525 - MCINTYRE ROAD WATER DISTRICT Surplus (Deficit):</b>		<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>4,194.54</b>	<b>0.00</b>	<b>0.00</b>	<b>-6,064.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SW530 - EMERSON ALLEN TOWNLINE RD WATER DISTRICT</b>										
<b>Revenue</b>										
<a href="#">SW530.1001.00000</a>	REAL PROPERTY TAXES.EMERS...	18,545.00	18,545.00	19,567.00	19,567.00	0.00	0.00		19,608.00	19,608.00
<a href="#">SW530.2401.00000</a>	INTEREST & EARNINGS.EMERS...	2.00	23.36	25.00	25.05	0.00	0.00		25.00	25.00
<b>Revenue Total:</b>		<b>18,547.00</b>	<b>18,568.36</b>	<b>19,592.00</b>	<b>19,592.05</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>19,633.00</b>	<b>19,633.00</b>
<b>Expense</b>										
<a href="#">SW530.8389.400.00000</a>	COMMON WATER.CONTRACT...	4,815.00	4,815.00	6,260.00	6,282.00	0.00	0.00		5,723.00	5,723.00
<a href="#">SW530.9710.600.00000</a>	SERIAL BONDS.PRINCIPAL.EME...	8,000.00	8,000.00	8,000.00	8,000.00	0.00	0.00	9,000.00	9,000.00	9,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	May 2025 Emerson/Allen Bond Principal			0.00	0.00	9,000.00				
<a href="#">SW530.9710.700.00000</a>	SERIAL BONDS.INTEREST.EMER...	5,732.00	5,732.00	5,332.00	5,332.00	0.00	0.00	4,907.00	4,910.00	4,910.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	May 2025 Emerson/Allen Bond Interest			0.00	0.00	2,569.00				
2025 Preliminary	Nov 2025 Emerson/Allen Bond Interest			0.00	0.00	2,341.00				
<b>Expense Total:</b>		<b>18,547.00</b>	<b>18,547.00</b>	<b>19,592.00</b>	<b>19,614.00</b>	<b>0.00</b>	<b>0.00</b>	<b>13,907.00</b>	<b>19,633.00</b>	<b>19,633.00</b>
<b>Fund: SW530 - EMERSON ALLEN TOWNLINE RD WATER DISTRICT Sur...</b>		<b>0.00</b>	<b>21.36</b>	<b>0.00</b>	<b>-21.95</b>	<b>0.00</b>	<b>0.00</b>	<b>-13,907.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SW535 - EX 36 - COUNTY ROAD #30 WATER DISTRICT</b>										
<b>Revenue</b>										
<a href="#">SW535.1001.00000</a>	REAL PROPERTY TAXES.COUNTY..	15,146.00	15,146.00	19,944.00	19,944.00	0.00	0.00		19,452.00	19,452.00
<a href="#">SW535.2401.00000</a>	INTEREST & EARNINGS.EX 36 - ...	12.00	80.21	75.00	84.10	0.00	0.00		75.00	75.00
<a href="#">SW535.9000.00000</a>	APPROPRIATED FUND BALANCE..	500.00	0.00	0.00	0.00	0.00	0.00		1,500.00	1,500.00
<b>Revenue Total:</b>		<b>15,658.00</b>	<b>15,226.21</b>	<b>20,019.00</b>	<b>20,028.10</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>21,027.00</b>	<b>21,027.00</b>
<b>Expense</b>										
<a href="#">SW535.8340.400.00000</a>	SERVICES & MAIN.CONT.CO RD...	793.00	0.00	5,000.00	0.00	0.00	0.00		6,207.00	6,207.00
<a href="#">SW535.9710.600.00000</a>	SERIAL BONDS.PRINCIPAL.EX 36..	5,000.00	5,000.00	5,000.00	0.00	0.00	0.00	5,000.00	5,000.00	5,000.00

Budget Worksheet

For Fiscal: 2025 Period Ending: 12/31/2025  
 Defined Budgets

		2023	2023	2024	2024	2025	2025	2025	2025	2025
		Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	2025 Dept Head	2025 Tentative	2025 Preliminary
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>									
2025 Preliminary	Dec 2025 CR 30 Bond Principal			0.00	0.00	5,000.00				
<a href="#">SW535.9710.700.00000</a>	SERIAL BONDS.INTEREST.CO RD...	8,675.00	8,675.00	8,475.00	4,237.50	0.00	0.00	8,275.00	8,275.00	8,275.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Dec 2025 CR 30 Bond Interest			0.00	0.00	4,137.50				
2025 Preliminary	June 2025 CR 30 Bond Interest			0.00	0.00	4,137.50				
<a href="#">SW535.9903.900.00000</a>	TRANSFER/WATER-MAINTENA...	1,190.00	1,190.00	1,544.00	1,544.00	0.00	0.00		1,545.00	1,545.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Transfer to CCWD			0.00	0.00	1,545.00				
<b>Expense Total:</b>		<b>15,658.00</b>	<b>14,865.00</b>	<b>20,019.00</b>	<b>5,781.50</b>	<b>0.00</b>	<b>0.00</b>	<b>13,275.00</b>	<b>21,027.00</b>	<b>21,027.00</b>
<b>Fund: SW535 - EX 36 - COUNTY ROAD #30 WATER DISTRICT Surplus (...)</b>		<b>0.00</b>	<b>361.21</b>	<b>0.00</b>	<b>14,246.60</b>	<b>0.00</b>	<b>0.00</b>	<b>-13,275.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SW540 - HOPKINS GRIMBLE WATER DISTRICT</b>										
<b>Revenue</b>										
<a href="#">SW540.1001.00000</a>	REAL PROPERTY TAXES.HOPKIN...	12,294.00	12,294.00	18,272.00	18,272.00	0.00	0.00		20,277.00	20,277.00
<a href="#">SW540.2401.00000</a>	INTEREST & EARNINGS.HOPKIN...	11.00	70.98	70.00	76.43	0.00	0.00		70.00	70.00
<a href="#">SW540.9000.00000</a>	APPROPRIATED FUND BALANCE..	1,800.00	32.52	5,000.00	0.00	0.00	0.00			
<b>Revenue Total:</b>		<b>14,105.00</b>	<b>12,397.50</b>	<b>23,342.00</b>	<b>18,348.43</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>20,347.00</b>	<b>20,347.00</b>
<b>Expense</b>										
<a href="#">SW540.8340.400.00000</a>	SERVICES & MAIN.CONT.HOPK...	1,707.00	0.00	5,000.00	0.00	0.00	0.00		2,444.00	2,444.00
<a href="#">SW540.9710.600.00000</a>	SERIAL BONDS.PRINCIPAL.HOPK..	5,000.00	5,000.00	10,000.00	0.00	0.00	0.00	10,000.00	10,000.00	10,000.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Dec 2025 Hop/Grim Bond Principal			0.00	0.00	10,000.00				
<a href="#">SW540.9710.700.00000</a>	SERIAL BONDS.INTEREST.HOPK...	4,838.00	4,837.50	4,638.00	2,318.75	0.00	0.00	4,238.00	4,238.00	4,238.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Dec 2025 Hop/Grim Bond Interest			0.00	0.00	2,119.00				
2025 Preliminary	June 2025 Hop/Grim Bond Interest			0.00	0.00	2,119.00				
<a href="#">SW540.9903.900.00000</a>	TRANSFER/WATER-MAINTENA...	2,560.00	2,560.00	3,704.00	3,704.00	0.00	0.00		3,665.00	3,665.00

Budget Worksheet

For Fiscal: 2025 Period Ending: 12/31/2025  
 Defined Budgets

		2023	2023	2024	2024	2025	2025	2025	2025	2025
		Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	2025 Dept Head	2025 Tentative	2025 Preliminary
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Transfer to CCWD			0.00	0.00	3,665.00				
<b>Expense Total:</b>		<b>14,105.00</b>	<b>12,397.50</b>	<b>23,342.00</b>	<b>6,022.75</b>	<b>0.00</b>	<b>0.00</b>	<b>14,238.00</b>	<b>20,347.00</b>	<b>20,347.00</b>
<b>Fund: SW540 - HOPKINS GRIMBLE WATER DISTRICT Surplus (Deficit):</b>		<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>12,325.68</b>	<b>0.00</b>	<b>0.00</b>	<b>-14,238.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SW545 - HICKOX ROAD WATER DISTRICT</b>										
<b>Revenue</b>										
<a href="#">SW545.1001.00000</a>	REAL PROPERTY TAXES.HICKOX...	3,790.00	3,790.00	3,855.00	3,855.00	0.00	0.00		3,730.00	3,730.00
<a href="#">SW545.2401.00000</a>	INTEREST & EARNINGS.HICKOX...	1.00	26.36	30.00	17.00	0.00	0.00		30.00	30.00
<b>Revenue Total:</b>		<b>3,791.00</b>	<b>3,816.36</b>	<b>3,885.00</b>	<b>3,872.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>3,760.00</b>	<b>3,760.00</b>
<b>Expense</b>										
<a href="#">SW545.8340.440.00000</a>	SERVICES & MAINTENANCE.HI...	757.00	0.00	0.00	0.00	0.00	0.00			
<a href="#">SW545.8350.400.00000</a>	COMMON WATER.CONTRACT...	0.00	0.00	636.00	0.00	0.00	0.00		504.00	504.00
<a href="#">SW545.9795.600.00000</a>	DEBT PRIN OTHER GOVT DUE ...	2,500.00	2,500.00	2,500.00	2,500.00	0.00	0.00	2,500.00	2,500.00	2,500.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Due to CCWD			0.00	0.00	2,500.00				
<a href="#">SW545.9903.900.00000</a>	TRANSFER/WATER-MAINTENA...	534.00	534.00	749.00	749.00	0.00	0.00		756.00	756.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Transfer to CCWD			0.00	0.00	756.00				
<b>Expense Total:</b>		<b>3,791.00</b>	<b>3,034.00</b>	<b>3,885.00</b>	<b>3,249.00</b>	<b>0.00</b>	<b>0.00</b>	<b>2,500.00</b>	<b>3,760.00</b>	<b>3,760.00</b>
<b>Fund: SW545 - HICKOX ROAD WATER DISTRICT Surplus (Deficit):</b>		<b>0.00</b>	<b>782.36</b>	<b>0.00</b>	<b>623.00</b>	<b>0.00</b>	<b>0.00</b>	<b>-2,500.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SW550 - NOTT RD EXT. 40 WATER DISTRICT</b>										
<b>Revenue</b>										
<a href="#">SW550.1001.00000</a>	REAL PROPERTY TAXES.NOTT R...	6,125.00	6,125.00	6,680.00	6,680.00	0.00	0.00		6,307.00	6,307.00
<a href="#">SW550.2401.00000</a>	INTEREST & EARNINGS.NOTT R...	4.00	34.57	35.00	29.48	0.00	0.00		35.00	35.00
<a href="#">SW550.9000.00000</a>	APPROPRIATED FUND BALANCE..	650.00	152.43	300.00	0.00	0.00	0.00		550.00	550.00
<b>Revenue Total:</b>		<b>6,779.00</b>	<b>6,312.00</b>	<b>7,015.00</b>	<b>6,709.48</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>6,892.00</b>	<b>6,892.00</b>
<b>Expense</b>										
<a href="#">SW550.8340.400.00000</a>	SERVICES & MAINTENANCE.CO...	467.00	0.00	611.00	0.00	0.00	0.00		611.00	611.00
<a href="#">SW550.9710.600.00000</a>	SERIAL BONDS.PRINCIPAL.NOTT..	4,000.00	4,000.00	4,000.00	0.00	0.00	0.00	4,000.00	4,000.00	4,000.00

Budget Worksheet

For Fiscal: 2025 Period Ending: 12/31/2025  
Defined Budgets

		2023	2023	2024	2024	2025	2025	2025	2025	2025
		Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	2025 Dept Head	2025 Tentative	2025 Preliminary
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Dec 2025 Nott Rd Bond Principal			0.00	0.00	4,000.00				
<a href="#">SW550.9710.700.00000</a>	SERIAL BONDS.INTEREST.NOTT...	1,612.00	1,612.00	1,488.00	744.00	0.00	0.00	1,364.00	1,364.00	1,364.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Dec 2025 Nott Rd Bond Interest			0.00	0.00	682.00				
2025 Preliminary	June 2025 Nott Rd Bond Interest			0.00	0.00	682.00				
<a href="#">SW550.9903.900.00000</a>	TRANSFER/WATER-MAINTENA...	700.00	700.00	916.00	916.00	0.00	0.00		917.00	917.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Transfer to CCWD			0.00	0.00	917.00				
<b>Expense Total:</b>		<b>6,779.00</b>	<b>6,312.00</b>	<b>7,015.00</b>	<b>1,660.00</b>	<b>0.00</b>	<b>0.00</b>	<b>5,364.00</b>	<b>6,892.00</b>	<b>6,892.00</b>
<b>Fund: SW550 - NOTT RD EXT. 40 WATER DISTRICT Surplus (Deficit):</b>		<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>5,049.48</b>	<b>0.00</b>	<b>0.00</b>	<b>-5,364.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SW555 - CO RD 32 EXT. 41 WATER DISTRICT</b>										
<b>Revenue</b>										
<a href="#">SW555.1001.00000</a>	REAL PROPERTY TAXES.CO RD ...	11,731.00	11,731.00	12,944.00	12,944.00	0.00	0.00		13,041.00	13,041.00
<a href="#">SW555.2401.00000</a>	INTEREST & EARNINGS.CO RD ...	7.00	46.22	65.00	44.21	0.00	0.00		67.00	67.00
<b>Revenue Total:</b>		<b>11,738.00</b>	<b>11,777.22</b>	<b>13,009.00</b>	<b>12,988.21</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>13,108.00</b>	<b>13,108.00</b>
<b>Expense</b>										
<a href="#">SW555.8340.400.00000</a>	SERVICES & MAIN.CONT.CO RD...	480.00	0.00	1,649.00	0.00	0.00	0.00		1,748.00	1,748.00
<a href="#">SW555.9795.650.00000</a>	DEBT PRINCIPAL DUE TO OTHER..	8,824.00	0.00	9,085.00	0.00	0.00	0.00	9,354.00	9,354.00	9,354.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Due to CCWD Principal			0.00	0.00	9,354.00				
<a href="#">SW555.9795.700.00000</a>	DEBT INTEREST DUE TO OTHER...	1,713.00	1,712.86	1,452.00	1,451.31	0.00	0.00	1,183.00	1,183.00	1,183.00
<b>Budget Detail</b>										
<b>Budget Code</b>	<b>Description</b>			<b>Units</b>	<b>Price</b>	<b>Amount</b>				
2025 Preliminary	Due to CCWD Interest			0.00	0.00	1,183.00				
<a href="#">SW555.9903.900.00000</a>	TRANSFER/WATER-MAINTENA...	721.00	721.00	823.00	823.00	0.00	0.00		823.00	823.00

**Budget Worksheet**

For Fiscal: 2025 Period Ending: 12/31/2025

Defined Budgets

	<b>2023</b>	<b>2023</b>	<b>2024</b>	<b>2024</b>	<b>2025</b>	<b>2025</b>	<b>2025</b>	<b>2025</b>	<b>2025</b>
	<b>Total Budget</b>	<b>Total Activity</b>	<b>Total Budget</b>	<b>Total Activity</b>	<b>Total Budget</b>	<b>YTD Activity</b>	<b>2025 Dept Head</b>	<b>2025 Tentative</b>	<b>2025 Preliminary</b>

**Budget Detail**

<b>Budget Code</b>	<b>Description</b>	<b>Units</b>	<b>Price</b>	<b>Amount</b>						
2025 Preliminary	Transfer to CCWD	0.00	0.00	823.00						
<b>Expense Total:</b>		<b>11,738.00</b>	<b>2,433.86</b>	<b>13,009.00</b>	<b>2,274.31</b>	<b>0.00</b>	<b>0.00</b>	<b>10,537.00</b>	<b>13,108.00</b>	<b>13,108.00</b>
<b>Fund: SW555 - CO RD 32 EXT. 41 WATER DISTRICT Surplus (Deficit):</b>		<b>0.00</b>	<b>9,343.36</b>	<b>0.00</b>	<b>10,713.90</b>	<b>0.00</b>	<b>0.00</b>	<b>-10,537.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Report Surplus (Deficit):</b>		<b>-127,285.62</b>	<b>2,301,051.43</b>	<b>48,555.00</b>	<b>1,719,973.14</b>	<b>0.00</b>	<b>-1,198.36</b>	<b>87,217.00</b>	<b>0.00</b>	<b>0.00</b>



**Group Summary**

Account Typ...	2023		2024		2025		Defined Budgets		
	Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	2025 Dept Head	2025 Tentative	2025 Preliminary
<b>Fund: AA100 - GENERAL FUND</b>									
Revenue	7,619,851.00	9,430,703.84	6,723,013.68	6,077,605.11	0.00	0.00	5,867,163.00	5,724,687.00	6,261,266.00
Expense	7,673,367.41	7,967,075.24	6,557,248.68	5,303,647.15	0.00	1,198.36	5,862,885.00	5,724,687.00	6,261,266.00
<b>Fund: AA100 - GENERAL FUND Surplus (Deficit):</b>	<b>-53,516.41</b>	<b>1,463,628.60</b>	<b>165,765.00</b>	<b>773,957.96</b>	<b>0.00</b>	<b>-1,198.36</b>	<b>4,278.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: AA231 - CONTINGENT/TAX RESERVE</b>									
Revenue	0.00	545,524.85	0.00	40,726.25	0.00	0.00	0.00	0.00	0.00
<b>Fund: AA231 - CONTINGENT/TAX RESERVE Total:</b>	<b>0.00</b>	<b>545,524.85</b>	<b>0.00</b>	<b>40,726.25</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: AA232 - CAMPUS REPAIR RESERVE</b>									
Revenue	0.00	10,426.80	0.00	8,667.86	0.00	0.00	0.00	0.00	0.00
<b>Fund: AA232 - CAMPUS REPAIR RESERVE Total:</b>	<b>0.00</b>	<b>10,426.80</b>	<b>0.00</b>	<b>8,667.86</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: AA233 - TECHNOLOGY RESERVE</b>									
Revenue	0.00	2,337.45	49,417.50	51,328.25	0.00	0.00	0.00	0.00	0.00
Expense	0.00	0.00	49,417.50	49,417.50	0.00	0.00	0.00	0.00	0.00
<b>Fund: AA233 - TECHNOLOGY RESERVE Surplus (Deficit):</b>	<b>0.00</b>	<b>2,337.45</b>	<b>0.00</b>	<b>1,910.75</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: AA234 - OPEN SPACE RESERVE</b>									
Revenue	0.00	56,953.01	0.00	33,802.54	0.00	0.00	0.00	0.00	0.00
Expense	0.00	305,000.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
<b>Fund: AA234 - OPEN SPACE RESERVE Surplus (Deficit):</b>	<b>0.00</b>	<b>-248,046.99</b>	<b>0.00</b>	<b>33,802.54</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: AA235 - NYS EMPLOYEE SYSTEM RESERVE</b>									
Revenue	0.00	9,452.15	0.00	7,857.55	0.00	0.00	0.00	0.00	0.00
<b>Fund: AA235 - NYS EMPLOYEE SYSTEM RESERVE Total:</b>	<b>0.00</b>	<b>9,452.15</b>	<b>0.00</b>	<b>7,857.55</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: AA237 - BONDED INDEBTEDNESS RESERVE</b>									
Revenue	0.00	10,956.31	0.00	9,108.06	0.00	0.00	0.00	0.00	0.00
<b>Fund: AA237 - BONDED INDEBTEDNESS RESERVE Total:</b>	<b>0.00</b>	<b>10,956.31</b>	<b>0.00</b>	<b>9,108.06</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: AA238 - SOLID WASTE MANAGEMENT RESERVE</b>									
Revenue	0.00	40,733.72	0.00	33,862.09	0.00	0.00	0.00	0.00	0.00
<b>Fund: AA238 - SOLID WASTE MANAGEMENT RESERVE Total:</b>	<b>0.00</b>	<b>40,733.72</b>	<b>0.00</b>	<b>33,862.09</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: CM100 - NEW RECREATION REVENUE FUND</b>									
Revenue	0.00	59,156.68	0.00	35,291.77	0.00	0.00	0.00	0.00	0.00
<b>Fund: CM100 - NEW RECREATION REVENUE FUND Total:</b>	<b>0.00</b>	<b>59,156.68</b>	<b>0.00</b>	<b>35,291.77</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: DA100 - HIGHWAY</b>									
Revenue	4,852,204.71	4,533,971.28	5,456,125.00	3,842,634.99	0.00	0.00	6,034,134.00	5,470,134.00	5,470,134.00
Expense	4,924,700.42	4,222,901.91	5,560,492.00	3,555,898.35	0.00	0.00	6,034,134.00	5,470,134.00	5,470,134.00
<b>Fund: DA100 - HIGHWAY Surplus (Deficit):</b>	<b>-72,495.71</b>	<b>311,069.37</b>	<b>-104,367.00</b>	<b>286,736.64</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>

Budget Worksheet

For Fiscal: 2025 Period Ending: 12/31/2025  
 Defined Budgets

Account Typ...	2023 Total Budget	2023 Total Activity	2024 Total Budget	2024 Total Activity	2025 Total Budget	2025 YTD Activity	2025 2025 Dept Head	2025 2025 Tentative	2025 2025 Preliminary
<b>Fund: DA230 - HWY EQUIPMENT RESERVE</b>									
Revenue	0.00	15,853.20	0.00	13,178.84	0.00	0.00	0.00	0.00	0.00
<b>Fund: DA230 - HWY EQUIPMENT RESERVE Total:</b>	<b>0.00</b>	<b>15,853.20</b>	<b>0.00</b>	<b>13,178.84</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: DA232 - HWY IMPROVEMENT RESERVE</b>									
Revenue	0.00	16,955.90	0.00	14,095.54	0.00	0.00	0.00	0.00	0.00
<b>Fund: DA232 - HWY IMPROVEMENT RESERVE Total:</b>	<b>0.00</b>	<b>16,955.90</b>	<b>0.00</b>	<b>14,095.54</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: DA235 - SNOW/ICE REMOVAL RD REPAIR RESERVE</b>									
Revenue	0.00	10,440.30	0.00	8,679.10	0.00	0.00	0.00	0.00	0.00
<b>Fund: DA235 - SNOW/ICE REMOVAL RD REPAIR RESERVE Total:</b>	<b>0.00</b>	<b>10,440.30</b>	<b>0.00</b>	<b>8,679.10</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SD600 - RT 332 DRAINAGE DISTRICT</b>									
Revenue	15,074.00	10,545.67	15,012.00	10,379.67	0.00	0.00	0.00	20,012.00	20,012.00
Expense	15,074.00	4,953.90	15,012.00	0.00	0.00	0.00	0.00	20,012.00	20,012.00
<b>Fund: SD600 - RT 332 DRAINAGE DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>5,591.77</b>	<b>0.00</b>	<b>10,379.67</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SD605 - LAKEWOOD MEADOWS DRAINAGE DISTRICT</b>									
Revenue	1,950.00	2,046.74	2,002.00	2,027.90	0.00	0.00	0.00	2,060.00	2,060.00
Expense	1,950.00	0.00	2,002.00	0.00	0.00	0.00	0.00	2,060.00	2,060.00
<b>Fund: SD605 - LAKEWOOD MEADOWS DRAINAGE DISTRICT Surplus (...)</b>	<b>0.00</b>	<b>2,046.74</b>	<b>0.00</b>	<b>2,027.90</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SD610 - ASHTON DRAINAGE DISTRICT</b>									
Revenue	8.00	71.66	45.00	55.34	0.00	0.00	0.00	45.00	45.00
Expense	8.00	0.00	45.00	0.00	0.00	0.00	0.00	45.00	45.00
<b>Fund: SD610 - ASHTON DRAINAGE DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>71.66</b>	<b>0.00</b>	<b>55.34</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SD615 - FOX RIDGE DRAINAGE DISTRICT</b>									
Revenue	22.00	168.59	32,120.00	10,641.58	0.00	0.00	0.00	10,906.00	10,906.00
Expense	22.00	0.00	32,120.00	0.00	0.00	0.00	0.00	10,906.00	10,906.00
<b>Fund: SD615 - FOX RIDGE DRAINAGE DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>168.59</b>	<b>0.00</b>	<b>10,641.58</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SD620 - LANDINGS DRAINAGE DISTRICT</b>									
Revenue	5.00	37.53	20.00	28.98	0.00	0.00	0.00	20.00	20.00
Expense	5.00	0.00	20.00	0.00	0.00	0.00	0.00	20.00	20.00
<b>Fund: SD620 - LANDINGS DRAINAGE DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>37.53</b>	<b>0.00</b>	<b>28.98</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SD625 - OLD BROOKSIDE DRAINAGE DISTRICT</b>									
Revenue	8.00	67.46	60.00	52.08	0.00	0.00	0.00	60.00	60.00
Expense	8.00	0.00	60.00	0.00	0.00	0.00	0.00	60.00	60.00
<b>Fund: SD625 - OLD BROOKSIDE DRAINAGE DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>67.46</b>	<b>0.00</b>	<b>52.08</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SD630 - LAKESIDE ESTATES DRAINAGE DISTRICT</b>									
Revenue	5.00	46.60	45.00	35.99	0.00	0.00	0.00	45.00	45.00
Expense	5.00	0.00	45.00	0.00	0.00	0.00	0.00	45.00	45.00
<b>Fund: SD630 - LAKESIDE ESTATES DRAINAGE DISTRICT Surplus (Defici..)</b>	<b>0.00</b>	<b>46.60</b>	<b>0.00</b>	<b>35.99</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>

**Budget Worksheet**

**For Fiscal: 2025 Period Ending: 12/31/2025**  
**Defined Budgets**

Account Typ...	2023 Total Budget	2023 Total Activity	2024 Total Budget	2024 Total Activity	2025 Total Budget	2025 YTD Activity	2025 2025 Dept Head	2025 2025 Tentative	2025 2025 Preliminary
<b>Fund: SD635 - WATERFORD POINT DRAINAGE DISTRICT</b>									
Revenue	8,505.00	1,683.49	875.00	864.81	0.00	0.00	805.00	875.00	875.00
Expense	8,505.00	0.00	875.00	0.00	0.00	0.00	0.00	875.00	875.00
<b>Fund: SD635 - WATERFORD POINT DRAINAGE DISTRICT Surplus (Defi...</b>	<b>0.00</b>	<b>1,683.49</b>	<b>0.00</b>	<b>864.81</b>	<b>0.00</b>	<b>0.00</b>	<b>805.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SD640 - STABLEGATE DRAINAGE DISTRICT</b>									
Revenue	8.00	88.76	15,303.00	6,304.89	0.00	0.00	0.00	30.00	30.00
Expense	8.00	0.00	15,303.00	0.00	0.00	0.00	0.00	30.00	30.00
<b>Fund: SD640 - STABLEGATE DRAINAGE DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>88.76</b>	<b>0.00</b>	<b>6,304.89</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SF450 - FIRE PROTECTION</b>									
Revenue	1,490,200.00	1,490,000.00	1,755,000.00	1,751,875.92	0.00	0.00	1,990,200.00	1,990,200.00	1,990,200.00
Expense	1,490,200.00	1,490,000.00	1,755,000.00	1,755,000.00	0.00	0.00	1,990,200.00	1,990,200.00	1,990,200.00
<b>Fund: SF450 - FIRE PROTECTION Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>-3,124.08</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SL700 - CENTERPOINT LIGHTING DISTRICT</b>									
Revenue	1,814.00	2,155.26	1,922.00	1,920.70	0.00	0.00	2,000.00	1,979.00	1,979.00
Expense	1,814.00	2,155.26	1,922.00	1,518.02	0.00	0.00	2,000.00	1,979.00	1,979.00
<b>Fund: SL700 - CENTERPOINT LIGHTING DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>402.68</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SL705 - FOX RIDGE LIGHTING DISTRICT</b>									
Revenue	14,900.00	13,138.46	15,472.00	15,481.83	0.00	0.00	12,250.00	12,000.00	12,000.00
Expense	14,900.00	11,115.54	15,472.00	7,331.94	0.00	0.00	11,704.00	12,000.00	12,000.00
<b>Fund: SL705 - FOX RIDGE LIGHTING DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>2,022.92</b>	<b>0.00</b>	<b>8,149.89</b>	<b>0.00</b>	<b>0.00</b>	<b>546.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SL710 - LANDINGS LIGHTING DISTRICT</b>									
Revenue	1.00	6.18	5.00	4.76	0.00	0.00	0.00	5.00	5.00
Expense	1.00	0.00	5.00	0.00	0.00	0.00	0.00	5.00	5.00
<b>Fund: SL710 - LANDINGS LIGHTING DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>6.18</b>	<b>0.00</b>	<b>4.76</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SL715 - LAKEWOOD MEADOWS LIGHTING DISTRICT</b>									
Revenue	533.00	547.06	1,490.00	1,492.08	0.00	0.00	420.00	1,490.00	1,490.00
Expense	533.00	495.48	1,490.00	279.94	0.00	0.00	400.00	1,490.00	1,490.00
<b>Fund: SL715 - LAKEWOOD MEADOWS LIGHTING DISTRICT Surplus (D...</b>	<b>0.00</b>	<b>51.58</b>	<b>0.00</b>	<b>1,212.14</b>	<b>0.00</b>	<b>0.00</b>	<b>20.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SL720 - FALLBROOK PARK LIGHTING DISTRICT</b>									
Revenue	1,600.00	1,654.73	2,128.00	2,130.25	0.00	0.00	2,215.00	2,200.00	2,200.00
Expense	1,600.00	1,654.73	2,128.00	1,142.65	0.00	0.00	2,200.00	2,200.00	2,200.00
<b>Fund: SL720 - FALLBROOK PARK LIGHTING DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>987.60</b>	<b>0.00</b>	<b>0.00</b>	<b>15.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SM900 - UPTOWN BUSINESS IMPROVEMENT DISTRICT</b>									
Revenue	105,500.00	105,770.65	105,400.00	105,439.23	0.00	0.00	200.00	35,400.00	35,400.00
Expense	105,500.00	94,066.12	105,400.00	5,244.83	0.00	0.00	30,400.00	35,400.00	35,400.00
<b>Fund: SM900 - UPTOWN BUSINESS IMPROVEMENT DISTRICT Surplus ..</b>	<b>0.00</b>	<b>11,704.53</b>	<b>0.00</b>	<b>100,194.40</b>	<b>0.00</b>	<b>0.00</b>	<b>-30,200.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SS800 - SANITARY SEWER</b>									
Revenue	18,224.00	18,283.30	18,300.00	18,278.94	0.00	0.00	18,310.00	18,310.00	18,310.00

Budget Worksheet

For Fiscal: 2025 Period Ending: 12/31/2025  
 Defined Budgets

Account Typ...	2023	2023	2024	2024	2025	2025	2025	2025	2025
	Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	2025 Dept Head	2025 Tentative	2025 Preliminary
Expense	18,224.00	18,210.00	18,300.00	0.00	0.00	0.00	18,210.00	18,310.00	18,310.00
<b>Fund: SS800 - SANITARY SEWER Surplus (Deficit):</b>	<b>0.00</b>	<b>73.30</b>	<b>0.00</b>	<b>18,278.94</b>	<b>0.00</b>	<b>0.00</b>	<b>100.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SW500 - CANANDAIGUA CONSOLIDATED WATER DISTRICT</b>									
Revenue	1,999,377.00	1,837,781.41	1,972,760.00	1,344,667.29	0.00	0.00	2,203,734.00	2,267,733.00	2,267,733.00
Expense	2,000,650.50	1,851,897.91	1,985,603.00	1,151,204.31	0.00	0.00	2,041,733.00	2,267,733.00	2,267,733.00
<b>Fund: SW500 - CANANDAIGUA CONSOLIDATED WATER DISTRICT Surp...</b>	<b>-1,273.50</b>	<b>-14,116.50</b>	<b>-12,843.00</b>	<b>193,462.98</b>	<b>0.00</b>	<b>0.00</b>	<b>162,001.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SW505 - CANANDAIGUA BRISTOL JOINT WATER DISTRICT</b>									
Revenue	83,654.00	95,937.43	79,449.00	78,599.06	0.00	0.00	89,959.00	79,054.00	79,054.00
Expense	83,654.00	63,764.50	79,449.00	25,749.00	0.00	0.00	80,400.00	79,054.00	79,054.00
<b>Fund: SW505 - CANANDAIGUA BRISTOL JOINT WATER DISTRICT Surp..</b>	<b>0.00</b>	<b>32,172.93</b>	<b>0.00</b>	<b>52,850.06</b>	<b>0.00</b>	<b>0.00</b>	<b>9,559.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SW515 - CANANDAIGUA-FARMINGTON WATER DISTRICT</b>									
Revenue	221,016.00	221,313.26	287,269.00	287,444.33	0.00	0.00	301,865.00	300,817.00	300,817.00
Expense	221,016.00	220,976.00	287,269.00	285,288.00	0.00	0.00	295,887.00	300,817.00	300,817.00
<b>Fund: SW515 - CANANDAIGUA-FARMINGTON WATER DISTRICT Surp..</b>	<b>0.00</b>	<b>337.26</b>	<b>0.00</b>	<b>2,156.33</b>	<b>0.00</b>	<b>0.00</b>	<b>5,978.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SW525 - MCINTYRE ROAD WATER DISTRICT</b>									
Revenue	8,351.00	7,564.00	11,696.00	8,490.04	0.00	0.00	0.00	9,535.00	9,535.00
Expense	8,351.00	7,564.00	11,696.00	4,295.50	0.00	0.00	6,064.00	9,535.00	9,535.00
<b>Fund: SW525 - MCINTYRE ROAD WATER DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>4,194.54</b>	<b>0.00</b>	<b>0.00</b>	<b>-6,064.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SW530 - EMERSON ALLEN TOWNLINE RD WATER DISTRICT</b>									
Revenue	18,547.00	18,568.36	19,592.00	19,592.05	0.00	0.00	0.00	19,633.00	19,633.00
Expense	18,547.00	18,547.00	19,592.00	19,614.00	0.00	0.00	13,907.00	19,633.00	19,633.00
<b>Fund: SW530 - EMERSON ALLEN TOWNLINE RD WATER DISTRICT Surp...</b>	<b>0.00</b>	<b>21.36</b>	<b>0.00</b>	<b>-21.95</b>	<b>0.00</b>	<b>0.00</b>	<b>-13,907.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SW535 - EX 36 - COUNTY ROAD #30 WATER DISTRICT</b>									
Revenue	15,658.00	15,226.21	20,019.00	20,028.10	0.00	0.00	0.00	21,027.00	21,027.00
Expense	15,658.00	14,865.00	20,019.00	5,781.50	0.00	0.00	13,275.00	21,027.00	21,027.00
<b>Fund: SW535 - EX 36 - COUNTY ROAD #30 WATER DISTRICT Surplus (...)</b>	<b>0.00</b>	<b>361.21</b>	<b>0.00</b>	<b>14,246.60</b>	<b>0.00</b>	<b>0.00</b>	<b>-13,275.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SW540 - HOPKINS GRIMBLE WATER DISTRICT</b>									
Revenue	14,105.00	12,397.50	23,342.00	18,348.43	0.00	0.00	0.00	20,347.00	20,347.00
Expense	14,105.00	12,397.50	23,342.00	6,022.75	0.00	0.00	14,238.00	20,347.00	20,347.00
<b>Fund: SW540 - HOPKINS GRIMBLE WATER DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>12,325.68</b>	<b>0.00</b>	<b>0.00</b>	<b>-14,238.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SW545 - HICKOX ROAD WATER DISTRICT</b>									
Revenue	3,791.00	3,816.36	3,885.00	3,872.00	0.00	0.00	0.00	3,760.00	3,760.00
Expense	3,791.00	3,034.00	3,885.00	3,249.00	0.00	0.00	2,500.00	3,760.00	3,760.00
<b>Fund: SW545 - HICKOX ROAD WATER DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>782.36</b>	<b>0.00</b>	<b>623.00</b>	<b>0.00</b>	<b>0.00</b>	<b>-2,500.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Fund: SW550 - NOTT RD EXT. 40 WATER DISTRICT</b>									
Revenue	6,779.00	6,312.00	7,015.00	6,709.48	0.00	0.00	0.00	6,892.00	6,892.00
Expense	6,779.00	6,312.00	7,015.00	1,660.00	0.00	0.00	5,364.00	6,892.00	6,892.00
<b>Fund: SW550 - NOTT RD EXT. 40 WATER DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>	<b>5,049.48</b>	<b>0.00</b>	<b>0.00</b>	<b>-5,364.00</b>	<b>0.00</b>	<b>0.00</b>

**Budget Worksheet**

**For Fiscal: 2025 Period Ending: 12/31/2025**

**Defined Budgets**

Account Typ...	2023	2023	2024	2024	2025	2025	2025	2025	2025
	Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	2025 Dept Head	2025 Tentative	2025 Preliminary
<b>Fund: SW555 - CO RD 32 EXT. 41 WATER DISTRICT</b>									
Revenue	11,738.00	11,777.22	13,009.00	12,988.21	0.00	0.00	0.00	13,108.00	13,108.00
Expense	11,738.00	2,433.86	13,009.00	2,274.31	0.00	0.00	10,537.00	13,108.00	13,108.00
<b>Fund: SW555 - CO RD 32 EXT. 41 WATER DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>9,343.36</b>	<b>0.00</b>	<b>10,713.90</b>	<b>0.00</b>	<b>0.00</b>	<b>-10,537.00</b>	<b>0.00</b>	<b>0.00</b>
<b>Report Surplus (Deficit):</b>	<b>-127,285.62</b>	<b>2,301,051.43</b>	<b>48,555.00</b>	<b>1,719,973.14</b>	<b>0.00</b>	<b>-1,198.36</b>	<b>87,217.00</b>	<b>0.00</b>	<b>0.00</b>

**Fund Summary**

Fund	2023		2024		2025		Defined Budgets		
	Total Budget	Total Activity	Total Budget	Total Activity	Total Budget	YTD Activity	2025 Dept Head	2025 Tentative	2025 Preliminary
AA100 - GENERAL FUND	-53,516.41	1,463,628.60	165,765.00	773,957.96	0.00	-1,198.36	4,278.00	0.00	0.00
AA231 - CONTINGENT/TAX RESERVE	0.00	545,524.85	0.00	40,726.25	0.00	0.00	0.00	0.00	0.00
AA232 - CAMPUS REPAIR RESERVE	0.00	10,426.80	0.00	8,667.86	0.00	0.00	0.00	0.00	0.00
AA233 - TECHNOLOGY RESERVE	0.00	2,337.45	0.00	1,910.75	0.00	0.00	0.00	0.00	0.00
AA234 - OPEN SPACE RESERVE	0.00	-248,046.99	0.00	33,802.54	0.00	0.00	0.00	0.00	0.00
AA235 - NYS EMPLOYEE SYSTEM RESERVE	0.00	9,452.15	0.00	7,857.55	0.00	0.00	0.00	0.00	0.00
AA237 - BONDED INDEBTEDNESS RESERVE	0.00	10,956.31	0.00	9,108.06	0.00	0.00	0.00	0.00	0.00
AA238 - SOLID WASTE MANAGEMENT RESERVE	0.00	40,733.72	0.00	33,862.09	0.00	0.00	0.00	0.00	0.00
CM100 - NEW RECREATION REVENUE FUND	0.00	59,156.68	0.00	35,291.77	0.00	0.00	0.00	0.00	0.00
DA100 - HIGHWAY	-72,495.71	311,069.37	-104,367.00	286,736.64	0.00	0.00	0.00	0.00	0.00
DA230 - HWY EQUIPMENT RESERVE	0.00	15,853.20	0.00	13,178.84	0.00	0.00	0.00	0.00	0.00
DA232 - HWY IMPROVEMENT RESERVE	0.00	16,955.90	0.00	14,095.54	0.00	0.00	0.00	0.00	0.00
DA235 - SNOW/ICE REMOVAL RD REPAIR RESERVE	0.00	10,440.30	0.00	8,679.10	0.00	0.00	0.00	0.00	0.00
SD600 - RT 332 DRAINAGE DISTRICT	0.00	5,591.77	0.00	10,379.67	0.00	0.00	0.00	0.00	0.00
SD605 - LAKEWOOD MEADOWS DRAINAGE DISTRICT	0.00	2,046.74	0.00	2,027.90	0.00	0.00	0.00	0.00	0.00
SD610 - ASHTON DRAINAGE DISTRICT	0.00	71.66	0.00	55.34	0.00	0.00	0.00	0.00	0.00
SD615 - FOX RIDGE DRAINAGE DISTRICT	0.00	168.59	0.00	10,641.58	0.00	0.00	0.00	0.00	0.00
SD620 - LANDINGS DRAINAGE DISTRICT	0.00	37.53	0.00	28.98	0.00	0.00	0.00	0.00	0.00
SD625 - OLD BROOKSIDE DRAINAGE DISTRICT	0.00	67.46	0.00	52.08	0.00	0.00	0.00	0.00	0.00
SD630 - LAKESIDE ESTATES DRAINAGE DISTRICT	0.00	46.60	0.00	35.99	0.00	0.00	0.00	0.00	0.00
SD635 - WATERFORD POINT DRAINAGE DISTRICT	0.00	1,683.49	0.00	864.81	0.00	0.00	805.00	0.00	0.00
SD640 - STABLEGATE DRAINAGE DISTRICT	0.00	88.76	0.00	6,304.89	0.00	0.00	0.00	0.00	0.00
SF450 - FIRE PROTECTION	0.00	0.00	0.00	-3,124.08	0.00	0.00	0.00	0.00	0.00
SL700 - CENTERPOINT LIGHTING DISTRICT	0.00	0.00	0.00	402.68	0.00	0.00	0.00	0.00	0.00
SL705 - FOX RIDGE LIGHTING DISTRICT	0.00	2,022.92	0.00	8,149.89	0.00	0.00	546.00	0.00	0.00
SL710 - LANDINGS LIGHTING DISTRICT	0.00	6.18	0.00	4.76	0.00	0.00	0.00	0.00	0.00
SL715 - LAKEWOOD MEADOWS LIGHTING DISTRICT	0.00	51.58	0.00	1,212.14	0.00	0.00	20.00	0.00	0.00
SL720 - FALLBROOK PARK LIGHTING DISTRICT	0.00	0.00	0.00	987.60	0.00	0.00	15.00	0.00	0.00
SM900 - UPTOWN BUSINESS IMPROVEMENT DISTRICT	0.00	11,704.53	0.00	100,194.40	0.00	0.00	-30,200.00	0.00	0.00
SS800 - SANITARY SEWER	0.00	73.30	0.00	18,278.94	0.00	0.00	100.00	0.00	0.00
SW500 - CANANDAIGUA CONSOLIDATED WATER DISTRICT	-1,273.50	-14,116.50	-12,843.00	193,462.98	0.00	0.00	162,001.00	0.00	0.00
SW505 - CANANDAIGUA BRISTOL JOINT WATER DISTRICT	0.00	32,172.93	0.00	52,850.06	0.00	0.00	9,559.00	0.00	0.00
SW515 - CANANDAIGUA-FARMINGTON WATER DISTRICT	0.00	337.26	0.00	2,156.33	0.00	0.00	5,978.00	0.00	0.00
SW525 - MCINTYRE ROAD WATER DISTRICT	0.00	0.00	0.00	4,194.54	0.00	0.00	-6,064.00	0.00	0.00
SW530 - EMERSON ALLEN TOWNLINE RD WATER DISTRICT	0.00	21.36	0.00	-21.95	0.00	0.00	-13,907.00	0.00	0.00
SW535 - EX 36 - COUNTY ROAD #30 WATER DISTRICT	0.00	361.21	0.00	14,246.60	0.00	0.00	-13,275.00	0.00	0.00
SW540 - HOPKINS GRIMBLE WATER DISTRICT	0.00	0.00	0.00	12,325.68	0.00	0.00	-14,238.00	0.00	0.00
SW545 - HICKOX ROAD WATER DISTRICT	0.00	782.36	0.00	623.00	0.00	0.00	-2,500.00	0.00	0.00
SW550 - NOTT RD EXT. 40 WATER DISTRICT	0.00	0.00	0.00	5,049.48	0.00	0.00	-5,364.00	0.00	0.00

**Budget Worksheet**

**For Fiscal: 2025 Period Ending: 12/31/2025**

SW555 - CO RD 32 EXT. 41 WATER DISTRICT	0.00	9,343.36	0.00	10,713.90	0.00	0.00	-10,537.00	0.00	0.00
<b>Report Surplus (Deficit):</b>	<b>-127,285.62</b>	<b>2,301,051.43</b>	<b>48,555.00</b>	<b>1,719,973.14</b>	<b>0.00</b>	<b>-1,198.36</b>	<b>87,217.00</b>	<b>0.00</b>	<b>0.00</b>

# **ATTACHMENT 3**

## **REPORTS OF OFFICIALS & DEPARTMENT HEADS**



## Highway and water report

### Highway

1. Completed paving for the year. We have placed with town forces 5,500 tons of asphalt.
2. Have begun the preparations for snow operations. Highway staff will begin the winter schedule on November 3
3. Placing shoulders on many roads in the town after paving them

### Water

1. Water meter replacement continues
2. Fire hydrant flushing continues
- 3.

## Assessor Report October 2024

The Assessor's Office has been busy getting settled in at the Highway Office. There are differences that we are getting used to. All of our property files are still located at the Town Hall, so if we need a property file, we need to go over to the Town Hall to retrieve them and refile them. We are sure getting our steps in.

School Tax bills went out on October 1, 2024, the past couple of weeks have been busy in our office with questions from residents about their bill and exemptions. Our office gets extra busy around Tax bill time every year. If anyone contacts you on the Town Board, please direct them to our office and we can try to explain the process.

Heather will attend her final class needed for her certification, Farm Appraisal, October 21-25, 2024. Once New York State Real Property receives the information that she completed the class, she will be a New York State Certified Assessor. Congrats, Heather!! Heather continues to be a large asset to our office; she has a plethora of knowledge to add to our day-to-day operations. Thank you, Heather, for all you do!

I have attached sales from September 2024.

Respectfully submitted,

Michelle Rowlinson, Assessor

Heather Robson, Assistant Assessor

September 2025 Roll

Sale Price	Assessed Value
1st half	
54,000	32,400 vacant land
54,000	19,000 vacant land
2nd half	
326,000	242,500
325,000	243,800
925,000	475,000
40,000	12,200 vacant land
750,000	660,000
260,000	238,300
85,000	128,200
955,000	450,000

## Town Clerk Report for October 28, 2024, Town Board Meeting

1. **Monthly Financial Report:** Revenues collected in the Town Clerk's office for the month of September 2024 totaled \$81,054.96 (see attached).
  
2. **Resolutions:**
  - **Acceptance of Erosion Control Sureties:**
    - 5200 Foster Road owned by VNC Enterprises Check #42004 \$19,778.00
    - 3485 Lakeview Lane owned by Brett Shulman & Amy Libenson Check #1331 \$811.14
  
  - **Adopting Ontario County Hazard Mitigation Action Plan**
  
  - **Re-Appoint Mark Stryker to the BAR**
  
  - **North Rd Reconst. & New Sidewalks Project SEQR Type 1 Action / Intent to be Lead Agency**
  
  - **Onanda Park Upland Area Improvement Project SEQR Type 1 Action / Intent to be Lead Agency**
  
  - **Acceptance of Road Dedication- Woodland Park Circle Creekview Apartments PH1**
  
  - **Acceptance of Creekview Apartments at Woodland Park PH2 Easements**
  
  - **Acceptance of Stormwater Maint Agreement for Creekview Apartments at Woodland Park PH2**
  
  - **Uptown Landing SEQR Determination**

Please let me know if you have any questions.

Submitted by,

Crystelyn Laske  
Town Clerk



**PLANNING & ZONING OFFICE**  
**MONTHLY REPORT FOR**  
**SEPTEMBER 2024**

<b>Planning &amp; Zoning Applications</b>	<i>SEPTEMBER</i>	<i>YEAR-TO-DATE</i>
Planning Board (Site Plan / Subdivision / Special Use Permit / Sketch)	7	73
Zoning Board of Appeals (Area / Use Variances)	3	32
Administrative (lot line adjustments)	0	7
Town Board (Rezoning / MUO / PUD / IZ)	0	3
Total	10	115

<b>Short Term Rental Applications</b>	<i>SEPTEMBER</i>	<i>YEAR-TO-DATE</i>
STR permit applications submitted	0	58
STR permits issued	0	54
STR Permit Fees Collected	\$0.00	\$47,400
<b>Short Term Rental Units With Permits</b>		
Total Number of STRs identified in the Town		103
Number of STRs in compliance (with valid STR permits)		67

**Public Access to Planning and Zoning Projects**

**PUBLIC MAP:** Cloudpermit has created a new public map showing all active planning and zoning applications in the Town. There are website links to it from the Town’s homepage and the Projects page under the heading “Current Projects” under [Development Projects](#). You don’t need any log-ins or passwords to view the map.

**BIG PROJECTS:** For big and/or significant planning projects that generate a lot of public interest, we create dedicated project pages on the Town website. There are two right now: one for [Uptown Landing](#) and another for the proposed [cell tower on County Road 8](#). Those are accessible from the Projects page under the heading “Current Projects.”

**Project Review Process**

My office, along with the Town Manager and MRB Group have been taking a look at our current procedures to identify opportunities to simplify and shorten application processes. Every project is different and we need to be cautious so as not to remove necessary reviews concerning stormwater runoff or natural resources such as steep slopes and the lake, but there are projects that could benefit from administrative reviews and may not need to go to the Planning Board or may not need a thorough engineering review.

We will be looking at processes that affect applications for site plan review, variance requests, and minor subdivisions. We are also looking at ways we can reduce the necessity for administrative reviews that result in the infamous “chargebacks.” This may result in recommended changes to Planning Board and Zoning Board Rules of Procedure as well as recommendations to the Ordinance Committee for code updates to chapter 220-64, which governs the Planning Board’s reviewing authority.

Respectfully,

A handwritten signature in blue ink that reads "Sarah Reynolds". The signature is fluid and cursive, with a long horizontal stroke at the end.

**Sarah Reynolds**

Town Planner

# The Canandaigua National Bank and Trust Company

## Certificate of Deposit Account

Municipal  
Account  
\$100,000 and over  
Account Receipt and  
Disclosure

This account is non-negotiable and non-transferable

Member  
FDIC

Account Number 1758

Customer Name and Address

Town of Canandaigua

Investment CD

5440 State Route 5 And 20

Canandaigua, NY 14424-9327

Issue Date  
09-18-2024

Term  
30 Days

Amount \$2,500,000.00

Interest Payment  
At Maturity

Mailing Address

5440 State Route 5 And 20

Canandaigua NY 14424-9327

Interest Payment Method  
Simple

Renewal Option  
Non-Renewable

Form of Ownership  
Municipal

Tax I.D. No. 2197

By: Mary Kay Bashaw

(Bank Representative)

### Rate Information

The interest rate for your certificate is **5.09** with an annual percentage yield of **5.17**. You will be paid this rate until the maturity date of the certificate. Your certificate will mature on **10-18-2024**. Interest will be paid at maturity.

### Balance Computation Method

We use the daily balance method to calculate the interest on your account. This method applies a daily periodic rate to the principal in the account each day.

### Minimum Balance Requirements

You must deposit a minimum of \$100,000 to open this account, and you must maintain a minimum balance of \$100,000 in the account every day to obtain the annual percentage yield.

### Early Withdrawal Penalties

We will impose a penalty if you withdraw all or any portion of the principal before the maturity date. For accounts twelve (12) months or less, the fee imposed will equal three (3) months of interest. For accounts over twelve months, the fee imposed will equal six (6) months of interest. We have the right to invade the principal amount if the penalty assessed is greater than the accrued interest.

### Transaction Limits

After you open this account, you may not make any additional deposits into or partial withdrawals from the account until the maturity date.

### Renewal Policies

Non-automatically Renewable: This account will not automatically renew at maturity. The funds will be remitted in a non-interest bearing time deposit account upon the maturity date.

### Accrual of Interest on Non-cash Deposits

Interest begins to accrue on the business day you deposit non-cash items (for example, checks).

investing  
in you



Canandaigua  
National  
Bank & Trust

September 18, 2024

Mary Kay Bashaw  
Senior Vice President  
Government Banking  
1150 Pittsford Victor Road  
Pittsford NY 14534  
419-0670 x50618  
800-724-2621 x50618  
585-396-9295  
mbashaw@cnbank.com

Town of Canandaigua  
Jared Simpson, Town Supervisor  
5440 Route 5 & 20  
Canandaigua NY 14424

The following activity occurred in your account(s)

<u>Amount:</u>	<u>From:</u>	<u>To:</u>
\$3,569,605.27	CD#*****9701	#*****8819
\$3,000,000.00	#*****8819	CD#*****1740
\$2,500,000.00	#*****8819	CD#*****1758 CD#4

Mary Kay Bashaw  
Senior Vice President  
Government Banking  
Canandaigua National Bank & Trust  
1150 Pittsford-Victor Road  
Pittsford, NY 14534  
[mbashaw@cnbank.com](mailto:mbashaw@cnbank.com)  
p: 585-419-0670, Ext 50618





Canandaigua National Bank & Trust

9/25/2024 11:34 AM

Municipal Choice Savings

\*\*\*\*\*8819

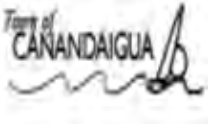
**Amount:** \$-2,500,000.00

**Statement Description:** Descriptive Withdrawal - transfer to new CD# 1758

**Posted Date:** 9/18/2024

**Type:** Debit

**Status:** Posted



		Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
<b>Fund: AA100 - GENERAL FUND</b>							
<b>Revenue</b>							
<a href="#">AA100.1001.00000</a>	REAL PROPERTY TAXES	544,873.00	544,873.00	0.00	544,873.00	0.00	0.00 %
<a href="#">AA100.1030.00000</a>	SPECIAL ASSESSMENT/PILOT	23,809.00	23,809.00	0.00	10,133.70	-13,675.30	57.44 %
<a href="#">AA100.1090.00000</a>	PENALTY ON TAXES	11,000.00	11,000.00	0.00	18,356.10	7,356.10	166.87 %
<a href="#">AA100.1120.00000</a>	NON PROPERTY SALES TAX	2,875,000.00	2,875,000.00	0.00	1,433,830.20	-1,441,169.80	50.13 %
<a href="#">AA100.1170.00000</a>	CABLE TV FRANCHISE FEES	90,000.00	90,000.00	42,357.25	86,248.98	-3,751.02	4.17 %
<a href="#">AA100.1255.00000</a>	TOWN CLERK FEES	3,000.00	3,000.00	744.96	2,763.57	-236.43	7.88 %
<a href="#">AA100.1603.00000</a>	VITAL STATISTICS FEE	4,600.00	4,600.00	460.00	2,654.00	-1,946.00	42.30 %
<a href="#">AA100.2001.00000</a>	PARK & RECREATION FEES	140,000.00	140,000.00	18,958.88	115,278.21	-24,721.79	17.66 %
<a href="#">AA100.2110.00000</a>	ZONING FEES	50,000.00	50,000.00	1,225.00	73,124.00	23,124.00	146.25 %
<a href="#">AA100.2120.00000</a>	SOIL EROSION CONTROL	4,500.00	4,500.00	1,400.00	6,550.00	2,050.00	145.56 %
<a href="#">AA100.2148.00000</a>	RETURNED CHECK FEE	100.00	100.00	0.00	120.00	20.00	120.00 %
<a href="#">AA100.2192.00000</a>	CEMETERY SERVICES	350.00	350.00	0.00	350.00	0.00	0.00 %
<a href="#">AA100.2302.00000</a>	SERVICES/OTHER GOVERNMENTS	67,000.00	67,000.00	1,000.00	8,000.00	-59,000.00	88.06 %
<a href="#">AA100.2401.00000</a>	INTEREST & EARNINGS	80,000.00	80,000.00	13,380.49	160,776.41	80,776.41	200.97 %
<a href="#">AA100.2410.00000</a>	RENTAL OF REAL PROPERTY	16,360.00	16,360.00	900.00	14,097.24	-2,262.76	13.83 %
<a href="#">AA100.2544.00000</a>	DOG LICENSES	30,000.00	30,000.00	3,350.00	16,777.00	-13,223.00	44.08 %
<a href="#">AA100.2590.00000</a>	SITE DEVELOPMENT FEES	75,000.00	75,000.00	18,831.87	120,759.86	45,759.86	161.01 %
<a href="#">AA100.2591.00000</a>	TRANSFER STATION FEES	25,000.00	25,000.00	1,887.00	15,034.00	-9,966.00	39.86 %
<a href="#">AA100.2610.00000</a>	FINES & FORFEITED BAIL	110,000.00	110,000.00	-10,798.50	82,374.00	-27,626.00	25.11 %
<a href="#">AA100.2651.00000</a>	RECYCLING REVENUE	15,000.00	15,000.00	1,746.56	15,429.15	429.15	102.86 %
<a href="#">AA100.2665.00000</a>	SALE OF EQUIPMENT	0.00	0.00	0.00	10,775.00	10,775.00	0.00 %
<a href="#">AA100.2701.00000</a>	REFUND PRIOR YEARS EXP	0.00	0.00	0.00	10,625.75	10,625.75	0.00 %
<a href="#">AA100.2705.00000</a>	GIFTS & DONATIONS	1,000.00	1,000.00	0.00	1,150.00	150.00	115.00 %
<a href="#">AA100.2750.00000</a>	AIM-RELATED PAYMENTS	0.00	0.00	28,151.00	28,151.00	28,151.00	0.00 %
<a href="#">AA100.2770.00000</a>	MISCELLANEOUS INCOME	0.00	0.00	25.81	351.62	351.62	0.00 %
<a href="#">AA100.3005.00000</a>	ONTARIO CO MORTGAGE TAX	275,000.00	275,000.00	0.00	114,649.68	-160,350.32	58.31 %
<a href="#">AA100.3040.00000</a>	NYS AID TAX/ASSESSMENTS	0.00	0.00	0.00	24,257.64	24,257.64	0.00 %
<a href="#">AA100.3089.00000</a>	ST AID.OTHER	0.00	8,308.59	0.00	10,277.59	1,969.00	123.70 %
<a href="#">AA100.5031.00000</a>	INTERFUND TRANSFERS	15,000.00	15,000.00	0.00	0.00	-15,000.00	100.00 %
<a href="#">AA100.5031.0000H</a>	INTERFUND TRANSFERS.CAPITAL P...	0.00	100,384.59	0.00	0.00	-100,384.59	100.00 %
<a href="#">AA100.5031.0000R</a>	TRANSFER FROM RESERVE	0.00	49,417.50	49,417.50	49,417.50	0.00	0.00 %
<a href="#">AA100.5031.0000CM</a>	INTERFUND TRANSFERS.PARK FUND	150,000.00	150,000.00	0.00	0.00	-150,000.00	100.00 %
<a href="#">AA100.9000.00000</a>	APPROPRIATED FUND BALANCE FOR..	536,611.00	1,958,311.00	0.00	3,071,700.00	1,113,389.00	156.85 %
	<b>Revenue Total:</b>	<b>5,143,203.00</b>	<b>6,723,013.68</b>	<b>173,037.82</b>	<b>6,048,885.20</b>	<b>-674,128.48</b>	<b>10.03%</b>
<b>Expense</b>							
<a href="#">AA100.1010.110.00000</a>	TOWN BOARD.ELECTED	22,792.00	22,792.00	1,753.20	16,655.40	6,136.60	26.92 %
<a href="#">AA100.1010.400.00000</a>	TOWN BOARD.CONTRACTUAL	2,750.00	3,750.00	47.21	3,053.52	696.48	18.57 %
<a href="#">AA100.1110.110.00000</a>	JUSTICES.ELECTED	57,218.00	57,218.00	4,401.40	41,813.30	15,404.70	26.92 %
<a href="#">AA100.1110.120.00000</a>	JUSTICES.COURT CLERK, FT	62,826.00	62,826.00	4,832.76	45,938.29	16,887.71	26.88 %
<a href="#">AA100.1110.130.00000</a>	JUSTICES.COURT CLERK, PT	1,000.00	1,000.00	0.00	59.73	940.27	94.03 %
<a href="#">AA100.1110.140.00000</a>	JUSTICES.COURT CLERK, PT	33,488.00	33,488.00	2,288.50	20,579.25	12,908.75	38.55 %
<a href="#">AA100.1110.200.00000</a>	JUSTICES.CAPITAL.EQUIPMENT	1,500.00	9,808.59	2,475.21	4,641.17	5,167.42	52.68 %
<a href="#">AA100.1110.400.00000</a>	JUSTICES.CONTRACTUAL	9,050.00	9,050.00	1,821.32	5,727.41	3,322.59	36.71 %
<a href="#">AA100.1110.401.00000</a>	JUSTICES..CONTR.COURTSECURITY	13,500.00	13,500.00	0.00	9,375.60	4,124.40	30.55 %
<a href="#">AA100.1220.110.00000</a>	SUPERVISOR.ELECTED	68,873.00	68,873.00	5,297.92	50,330.24	18,542.76	26.92 %
<a href="#">AA100.1220.120.00000</a>	SUPERVISOR.DEPUTY SUPERVISOR	2,060.00	2,060.00	158.46	1,503.06	556.94	27.04 %
<a href="#">AA100.1220.142.00000</a>	SUPERVISOR.CONFIDENTIAL SECRE...	1.00	28,001.00	1,397.00	8,409.50	19,591.50	69.97 %
<a href="#">AA100.1220.400.00000</a>	SUPERVISOR.CONTRACTUAL	5,250.00	5,250.00	0.00	4,454.01	795.99	15.16 %
<a href="#">AA100.1230.100.00000</a>	TOWN MANAGER.PERSONAL SERVI...	140,690.00	94,690.00	10,769.24	37,809.09	56,880.91	60.07 %
<a href="#">AA100.1230.144.00000</a>	TOWN MGR. CLERK FINANCE P/T	20,000.00	12,000.00	0.00	1,586.68	10,413.32	86.78 %

Budget Report-JM

For Fiscal: 2024 Period Ending: 09/30/2024

		Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
<a href="#">AA100.1230.145.00000</a>	TOWN MGR.FINANCE CLERK F/T	62,500.00	62,500.00	4,807.70	45,673.15	16,826.85	26.92 %
<a href="#">AA100.1230.200.00000</a>	TOWN MANAGER.CAPITAL.EQUIPM...	3,750.00	3,750.00	530.34	530.34	3,219.66	85.86 %
<a href="#">AA100.1230.400.00000</a>	TOWN MANAGER.CONTRACTUAL	9,060.00	23,060.00	2,604.06	21,332.81	1,727.19	7.49 %
<a href="#">AA100.1320.400.00000</a>	AUDITOR.CONTRACTUAL	20,376.00	20,376.00	118.50	19,198.00	1,178.00	5.78 %
<a href="#">AA100.1340.400.00000</a>	BUDGET.CONTRACTUAL	3,000.00	3,000.00	0.00	0.00	3,000.00	100.00 %
<a href="#">AA100.1345.400.00000</a>	PURCHASING.CONTRACTUAL	1,750.00	1,750.00	36.46	1,357.59	392.41	22.42 %
<a href="#">AA100.1355.120.00000</a>	ASSESSOR.PERSONAL SERVICES	78,796.00	78,796.00	6,061.24	57,581.78	21,214.22	26.92 %
<a href="#">AA100.1355.132.00000</a>	ASSESSOR.REAL PROPERTY AIDE FT	47,133.00	48,533.00	3,625.60	33,381.02	15,151.98	31.22 %
<a href="#">AA100.1355.150.00000</a>	ASSESSOR.BAR REVIEW SALARY	2,035.00	2,035.00	508.75	1,526.25	508.75	25.00 %
<a href="#">AA100.1355.200.00000</a>	ASSESSOR.CAPITAL.EQUIPMENT	500.00	500.00	0.00	0.00	500.00	100.00 %
<a href="#">AA100.1355.400.00000</a>	ASSESSOR.CONTRACTUAL	38,040.00	36,040.00	2,422.67	16,243.45	19,796.55	54.93 %
<a href="#">AA100.1355.420.00000</a>	ASSESSOR.BAR REVIEW CONTRACT...	750.00	750.00	0.00	126.00	624.00	83.20 %
<a href="#">AA100.1380.400.00000</a>	FISCAL.AGENT.FEES	0.00	14,900.00	0.00	14,900.00	0.00	0.00 %
<a href="#">AA100.1410.110.00000</a>	TOWN CLERK.ELECTED	74,638.00	74,638.00	5,741.38	54,543.11	20,094.89	26.92 %
<a href="#">AA100.1410.131.00000</a>	TOWN CLERK.FIRSTDEPUTY	53,560.00	53,560.00	4,120.00	38,444.78	15,115.22	28.22 %
<a href="#">AA100.1410.141.00000</a>	TOWN CLERK.DEPUTY #2	47,133.00	47,133.00	2,640.00	31,930.93	15,202.07	32.25 %
<a href="#">AA100.1410.142.00000</a>	TOWN CLERK.DEPUTY#3	47,133.00	47,133.00	1,762.75	16,524.75	30,608.25	64.94 %
<a href="#">AA100.1410.200.00000</a>	TOWN CLERK.CAPITAL.EQUIPMENT	850.00	850.00	0.00	659.61	190.39	22.40 %
<a href="#">AA100.1410.400.00000</a>	TOWN CLERK.CONTRACTUAL	25,725.00	25,725.00	2,088.95	11,642.88	14,082.12	54.74 %
<a href="#">AA100.1420.400.00000</a>	ATTORNEY.CONTRACTUAL	9,500.00	50,800.00	5,933.00	38,677.85	12,122.15	23.86 %
<a href="#">AA100.1430.132.00000</a>	PERSONNEL.HR AND PAYROLL COO...	93,500.00	93,500.00	7,192.30	68,326.85	25,173.15	26.92 %
<a href="#">AA100.1430.200.00000</a>	PERSONNEL.CAPITAL.EQUIPMENT	1,500.00	1,500.00	0.00	0.00	1,500.00	100.00 %
<a href="#">AA100.1430.410.00000</a>	PERSONNEL.CONTRACTUAL	7,120.00	7,120.00	32.30	799.55	6,320.45	88.77 %
<a href="#">AA100.1430.420.00000</a>	PERSONNEL.EAP HUMAN RESOURCE	1,550.00	1,550.00	0.00	0.00	1,550.00	100.00 %
<a href="#">AA100.1440.400.00000</a>	ENGINEERING.CONTRACTUAL	20,003.00	73,363.00	-1,169.00	22,457.68	50,905.32	69.39 %
<a href="#">AA100.1440.406.00000</a>	ENGINEERING. SEWERS	1.00	1.00	0.00	0.00	1.00	100.00 %
<a href="#">AA100.1450.400.00000</a>	ELECTIONS.CONTRACTUAL	11,250.00	11,250.00	0.00	102.37	11,147.63	99.09 %
<a href="#">AA100.1460.100.00000</a>	RECORDS MANAGEMENT. PERSON...	0.00	8,000.00	0.00	0.00	8,000.00	100.00 %
<a href="#">AA100.1460.200.00000</a>	RECORDS MANAGEMENT.CAPITAL....	2,000.00	2,000.00	0.00	0.00	2,000.00	100.00 %
<a href="#">AA100.1460.400.00000</a>	RECORDS MANAGEMENT.CONTRAC...	36,223.00	36,223.00	796.29	4,948.68	31,274.32	86.34 %
<a href="#">AA100.1480.100.00000</a>	PUBLICSERVINFO.CONTRACTUAL.P...	1.00	1.00	0.00	0.00	1.00	100.00 %
<a href="#">AA100.1480.400.00000</a>	PUBLICSERVINFO.CONTRACTUAL.C...	3,351.00	18,351.00	121.15	7,643.05	10,707.95	58.35 %
<a href="#">AA100.1620.200.00000</a>	BUILDINGS.CAPITAL.EQUIPMENT	15,002.00	254,902.00	0.00	242,600.00	12,302.00	4.83 %
<a href="#">AA100.1620.400.00000</a>	BUILDINGS.CONTRACTUAL	5,000.00	5,000.00	0.00	2,548.74	2,451.26	49.03 %
<a href="#">AA100.1620.403.00000</a>	BUILDINGS..TOWNHALL.CONTR.UTI...	49,350.00	54,350.00	1,917.67	23,239.87	31,110.13	57.24 %
<a href="#">AA100.1620.404.00000</a>	BUILDINGS..HIGHWAYBLDG.CONTR...	114,850.00	264,850.00	3,115.72	67,063.19	197,786.81	74.68 %
<a href="#">AA100.1620.405.00000</a>	BUILDINGS..PARKS.CONTR.UTILITY....	37,500.00	37,500.00	5,705.41	25,266.23	12,233.77	32.62 %
<a href="#">AA100.1620.410.00000</a>	BUILDINGS.JANITORIAL	6,500.00	6,500.00	167.44	2,578.71	3,921.29	60.33 %
<a href="#">AA100.1670.400.00000</a>	PRINTING & MAILING.CONTRACTU...	16,500.00	16,500.00	-2,265.91	9,915.52	6,584.48	39.91 %
<a href="#">AA100.1680.100.00000</a>	CENTRAL DATA PROCESSING.PERS...	1.00	1.00	0.00	0.00	1.00	100.00 %
<a href="#">AA100.1680.125.00000</a>	CENTRAL DATA PROCESSING..PT PE...	1.00	1.00	0.00	0.00	1.00	100.00 %
<a href="#">AA100.1680.200.00000</a>	DATA PROCESSING.CAPITAL.EQUIP...	109,502.00	114,207.00	0.00	62,022.15	52,184.85	45.69 %
<a href="#">AA100.1680.400.00000</a>	DATA PROCESSING.CONTRACTUAL	134,800.00	184,217.50	5,875.78	169,494.92	14,722.58	7.99 %
<a href="#">AA100.1910.400.00000</a>	UNALLOCATED INSURANCE	135,000.00	135,000.00	39,909.75	105,796.94	29,203.06	21.63 %
<a href="#">AA100.1920.400.00000</a>	MUNICIPAL ASSOCIATION DUES	1,750.00	1,750.00	0.00	1,500.00	250.00	14.29 %
<a href="#">AA100.1940.200.00000</a>	PURCHASE OF LAND/RIGHT OF WAY...	15,000.00	15,000.00	0.00	0.00	15,000.00	100.00 %
<a href="#">AA100.1940.400.00000</a>	PURCHASE OF LAND/RIGHT OF WAY...	7,500.00	7,500.00	0.00	1,500.00	6,000.00	80.00 %
<a href="#">AA100.1990.400.00000</a>	CONTINGENCY	144,409.00	72,163.78	0.00	0.00	72,163.78	100.00 %
<a href="#">AA100.3120.400.00000</a>	POLICE.CONTRACTUAL	29,000.00	29,000.00	0.00	8,562.89	20,437.11	70.47 %
<a href="#">AA100.3189.200.00000</a>	OTHER TRAFFIC SAFETY	15,000.00	27,952.00	0.00	13,979.73	13,972.27	49.99 %
<a href="#">AA100.3310.200.00000</a>	TRAFFIC.CAPITAL.EQUIPMENT	15,000.00	0.00	0.00	0.00	0.00	0.00 %
<a href="#">AA100.3310.400.00000</a>	TRAFFIC.CONTRACTUAL	105,000.00	120,000.00	438.75	93,094.28	26,905.72	22.42 %
<a href="#">AA100.3510.400.00000</a>	DOG CONTROL CONTRACTUAL	30,000.00	30,000.00	0.00	26,456.00	3,544.00	11.81 %
<a href="#">AA100.4020.100.00000</a>	REGISTRAR.PERSONAL SERVICES	3,000.00	3,000.00	750.00	2,250.00	750.00	25.00 %
<a href="#">AA100.4020.400.00000</a>	REGISTRAR.CONTRACTUAL	400.00	400.00	0.00	161.21	238.79	59.70 %
<a href="#">AA100.4540.400.00000</a>	AMBULANCE CONTRACTUAL	9,000.00	9,000.00	0.00	9,000.00	0.00	0.00 %
<a href="#">AA100.5010.110.00000</a>	HIGHWAY SUPT.ELECTED	60,000.00	67,500.00	5,769.24	46,153.83	21,346.17	31.62 %
<a href="#">AA100.5010.120.00000</a>	HIGHWAY.DEPUTY	5,305.00	5,305.00	408.08	3,876.76	1,428.24	26.92 %

Budget Report-JM

For Fiscal: 2024 Period Ending: 09/30/2024

		Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
<a href="#">AA100.5010.130.00000</a>	HIGHWAY. CLERK	20,353.00	18,273.00	340.00	7,886.85	10,386.15	56.84 %
<a href="#">AA100.5010.131.00000</a>	HIGHWAY.SENIOR CLERK	23,567.00	25,647.00	2,212.78	18,586.74	7,060.26	27.53 %
<a href="#">AA100.5182.200.00000</a>	STREET LIGHTS RT 332	1.00	800,385.59	0.00	0.00	800,385.59	100.00 %
<a href="#">AA100.5182.400.00000</a>	STREET LIGHTING.CONTRACTUAL	25,000.00	25,000.00	-2,594.16	20,036.19	4,963.81	19.86 %
<a href="#">AA100.6989.400.00000</a>	ECONOMIC DEVELOPMENT.CONTR...	25,000.00	25,000.00	0.00	25,000.00	0.00	0.00 %
<a href="#">AA100.7020.141.00000</a>	RECREATION.SR LIFEGUARD	16,160.00	16,160.00	555.00	9,880.00	6,280.00	38.86 %
<a href="#">AA100.7020.400.00000</a>	RECREATION.CONTRACTUAL	1,500.00	1,500.00	0.00	0.00	1,500.00	100.00 %
<a href="#">AA100.7110.121.00000</a>	PARKS.MAINTENANCE ASSISTANT	56,160.00	56,160.00	5,049.01	44,192.29	11,967.71	21.31 %
<a href="#">AA100.7110.130.00000</a>	PARK.LABORER F/T	68,640.00	68,640.00	6,322.75	53,888.64	14,751.36	21.49 %
<a href="#">AA100.7110.131.00000</a>	PERSONAL SERVICES.PT	51,251.00	51,251.00	7,512.14	57,192.27	-5,941.27	-11.59 %
<a href="#">AA100.7110.142.00000</a>	REC.ATTENDANTS GATEHOUSE	17,000.00	17,000.00	2,497.50	11,242.50	5,757.50	33.87 %
<a href="#">AA100.7110.143.00000</a>	PARK.LABORERS P/T SEASONAL	75,600.00	75,600.00	4,028.25	27,342.51	48,257.49	63.83 %
<a href="#">AA100.7110.200.00000</a>	PARKS.NORMAL.CAP.MAINTENANC...	258,507.00	311,307.00	1,055.00	42,890.25	268,416.75	86.22 %
<a href="#">AA100.7110.201.00000</a>	PARKS.PRKFUND.NEWREC.EXP.PAR...	150,002.00	150,002.00	0.00	0.00	150,002.00	100.00 %
<a href="#">AA100.7110.400.00000</a>	PARK.CONTRACTUAL	51,761.00	57,178.00	3,590.68	43,954.29	13,223.71	23.13 %
<a href="#">AA100.7110.402.00000</a>	PARKS.LANDSCAPING	14,950.00	14,950.00	258.98	4,230.87	10,719.13	71.70 %
<a href="#">AA100.7110.404.00000</a>	PARKS AUBURN TRAIL	1.00	1.00	0.00	0.00	1.00	100.00 %
<a href="#">AA100.7140.141.00000</a>	PLAYGROUND/RECREATION.LIFEG...	65,718.00	65,643.00	5,715.00	52,170.75	13,472.25	20.52 %
<a href="#">AA100.7140.400.00000</a>	PLAYGROUND/RECREATION.CONTR...	30,800.00	30,800.00	0.00	25,553.11	5,246.89	17.04 %
<a href="#">AA100.7140.405.00000</a>	RECREATION.EVENTS.MOVIE NIGHT	3,500.00	3,575.00	652.00	3,573.88	1.12	0.03 %
<a href="#">AA100.7450.410.00000</a>	MUSEUM.CONTRACTUAL	10,000.00	10,000.00	0.00	10,000.00	0.00	0.00 %
<a href="#">AA100.7510.120.00000</a>	HISTORIAN.PERSONAL SERVICES	3,789.00	3,789.00	947.25	2,841.75	947.25	25.00 %
<a href="#">AA100.7510.400.00000</a>	HISTORIAN.CONTRACTUAL	1,750.00	2,350.00	229.00	632.95	1,717.05	73.07 %
<a href="#">AA100.7550.400.00000</a>	CELEBRATIONS.CONTRACTUAL	18,450.00	23,950.00	0.00	18,626.80	5,323.20	22.23 %
<a href="#">AA100.7620.400.00000</a>	ADULT RECREATION.CONTRACTUAL	3,000.00	3,000.00	0.00	523.00	2,477.00	82.57 %
<a href="#">AA100.8010.120.00000</a>	PLANNER.PERSONAL SVCS	56,650.00	56,650.00	5,002.03	44,759.74	11,890.26	20.99 %
<a href="#">AA100.8010.124.00000</a>	ZONING.OFFICER F/T	113,300.00	113,300.00	4,357.70	78,827.12	34,472.88	30.43 %
<a href="#">AA100.8010.141.00000</a>	ZONING.INSPECTOR P/T	13,125.00	13,125.00	953.75	8,865.40	4,259.60	32.45 %
<a href="#">AA100.8010.146.00000</a>	ZONING.SENIOR CLERK	1.00	1.00	0.00	0.00	1.00	100.00 %
<a href="#">AA100.8010.147.00000</a>	ZONING.OFFICE SPECIALIST I	0.00	38,000.00	3,400.00	26,900.63	11,099.37	29.21 %
<a href="#">AA100.8010.200.00000</a>	ZONE.PLANNER.CAPITAL.EQUIPME...	5,000.00	5,000.00	0.00	807.16	4,192.84	83.86 %
<a href="#">AA100.8010.400.00000</a>	ZONING INSPECTOR.CONTRACTUAL	2,840.00	2,840.00	32.30	1,400.25	1,439.75	50.70 %
<a href="#">AA100.8010.420.00000</a>	ZONING.PLANNER.CONTRACTUAL	6,020.00	6,020.00	97.30	3,538.89	2,481.11	41.21 %
<a href="#">AA100.8020.120.00000</a>	PLANNING BOARD.PERSONAL SERV...	16,015.00	16,015.00	4,003.75	11,801.25	4,213.75	26.31 %
<a href="#">AA100.8020.140.00000</a>	PB STENOGRAPHER P/T.PERSONAL ...	6,930.00	6,930.00	589.50	5,976.00	954.00	13.77 %
<a href="#">AA100.8020.150.00000</a>	ECB.PERSONAL SERVICES	4,822.00	4,822.00	993.16	3,085.66	1,736.34	36.01 %
<a href="#">AA100.8020.160.00000</a>	PLANNING.SECRETARY STENOGRAP...	13,080.00	18,080.00	1,800.00	15,650.00	2,430.00	13.44 %
<a href="#">AA100.8020.400.00000</a>	PLANNING BOARD.CONTRACTUAL	12,750.00	12,750.00	1,812.40	11,108.72	1,641.28	12.87 %
<a href="#">AA100.8020.410.00000</a>	PLANNING.ENGINEERING.CONTRAC...	2,400.00	2,400.00	537.44	2,762.44	-362.44	-15.10 %
<a href="#">AA100.8020.422.00000</a>	PLANNING.OPEN SPACE TEAM & C...	2,000.00	3,800.00	0.00	0.00	3,800.00	100.00 %
<a href="#">AA100.8020.424.00000</a>	PLANNING.UPTOWN	1,000.00	1,000.00	0.00	0.00	1,000.00	100.00 %
<a href="#">AA100.8020.428.00000</a>	PLANNING.HISTORICAL PROJECT TE...	200.00	200.00	0.00	0.00	200.00	100.00 %
<a href="#">AA100.8020.450.00000</a>	PLANNING.ECB.CONTRACTUAL	1,800.00	1,800.00	0.00	135.00	1,665.00	92.50 %
<a href="#">AA100.8040.120.00000</a>	ZONING BOARD OF APPEALS.PERS...	6,460.00	6,460.00	1,579.99	4,739.99	1,720.01	26.63 %
<a href="#">AA100.8040.140.00000</a>	ZONING BOARD OF APPEALS SECRE...	5,000.00	0.00	0.00	0.00	0.00	0.00 %
<a href="#">AA100.8040.400.00000</a>	ZONING BOARD OF APPEALS CONT...	5,000.00	5,000.00	1,343.00	4,832.20	167.80	3.36 %
<a href="#">AA100.8140.200.00000</a>	STORMSEWERS.CAPITAL.EQUIPME...	500.00	500.00	0.00	0.00	500.00	100.00 %
<a href="#">AA100.8140.400.00000</a>	STORMSEWERS.CONTRACTUAL	12,000.00	14,000.00	6,246.27	13,006.27	993.73	7.10 %
<a href="#">AA100.8160.130.00000</a>	WASTE & RECYCLING MEO.PERSON...	66,921.00	66,921.00	5,178.51	50,254.74	16,666.26	24.90 %
<a href="#">AA100.8160.140.00000</a>	WASTE & RECYCLING LABORS PT.PE...	41,600.00	41,600.00	3,708.50	28,470.79	13,129.21	31.56 %
<a href="#">AA100.8160.200.00000</a>	WASTE & RECYCLING EQUIPMENT	15,000.00	18,300.00	18,273.90	18,273.90	26.10	0.14 %
<a href="#">AA100.8160.400.00000</a>	WASTE & RECYCLING CONTRACTUAL	114,000.00	110,700.00	15,394.12	64,514.29	46,185.71	41.72 %
<a href="#">AA100.8540.400.00000</a>	DRAINAGE.CONTRACTUAL	5,000.00	3,000.00	0.00	0.00	3,000.00	100.00 %
<a href="#">AA100.8664.121.00000</a>	CODE ENFORCEMENT	78,000.00	78,000.00	6,000.00	57,000.00	21,000.00	26.92 %
<a href="#">AA100.8664.122.00000</a>	CODE ENFORCEMENT	20,851.00	20,851.00	1,392.08	13,091.85	7,759.15	37.21 %
<a href="#">AA100.8664.124.00000</a>	CODE ENFORCEMENT	92,500.00	50,600.00	4,384.60	9,519.09	41,080.91	81.19 %
<a href="#">AA100.8664.126.00000</a>	CODE ENFORCEMENT	62,000.00	62,000.00	4,807.70	35,913.60	26,086.40	42.07 %
<a href="#">AA100.8664.200.00000</a>	CODE ENFORCEMENT.CAPITAL.EQU...	35,000.00	48,000.00	0.00	47,800.00	200.00	0.42 %

		Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
<a href="#">AA100.8664.400.00000</a>	CODE ENFORCEMENT.CONTRACTU...	9,440.00	13,340.00	499.48	9,244.20	4,095.80	30.70 %
<a href="#">AA100.8710.400.00000</a>	CONSERVATION.PROGRAM.CONTR...	3,300.00	1,500.00	0.00	0.00	1,500.00	100.00 %
<a href="#">AA100.8710.401.00000</a>	CONSERVATION.AG COMMITTEE.C...	500.00	500.00	0.00	275.00	225.00	45.00 %
<a href="#">AA100.8730.450.00000</a>	FORESTRY TREE ADVISORY BOARD	500.00	500.00	0.00	0.00	500.00	100.00 %
<a href="#">AA100.8810.400.00000</a>	CEMETERIES CONTRACTUAL	15,400.00	17,674.00	0.00	5,288.89	12,385.11	70.08 %
<a href="#">AA100.8989.400.00000</a>	CDGA LAKE MANAGEMENT PLAN	31,000.00	31,210.00	0.00	31,210.00	0.00	0.00 %
<a href="#">AA100.9010.800.00000</a>	NYS RETIREMENT	212,000.00	212,000.00	0.00	0.00	212,000.00	100.00 %
<a href="#">AA100.9030.800.00000</a>	SOCIAL SECURITY/MEDICARE	132,000.00	132,000.00	12,102.64	100,311.76	31,688.24	24.01 %
<a href="#">AA100.9040.800.00000</a>	WORKERS COMPENSATION	113,510.00	113,510.00	0.00	113,509.26	0.74	0.00 %
<a href="#">AA100.9050.800.00000</a>	UNEMPLOYMENT INSURANCE	5,000.00	5,000.00	0.00	3,606.46	1,393.54	27.87 %
<a href="#">AA100.9055.800.00000</a>	DISABILITY INSURANCE	1,750.00	1,750.00	0.00	599.04	1,150.96	65.77 %
<a href="#">AA100.9060.810.00000</a>	MEDICAL INSURANCE	202,000.00	202,000.00	15,236.34	131,543.37	70,456.63	34.88 %
<a href="#">AA100.9060.811.00000</a>	DENTAL INSURANCE	12,500.00	12,500.00	1,368.82	10,225.39	2,274.61	18.20 %
<a href="#">AA100.9060.820.00000</a>	HOSPITAL/MEDICAL BUY-OUT	8,000.00	8,000.00	1,076.88	6,730.50	1,269.50	15.87 %
<a href="#">AA100.9060.830.00000</a>	HSA ACCOUNT	51,700.00	51,700.00	99.00	49,003.38	2,696.62	5.22 %
<a href="#">AA100.9710.600.00000</a>	SERIAL BONDS.PRINCIPAL	220,000.00	220,000.00	0.00	0.00	220,000.00	100.00 %
<a href="#">AA100.9710.700.00000</a>	SERIAL BONDS.INTEREST	63,775.00	63,775.00	0.00	31,887.50	31,887.50	50.00 %
<a href="#">AA100.9785.600.00000</a>	LEASE INSTALLMENT.PRINCIPAL	39,151.00	40,239.00	0.00	40,238.70	0.30	0.00 %
<a href="#">AA100.9785.700.00000</a>	LEASE INSTALLMENT.INTEREST	3,357.00	2,269.00	0.00	2,268.37	0.63	0.03 %
<a href="#">AA100.9901.900.00000</a>	INTERFUND TRANSFER	0.00	0.00	0.00	700,000.00	-700,000.00	0.00 %
<a href="#">AA100.9950.900.00000</a>	INTERFUND TRANSFER.CAPITAL PR...	0.00	7,361.22	0.00	1,156,061.53	-1,148,700.3115,604.75 %	
	<b>Expense Total:</b>	<b>5,143,204.00</b>	<b>6,557,248.68</b>	<b>307,650.93</b>	<b>5,112,833.67</b>	<b>1,444,415.01</b>	<b>22.03%</b>
	<b>Fund: AA100 - GENERAL FUND Surplus (Deficit):</b>	<b>-1.00</b>	<b>165,765.00</b>	<b>-134,613.11</b>	<b>936,051.53</b>	<b>770,286.53</b>	<b>-464.69%</b>
<b>Fund: AA231 - CONTINGENT/TAX RESERVE</b>							
<b>Revenue</b>							
<a href="#">AA231.2401.00000</a>	INTEREST & EARNINGS.CONT TAX R...	0.00	0.00	4,380.57	40,726.25	40,726.25	0.00 %
	<b>Revenue Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>4,380.57</b>	<b>40,726.25</b>	<b>40,726.25</b>	<b>0.00%</b>
	<b>Fund: AA231 - CONTINGENT/TAX RESERVE Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>4,380.57</b>	<b>40,726.25</b>	<b>40,726.25</b>	<b>0.00%</b>
<b>Fund: AA232 - CAMPUS REPAIR RESERVE</b>							
<b>Revenue</b>							
<a href="#">AA232.2401.00000</a>	INTEREST & EARNING.BUILDING RE...	0.00	0.00	932.33	8,667.86	8,667.86	0.00 %
	<b>Revenue Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>932.33</b>	<b>8,667.86</b>	<b>8,667.86</b>	<b>0.00%</b>
	<b>Fund: AA232 - CAMPUS REPAIR RESERVE Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>932.33</b>	<b>8,667.86</b>	<b>8,667.86</b>	<b>0.00%</b>
<b>Fund: AA233 - TECHNOLOGY RESERVE</b>							
<b>Revenue</b>							
<a href="#">AA233.2401.00000</a>	INTEREST & EARNING.TECHNOLOGY...	0.00	0.00	176.54	1,910.75	1,910.75	0.00 %
<a href="#">AA233.9000.00000</a>	APPROPRIATED FUND BALANCE FOR...	0.00	49,417.50	49,417.50	49,417.50	0.00	0.00 %
	<b>Revenue Total:</b>	<b>0.00</b>	<b>49,417.50</b>	<b>49,594.04</b>	<b>51,328.25</b>	<b>1,910.75</b>	<b>3.87%</b>
<b>Expense</b>							
<a href="#">AA233.9901.900.00000</a>	TECH RESERVE. INTERFUND TRANF...	0.00	49,417.50	49,417.50	49,417.50	0.00	0.00 %
	<b>Expense Total:</b>	<b>0.00</b>	<b>49,417.50</b>	<b>49,417.50</b>	<b>49,417.50</b>	<b>0.00</b>	<b>0.00%</b>
	<b>Fund: AA233 - TECHNOLOGY RESERVE Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>176.54</b>	<b>1,910.75</b>	<b>1,910.75</b>	<b>0.00%</b>
<b>Fund: AA234 - OPEN SPACE RESERVE</b>							
<b>Revenue</b>							
<a href="#">AA234.2401.00000</a>	INTEREST & EARNING.OPEN SPACE ...	0.00	0.00	3,682.77	33,802.54	33,802.54	0.00 %
	<b>Revenue Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>3,682.77</b>	<b>33,802.54</b>	<b>33,802.54</b>	<b>0.00%</b>
	<b>Fund: AA234 - OPEN SPACE RESERVE Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>3,682.77</b>	<b>33,802.54</b>	<b>33,802.54</b>	<b>0.00%</b>
<b>Fund: AA235 - NYS EMPLOYEE SYSTEM RESERVE</b>							
<b>Revenue</b>							
<a href="#">AA235.2401.00000</a>	INTEREST & EARNING.NYS RETIREM...	0.00	0.00	845.16	7,857.55	7,857.55	0.00 %
	<b>Revenue Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>845.16</b>	<b>7,857.55</b>	<b>7,857.55</b>	<b>0.00%</b>
	<b>Fund: AA235 - NYS EMPLOYEE SYSTEM RESERVE Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>845.16</b>	<b>7,857.55</b>	<b>7,857.55</b>	<b>0.00%</b>

Budget Report-JM

For Fiscal: 2024 Period Ending: 09/30/2024

		Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
<b>Fund: AA237 - BONDED INDEBTEDNESS RESERVE</b>							
<b>Revenue</b>							
<a href="#">AA237.2401.00000</a>	INTEREST & EARNINGS.BONDED IN...	0.00	0.00	979.70	9,108.06	9,108.06	0.00 %
	<b>Revenue Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>979.70</b>	<b>9,108.06</b>	<b>9,108.06</b>	<b>0.00%</b>
	<b>Fund: AA237 - BONDED INDEBTEDNESS RESERVE Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>979.70</b>	<b>9,108.06</b>	<b>9,108.06</b>	<b>0.00%</b>
<b>Fund: AA238 - SOLID WASTE MANAGEMENT RESERVE</b>							
<b>Revenue</b>							
<a href="#">AA238.2401.00000</a>	INTEREST & EARNINGS.SOLID WAST...	0.00	0.00	3,642.24	33,862.09	33,862.09	0.00 %
	<b>Revenue Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>3,642.24</b>	<b>33,862.09</b>	<b>33,862.09</b>	<b>0.00%</b>
	<b>Fund: AA238 - SOLID WASTE MANAGEMENT RESERVE Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>3,642.24</b>	<b>33,862.09</b>	<b>33,862.09</b>	<b>0.00%</b>
<b>Fund: CM100 - NEW RECREATION REVENUE FUND</b>							
<b>Revenue</b>							
<a href="#">CM100.2001.00000</a>	PARK & RECREATION FEES	0.00	0.00	4,500.00	18,000.00	18,000.00	0.00 %
<a href="#">CM100.2401.00000</a>	INTEREST & EARNINGS	0.00	0.00	1,541.04	14,291.77	14,291.77	0.00 %
	<b>Revenue Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>6,041.04</b>	<b>32,291.77</b>	<b>32,291.77</b>	<b>0.00%</b>
	<b>Fund: CM100 - NEW RECREATION REVENUE FUND Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>6,041.04</b>	<b>32,291.77</b>	<b>32,291.77</b>	<b>0.00%</b>
<b>Fund: DA100 - HIGHWAY</b>							
<b>Revenue</b>							
<a href="#">DA100.1001.00000</a>	REAL PROPERTY TAXES	925,000.00	925,000.00	0.00	925,000.00	0.00	0.00 %
<a href="#">DA100.1120.00000</a>	NON PROPERTY SALES TAX	2,600,000.00	2,600,000.00	0.00	1,550,936.53	-1,049,063.47	40.35 %
<a href="#">DA100.2302.00000</a>	SERVICES/OTHER GOVERNMENTS	171,500.00	171,500.00	46,179.24	217,347.60	45,847.60	126.73 %
<a href="#">DA100.2303.00000</a>	SALE OF FUEL	5,000.00	5,000.00	999.85	6,589.03	1,589.03	131.78 %
<a href="#">DA100.2401.00000</a>	INTEREST & EARNINGS	25,000.00	25,000.00	327.98	26,521.67	1,521.67	106.09 %
<a href="#">DA100.2410.00000</a>	RENTAL OF LABOR/INDIVIDUALS	12,000.00	12,000.00	130.00	8,449.15	-3,550.85	29.59 %
<a href="#">DA100.2414.00000</a>	RENTAL OF EQUIPMENT	5,000.00	5,000.00	0.00	0.00	-5,000.00	100.00 %
<a href="#">DA100.2665.00000</a>	SALE OF EQUIPMENT	35,000.00	35,000.00	0.00	58,915.00	23,915.00	168.33 %
<a href="#">DA100.2680.00000</a>	INSURANCE RECOVERIES	0.00	0.00	0.00	6,125.00	6,125.00	0.00 %
<a href="#">DA100.2701.00000</a>	REFUND PRIOR YEAR EXP	0.00	0.00	0.00	118.18	118.18	0.00 %
<a href="#">DA100.3501.00000</a>	NYS STATE AID CHIPS	487,935.00	487,935.00	307,887.34	307,887.34	-180,047.66	36.90 %
<a href="#">DA100.4960.00000</a>	FEMA - EMERGENCY DISASTER	0.00	0.00	0.00	34,745.49	34,745.49	0.00 %
<a href="#">DA100.5031.00000</a>	INTERFUND TRANSFERS	0.00	0.00	0.00	700,000.00	700,000.00	0.00 %
<a href="#">DA100.9000.00000</a>	APPROPRIATED FUND BALANCE FOR..	489,690.00	1,189,690.00	0.00	0.00	-1,189,690.00	100.00 %
	<b>Revenue Total:</b>	<b>4,756,125.00</b>	<b>5,456,125.00</b>	<b>355,524.41</b>	<b>3,842,634.99</b>	<b>-1,613,490.01</b>	<b>29.57%</b>
<b>Expense</b>							
<a href="#">DA100.1420.400.00000</a>	HWY.ATTORNEY.CONTRACTUAL	1,000.00	1,000.00	0.00	0.00	1,000.00	100.00 %
<a href="#">DA100.1440.400.00000</a>	HWY.ENGINEERING.CONTRACTUAL	5,000.00	9,500.00	0.00	5,285.00	4,215.00	44.37 %
<a href="#">DA100.5010.400.00000</a>	HWY.ADMIN.CONTRACTUAL	17,920.00	17,920.00	922.65	15,146.62	2,773.38	15.48 %
<a href="#">DA100.5110.130.00000</a>	GENERAL REPAIRS.WAGES F/T	696,000.00	696,000.00	80,005.82	534,217.83	161,782.17	23.24 %
<a href="#">DA100.5110.131.00000</a>	GENERAL REPAIRS.VACATIONBUYB...	10,000.00	10,000.00	0.00	0.00	10,000.00	100.00 %
<a href="#">DA100.5110.400.00000</a>	GENERAL REPAIRS.CONTRACTUAL	1,250,000.00	1,950,000.00	483,600.52	1,097,148.77	852,851.23	43.74 %
<a href="#">DA100.5112.200.00000</a>	HWY.PERMANENT IMPROVEMENTS...	487,935.00	487,935.00	0.00	488,331.60	-396.60	-0.08 %
<a href="#">DA100.5130.200.00000</a>	MACHINERY.CAPITAL.EQUIPMENT	390,002.00	489,869.00	0.00	134,200.00	355,669.00	72.60 %
<a href="#">DA100.5130.400.00000</a>	MACHINERY.CONTRACTUAL..	218,950.00	89,918.02	12,710.17	115,169.86	-25,251.84	-28.08 %
<a href="#">DA100.5130.400.00110</a>	MACHINERY.CONTRACTUAL CAR #1...	0.00	309.78	0.00	309.78	0.00	0.00 %
<a href="#">DA100.5130.400.00114</a>	MACHINERY.CONTRACTUAL.CAR#1...	0.00	763.31	0.00	763.31	0.00	0.00 %
<a href="#">DA100.5130.400.00201</a>	MACHINERY.CONTRACTUAL.TRUCK...	0.00	840.88	0.00	840.88	0.00	0.00 %
<a href="#">DA100.5130.400.00203</a>	MACHINERY.CONTRACTUAL.TRUCK...	0.00	3,258.92	0.00	3,258.92	0.00	0.00 %
<a href="#">DA100.5130.400.00204</a>	MACHINERY.CONTRACTUAL.TRUCK...	0.00	268.37	75.55	268.37	0.00	0.00 %
<a href="#">DA100.5130.400.00205</a>	MACHINERY.CONTRACTUAL.TRUCK...	0.00	8,472.08	0.00	8,472.08	0.00	0.00 %
<a href="#">DA100.5130.400.00206</a>	MACHINERY.CONTRACTUAL.TRUCK...	0.00	135.82	0.00	135.82	0.00	0.00 %
<a href="#">DA100.5130.400.00207</a>	MACHINERY.CONTRACTUAL.TRUCK...	0.00	541.79	0.00	541.79	0.00	0.00 %
<a href="#">DA100.5130.400.00208</a>	MACHINERY.CONTRACTUAL.TRUCK...	0.00	7,313.04	0.00	7,313.04	0.00	0.00 %
<a href="#">DA100.5130.400.00212</a>	MACHINERY.CONTRACTUAL.TRUCK...	0.00	1,847.80	0.00	1,847.80	0.00	0.00 %
<a href="#">DA100.5130.400.00213</a>	MACHINERY.CONTRACTUAL.TRUCK...	0.00	13,104.13	5,858.16	13,104.13	0.00	0.00 %
<a href="#">DA100.5130.400.00215</a>	MACHINERY.CONTRACTUAL.TRUCK...	0.00	1,843.52	0.00	1,843.52	0.00	0.00 %
<a href="#">DA100.5130.400.00218</a>	MACHINERY.CONTRACTUAL.TRUCK...	0.00	4,806.26	3,477.01	4,806.26	0.00	0.00 %

Budget Report-JM

For Fiscal: 2024 Period Ending: 09/30/2024

		Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
<a href="#">DA100.5130.400.00233</a>	MACHINERY.CONTRACTUAL.TRUCK...	0.00	803.81	0.00	803.81	0.00	0.00 %
<a href="#">DA100.5130.400.00234</a>	MACHINERY.CONTRACTUAL.TRUCK...	0.00	286.56	202.48	286.56	0.00	0.00 %
<a href="#">DA100.5130.400.00236</a>	MACHINERY.CONTRACTUAL.TRUCK...	0.00	4,451.68	0.00	4,451.68	0.00	0.00 %
<a href="#">DA100.5130.400.00237</a>	MACHINERY.CONTRACTUAL.TRUCK...	0.00	3,657.50	775.45	3,657.50	0.00	0.00 %
<a href="#">DA100.5130.400.00238</a>	MACHINERY.CONTRACTUAL.TRUCK...	0.00	2,417.74	0.00	2,417.74	0.00	0.00 %
<a href="#">DA100.5130.400.00239</a>	MACHINERY.CONTRACTUAL.TRUCK...	0.00	4,443.04	1,200.90	4,443.04	0.00	0.00 %
<a href="#">DA100.5130.400.00240</a>	MACHINERY.CONTRACTUAL TRUCK ...	0.00	5,113.48	96.41	5,113.48	0.00	0.00 %
<a href="#">DA100.5130.400.00241</a>	MACHINERY.CONTRACTUAL.TRUCK...	0.00	2,296.66	2,290.08	2,296.66	0.00	0.00 %
<a href="#">DA100.5130.400.00242</a>	MACHINERY.CONTRACTUAL.TRUCK...	0.00	830.69	0.00	830.69	0.00	0.00 %
<a href="#">DA100.5130.400.00243</a>	MACHINERY.CONTRACTUAL.TRUCK...	0.00	299.99	299.99	299.99	0.00	0.00 %
<a href="#">DA100.5130.400.00245</a>	MACHINERY.CONTRACTUAL.TRUCK...	0.00	1,446.02	0.00	1,446.02	0.00	0.00 %
<a href="#">DA100.5130.400.00246</a>	MACHINERY.CONTRACTUAL.TRUCK...	0.00	7,349.50	0.00	7,349.50	0.00	0.00 %
<a href="#">DA100.5130.400.00247</a>	MACHINERY.CONTRACTUAL.TRUCK...	0.00	2,750.30	0.00	2,750.30	0.00	0.00 %
<a href="#">DA100.5130.400.00248</a>	MACHINERY.CONTRACTUAL.BUCKE...	0.00	3,917.92	0.00	3,917.92	0.00	0.00 %
<a href="#">DA100.5130.400.00249</a>	MACHINERY.CONTRACTUAL.VAC T...	0.00	1,726.27	0.00	1,726.27	0.00	0.00 %
<a href="#">DA100.5130.400.00252</a>	MACHINERY.CONTRACTUAL.TRUCK...	0.00	967.86	0.00	967.86	0.00	0.00 %
<a href="#">DA100.5130.400.00312</a>	MACHINERY.CONTRACTUAL.GRADE...	0.00	241.91	0.00	241.91	0.00	0.00 %
<a href="#">DA100.5130.400.00320</a>	MACHINERY.CONTRACTUAL.EXCAV...	0.00	2,691.73	0.00	2,691.73	0.00	0.00 %
<a href="#">DA100.5130.400.00324</a>	MACHINERY.CONTRACTUAL.EXCAV...	0.00	440.37	0.00	440.37	0.00	0.00 %
<a href="#">DA100.5130.400.00326</a>	MACHINERY.CONTRACTUAL.TRACT...	0.00	4,755.48	0.00	4,755.48	0.00	0.00 %
<a href="#">DA100.5130.400.00340</a>	MACHINERY.CONTRACTUAL.SWEEP...	0.00	4,331.07	0.00	4,331.07	0.00	0.00 %
<a href="#">DA100.5130.400.00350</a>	MACHINERY.CONTRACTUAL.ROLLER...	0.00	405.16	0.00	405.16	0.00	0.00 %
<a href="#">DA100.5130.400.00355</a>	MACHINERY.CONTRACTUAL.DOZER...	0.00	3,112.17	0.00	3,112.17	0.00	0.00 %
<a href="#">DA100.5130.400.00359</a>	MACHINERY.CONTRACTUAL.MOW...	0.00	1,647.73	0.00	1,647.73	0.00	0.00 %
<a href="#">DA100.5130.400.00361</a>	MACHINERY.CONTRACTUAL.BACK...	0.00	398.32	0.00	398.32	0.00	0.00 %
<a href="#">DA100.5130.400.00363</a>	MACHINERY.CONTRACTUAL.LOADE...	0.00	934.13	0.00	934.13	0.00	0.00 %
<a href="#">DA100.5130.400.00365</a>	MACHINERY.CONTRACTUAL.EXCAV...	0.00	1,048.14	854.64	1,048.14	0.00	0.00 %
<a href="#">DA100.5130.400.00366</a>	MACHINERY.CONTRACTUAL.EXCAV...	0.00	7,915.36	0.00	7,915.36	0.00	0.00 %
<a href="#">DA100.5130.400.00371</a>	MACHINERY.CONTRACTUAL.LOADE...	0.00	254.18	0.00	254.18	0.00	0.00 %
<a href="#">DA100.5130.400.00373</a>	MACHINERY.CONTRACTUAL.MOW...	0.00	393.78	0.00	393.78	0.00	0.00 %
<a href="#">DA100.5130.400.00374</a>	MACHINERY.CONTRACTUAL.MOW...	0.00	144.70	0.00	144.70	0.00	0.00 %
<a href="#">DA100.5130.400.00375</a>	MACHINERY.CONTRACTUAL.LOADE...	0.00	175.18	0.00	175.18	0.00	0.00 %
<a href="#">DA100.5130.400.00377</a>	MACHINERY.CONTRACTUAL.ROLLER...	0.00	175.84	0.00	175.84	0.00	0.00 %
<a href="#">DA100.5130.400.00378</a>	MACHINERY.CONTRACTUAL.EXCAV...	0.00	367.99	0.00	367.99	0.00	0.00 %
<a href="#">DA100.5130.400.00379</a>	MACHINERY.CONTRACTUAL.TRAILE...	0.00	147.58	147.58	147.58	0.00	0.00 %
<a href="#">DA100.5130.400.00380</a>	MACHINERY.CONTRACTUAL.SKID S...	0.00	209.35	0.00	209.35	0.00	0.00 %
<a href="#">DA100.5130.400.00381</a>	MACHINERY.CONTRACTUAL.MOW...	0.00	557.09	418.82	557.09	0.00	0.00 %
<a href="#">DA100.5130.400.00382</a>	MACHINERY.CONTRACTUAL.MOW...	0.00	1,979.60	0.00	1,979.60	0.00	0.00 %
<a href="#">DA100.5130.400.00383</a>	MACHINERY.CONTRACTUAL.UTV #3...	0.00	889.66	0.00	889.66	0.00	0.00 %
<a href="#">DA100.5130.400.00384</a>	MACHINERY.CONTRACTUAL.HYDRO...	0.00	189.52	0.00	189.52	0.00	0.00 %
<a href="#">DA100.5130.400.00404</a>	MACHINERY.CONTRACTUAL.WATER...	0.00	938.50	50.92	938.50	0.00	0.00 %
<a href="#">DA100.5130.400.00405</a>	MACHINERY.CONTRACTUAL.WATER...	0.00	71.50	0.00	71.50	0.00	0.00 %
<a href="#">DA100.5130.400.00406</a>	MACHINERY.CONTRACTUAL.WATER...	0.00	625.89	0.00	625.89	0.00	0.00 %
<a href="#">DA100.5130.400.00502</a>	MACHINERY.CONTRACTUAL.PARKS ...	0.00	448.42	448.42	448.42	0.00	0.00 %
<a href="#">DA100.5130.400.00503</a>	MACHINERY.CONTRACTUAL.PARK T...	0.00	314.50	241.88	314.50	0.00	0.00 %
<a href="#">DA100.5130.400.00504</a>	MACHINERY.CONTRACTUAL.PK UTV...	0.00	90.37	0.00	90.37	0.00	0.00 %
<a href="#">DA100.5130.400.00505</a>	MACHINERY.CONTRACTUAL.PK CAR...	0.00	176.45	0.00	176.45	0.00	0.00 %
<a href="#">DA100.5130.400.00508</a>	MACHINERY.CONTRACTUAL.PKTRU...	0.00	403.00	0.00	403.00	0.00	0.00 %
<a href="#">DA100.5130.400.00510</a>	MACHINERY.CONTRACTUAL.PKTRU...	0.00	2,372.14	0.00	2,372.14	0.00	0.00 %
<a href="#">DA100.5130.400.00511</a>	MACHINERY.CONTRACTUAL.PARKS ...	0.00	951.38	0.00	951.38	0.00	0.00 %
<a href="#">DA100.5130.400.00512</a>	MACHINERY. CONTRACTUAL. PARKS...	0.00	500.00	0.00	500.00	0.00	0.00 %
<a href="#">DA100.5130.400.00999</a>	MACHINERY.CONTRACTUAL.CESH...	0.00	2,469.07	0.00	2,469.07	0.00	0.00 %
<a href="#">DA100.5130.410.00000</a>	MACHINERY.FUEL METERING	210,000.00	210,000.00	10,158.60	121,677.65	88,322.35	42.06 %
<a href="#">DA100.5142.130.00000</a>	SNOW REMOVAL.WAGES F/T	460,000.00	460,000.00	0.00	262,639.72	197,360.28	42.90 %
<a href="#">DA100.5142.400.00000</a>	SNOW REMOVAL.CONTRACTUAL	511,500.00	511,500.00	51,295.98	272,460.81	239,039.19	46.73 %
<a href="#">DA100.9010.800.00000</a>	NYS RETIREMENT	151,000.00	151,000.00	0.00	0.00	151,000.00	100.00 %
<a href="#">DA100.9030.800.00000</a>	SOCIAL SECURITY/MEDICARE	77,500.00	77,500.00	5,990.02	60,917.34	16,582.66	21.40 %
<a href="#">DA100.9040.800.00000</a>	WORKERS COMPENSATION	29,238.00	29,238.00	0.00	29,237.23	0.77	0.00 %

Budget Report-JM

For Fiscal: 2024 Period Ending: 09/30/2024

		Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
<a href="#">DA100.9050.800.00000</a>	UNEMPLOYMENT INSURANCE	2,000.00	2,000.00	0.00	0.00	2,000.00	100.00 %
<a href="#">DA100.9055.800.00000</a>	DISABILITY INSURANCE	600.00	600.00	0.00	197.76	402.24	67.04 %
<a href="#">DA100.9060.810.00000</a>	MEDICAL INSURANCE	164,730.00	164,730.00	13,215.63	117,705.91	47,024.09	28.55 %
<a href="#">DA100.9060.811.00000</a>	DENTAL INSURANCE	14,750.00	14,750.00	1,130.01	10,891.39	3,858.61	26.16 %
<a href="#">DA100.9060.820.00000</a>	HOSPITAL/MEDICAL BUY-OUT	4,000.00	4,000.00	461.52	4,384.44	-384.44	-9.61 %
<a href="#">DA100.9060.830.00000</a>	HSA ACCOUNT	54,000.00	54,000.00	0.00	46,500.00	7,500.00	13.89 %
	<b>Expense Total:</b>	<b>4,756,125.00</b>	<b>5,560,492.00</b>	<b>675,929.21</b>	<b>3,445,143.91</b>	<b>2,115,348.09</b>	<b>38.04%</b>
	<b>Fund: DA100 - HIGHWAY Surplus (Deficit):</b>	<b>0.00</b>	<b>-104,367.00</b>	<b>-320,404.80</b>	<b>397,491.08</b>	<b>501,858.08</b>	<b>480.86%</b>
<b>Fund: DA230 - HWY EQUIPMENT RESERVE</b>							
<b>Revenue</b>							
<a href="#">DA230.2401.00000</a>	INTEREST & EARNING.EQUIPMENT ...	0.00	0.00	1,417.54	13,178.84	13,178.84	0.00 %
	<b>Revenue Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>1,417.54</b>	<b>13,178.84</b>	<b>13,178.84</b>	<b>0.00%</b>
	<b>Fund: DA230 - HWY EQUIPMENT RESERVE Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>1,417.54</b>	<b>13,178.84</b>	<b>13,178.84</b>	<b>0.00%</b>
<b>Fund: DA232 - HWY IMPROVEMENT RESERVE</b>							
<b>Revenue</b>							
<a href="#">DA232.2401.00000</a>	INTEREST & EARNING.HWY IMPRO...	0.00	0.00	1,516.15	14,095.54	14,095.54	0.00 %
	<b>Revenue Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>1,516.15</b>	<b>14,095.54</b>	<b>14,095.54</b>	<b>0.00%</b>
	<b>Fund: DA232 - HWY IMPROVEMENT RESERVE Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>1,516.15</b>	<b>14,095.54</b>	<b>14,095.54</b>	<b>0.00%</b>
<b>Fund: DA235 - SNOW/ICE REMOVAL RD REPAIR RESERVE</b>							
<b>Revenue</b>							
<a href="#">DA235.2401.00000</a>	INTEREST & EARNING.SNOW&ICE R...	0.00	0.00	933.54	8,679.10	8,679.10	0.00 %
	<b>Revenue Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>933.54</b>	<b>8,679.10</b>	<b>8,679.10</b>	<b>0.00%</b>
	<b>Fund: DA235 - SNOW/ICE REMOVAL RD REPAIR RESERVE Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>933.54</b>	<b>8,679.10</b>	<b>8,679.10</b>	<b>0.00%</b>
<b>Fund: HH100 - CAPITAL PROJECTS</b>							
<b>Revenue</b>							
<a href="#">HH100.2401.00018</a>	INTEREST & EARNINGS.SUCKERBR...	0.00	0.00	137.17	832.01	832.01	0.00 %
<a href="#">HH100.2401.00031</a>	INTEREST & EARNINGS.HISTORICAL ...	0.00	0.00	0.00	0.60	0.60	0.00 %
<a href="#">HH100.2401.00033</a>	INTEREST & EARNINGS.ARP FUNDS	0.00	0.00	9,175.75	21,749.22	21,749.22	0.00 %
<a href="#">HH100.2401.00034</a>	INTEREST & EARNINGS.GATEWAY S...	0.00	0.00	18.82	114.16	114.16	0.00 %
<a href="#">HH100.2401.00035</a>	INTEREST & EARNINGS.UPTOWN IN...	0.00	0.00	0.00	189.83	189.83	0.00 %
<a href="#">HH100.2401.00037</a>	INTEREST & EARNINGS.FIRE STATIO...	0.00	0.00	73.38	270.19	270.19	0.00 %
<a href="#">HH100.2401.00038</a>	INTEREST & EARNINGS.COMPLETE ...	0.00	0.00	114.54	894.99	894.99	0.00 %
<a href="#">HH100.2401.00039</a>	INTEREST & EARNINGS.HWY ROAD...	0.00	0.00	5.56	131.10	131.10	0.00 %
<a href="#">HH100.2401.00042</a>	INTEREST & EARNINGS.TH RENO	0.00	0.00	345.79	1,405.17	1,405.17	0.00 %
<a href="#">HH100.2401.00043</a>	INTEREST & EARNINGS.NORTH RD ...	0.00	0.00	113.98	826.74	826.74	0.00 %
<a href="#">HH100.5031.00031</a>	INTERFUND TRANSFER.HISTORICAL ...	0.00	0.00	0.00	-620.34	-620.34	0.00 %
<a href="#">HH100.5031.00032</a>	INTERFUND TRANSFER.LGMRIF	0.00	0.00	0.00	-294.76	-294.76	0.00 %
<a href="#">HH100.5031.00035</a>	INTERFUND TRANSFER.UPTOWN IN...	0.00	0.00	0.00	-100,384.59	-100,384.59	0.00 %
<a href="#">HH100.5031.00037</a>	INTERFUND TRANSFER.FIRE STATIO...	0.00	0.00	0.00	100,000.00	100,000.00	0.00 %
<a href="#">HH100.5031.00040</a>	INTERFUND TRANSFER.CR 4 SEWER	0.00	0.00	0.00	7,361.22	7,361.22	0.00 %
<a href="#">HH100.5031.00042</a>	INTERFUND TRANSFER.TH RENO	0.00	0.00	0.00	550,000.00	550,000.00	0.00 %
<a href="#">HH100.5031.00044</a>	INTERFUND TRANSFER.SENECA POI...	0.00	0.00	0.00	600,000.00	600,000.00	0.00 %
	<b>Revenue Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>9,984.99</b>	<b>1,182,475.54</b>	<b>1,182,475.54</b>	<b>0.00%</b>
<b>Expense</b>							
<a href="#">HH100.1440.200.00037</a>	ENGINEERING.CAP.FIRE STATION 2 ...	0.00	0.00	0.00	7,500.00	-7,500.00	0.00 %
<a href="#">HH100.1440.200.00038</a>	ENGINEERING.CAPITAL.COMPLETE ...	0.00	0.00	8,590.02	51,540.00	-51,540.00	0.00 %
<a href="#">HH100.1440.200.00039</a>	ENGINEERING.CAPITAL.HWY ROA...	0.00	0.00	0.00	4,980.00	-4,980.00	0.00 %
<a href="#">HH100.1440.200.00041</a>	ENGINEERING.CAPITAL.JULY 2023 F...	0.00	0.00	3,370.00	17,607.53	-17,607.53	0.00 %
<a href="#">HH100.1440.200.00042</a>	ENGINEERING.CAPITAL.TH RENO	0.00	0.00	18,682.06	25,820.02	-25,820.02	0.00 %
<a href="#">HH100.1440.200.00043</a>	ENGINEERING.CAPITAL.NORTH RD ...	0.00	0.00	14,076.02	59,696.00	-59,696.00	0.00 %
<a href="#">HH100.1440.202.00036</a>	ENGINEERING.OUTHUSE WEST.P...	0.00	0.00	900.00	1,837.50	-1,837.50	0.00 %
<a href="#">HH100.1440.205.00033</a>	ENGINEERING.CAPITAL.ARP.ONAN...	0.00	0.00	9,919.80	46,464.20	-46,464.20	0.00 %
<a href="#">HH100.1440.210.00033</a>	ENGINEERING.CAPITAL.ARP.SENECA...	0.00	0.00	0.00	44,469.47	-44,469.47	0.00 %
<a href="#">HH100.1620.200.00042</a>	BUILDINGS.CAPITAL EQUIP & OUTL...	0.00	300,000.00	0.00	0.00	300,000.00	100.00 %
<a href="#">HH100.5110.200.00038</a>	HIGHWAY.CAPITAL.COMPLETE STR...	0.00	0.00	0.00	36,000.00	-36,000.00	0.00 %



Budget Report-JM

For Fiscal: 2024 Period Ending: 09/30/2024

		Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
<a href="#">HH100.7110.200.00041</a>	PARKS.EQUIP & CAP OUTLAY.JULY ...	0.00	0.00	0.00	1,164.96	-1,164.96	0.00 %
<a href="#">HH100.7110.202.00036</a>	PARK CAPITAL.OUTHUSE WEST.P...	0.00	0.00	1,809.16	101,687.76	-101,687.76	0.00 %
	<b>Expense Total:</b>	<b>0.00</b>	<b>300,000.00</b>	<b>57,347.06</b>	<b>398,767.44</b>	<b>-98,767.44</b>	<b>-32.92%</b>
	<b>Fund: HH100 - CAPITAL PROJECTS Surplus (Deficit):</b>	<b>0.00</b>	<b>-300,000.00</b>	<b>-47,362.07</b>	<b>783,708.10</b>	<b>1,083,708.10</b>	<b>361.24%</b>
<b>Fund: SD600 - RT 332 DRAINAGE DISTRICT</b>							
<b>Revenue</b>							
<a href="#">SD600.1030.00000</a>	SPECIAL ASSESSMENT.RT 332 DRAI...	9,912.00	9,912.00	0.00	9,912.00	0.00	0.00 %
<a href="#">SD600.2401.00000</a>	INTEREST & EARNINGS.RT 332 DRA...	200.00	200.00	77.10	467.67	267.67	233.84 %
<a href="#">SD600.9000.00000</a>	APPROPRIATED FUND BALANCE FOR...	4,900.00	4,900.00	0.00	0.00	-4,900.00	100.00 %
	<b>Revenue Total:</b>	<b>15,012.00</b>	<b>15,012.00</b>	<b>77.10</b>	<b>10,379.67</b>	<b>-4,632.33</b>	<b>30.86%</b>
<b>Expense</b>							
<a href="#">SD600.8520.400.00000</a>	MAINTENANCE..RT 332 DRAINAGE ...	15,012.00	15,012.00	0.00	0.00	15,012.00	100.00 %
	<b>Expense Total:</b>	<b>15,012.00</b>	<b>15,012.00</b>	<b>0.00</b>	<b>0.00</b>	<b>15,012.00</b>	<b>100.00%</b>
	<b>Fund: SD600 - RT 332 DRAINAGE DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>77.10</b>	<b>10,379.67</b>	<b>10,379.67</b>	<b>0.00%</b>
<b>Fund: SD605 - LAKEWOOD MEADOWS DRAINAGE DISTRICT</b>							
<b>Revenue</b>							
<a href="#">SD605.1030.00000</a>	SPECIAL ASSESSMENT.LAKEWOOD ...	1,932.00	1,932.00	0.00	1,932.00	0.00	0.00 %
<a href="#">SD605.2401.00000</a>	INTEREST & EARNINGS.LAKEWOOD...	70.00	70.00	15.81	95.90	25.90	137.00 %
	<b>Revenue Total:</b>	<b>2,002.00</b>	<b>2,002.00</b>	<b>15.81</b>	<b>2,027.90</b>	<b>25.90</b>	<b>1.29%</b>
<b>Expense</b>							
<a href="#">SD605.8520.400.00000</a>	MAINTENANCE..LAKEWOOD MEAD...	2,002.00	2,002.00	0.00	0.00	2,002.00	100.00 %
	<b>Expense Total:</b>	<b>2,002.00</b>	<b>2,002.00</b>	<b>0.00</b>	<b>0.00</b>	<b>2,002.00</b>	<b>100.00%</b>
	<b>Fund: SD605 - LAKEWOOD MEADOWS DRAINAGE DISTRICT Surplus ..</b>	<b>0.00</b>	<b>0.00</b>	<b>15.81</b>	<b>2,027.90</b>	<b>2,027.90</b>	<b>0.00%</b>
<b>Fund: SD610 - ASHTON DRAINAGE DISTRICT</b>							
<b>Revenue</b>							
<a href="#">SD610.2401.00000</a>	INTEREST & EARNINGS.ASHTON DR...	45.00	45.00	9.12	55.34	10.34	122.98 %
	<b>Revenue Total:</b>	<b>45.00</b>	<b>45.00</b>	<b>9.12</b>	<b>55.34</b>	<b>10.34</b>	<b>22.98%</b>
<b>Expense</b>							
<a href="#">SD610.8520.400.00000</a>	MAINTENANCE..ASHTON DRAINAGE..	45.00	45.00	0.00	0.00	45.00	100.00 %
	<b>Expense Total:</b>	<b>45.00</b>	<b>45.00</b>	<b>0.00</b>	<b>0.00</b>	<b>45.00</b>	<b>100.00%</b>
	<b>Fund: SD610 - ASHTON DRAINAGE DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>9.12</b>	<b>55.34</b>	<b>55.34</b>	<b>0.00%</b>
<b>Fund: SD615 - FOX RIDGE DRAINAGE DISTRICT</b>							
<b>Revenue</b>							
<a href="#">SD615.1030.00000</a>	SPECIAL ASSESSMENT.FOX RIDGE D...	10,472.00	10,472.00	0.00	10,472.00	0.00	0.00 %
<a href="#">SD615.2401.00000</a>	INTEREST & EARNINGS.FOX RIDGE ...	120.00	120.00	27.96	169.58	49.58	141.32 %
<a href="#">SD615.9000.00000</a>	APPROPRIATED FUND BALANCE FOR...	21,528.00	21,528.00	0.00	0.00	-21,528.00	100.00 %
	<b>Revenue Total:</b>	<b>32,120.00</b>	<b>32,120.00</b>	<b>27.96</b>	<b>10,641.58</b>	<b>-21,478.42</b>	<b>66.87%</b>
<b>Expense</b>							
<a href="#">SD615.8520.400.00000</a>	MAINTENANCE..FOX RIDGE DRAIN...	32,120.00	32,120.00	0.00	0.00	32,120.00	100.00 %
	<b>Expense Total:</b>	<b>32,120.00</b>	<b>32,120.00</b>	<b>0.00</b>	<b>0.00</b>	<b>32,120.00</b>	<b>100.00%</b>
	<b>Fund: SD615 - FOX RIDGE DRAINAGE DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>27.96</b>	<b>10,641.58</b>	<b>10,641.58</b>	<b>0.00%</b>
<b>Fund: SD620 - LANDINGS DRAINAGE DISTRICT</b>							
<b>Revenue</b>							
<a href="#">SD620.2401.00000</a>	INTEREST & EARNINGS.LANDINGS ...	20.00	20.00	4.78	28.98	8.98	144.90 %
	<b>Revenue Total:</b>	<b>20.00</b>	<b>20.00</b>	<b>4.78</b>	<b>28.98</b>	<b>8.98</b>	<b>44.90%</b>
<b>Expense</b>							
<a href="#">SD620.8520.400.00000</a>	MAINTENANCE..LANDINGS DRAINA...	20.00	20.00	0.00	0.00	20.00	100.00 %
	<b>Expense Total:</b>	<b>20.00</b>	<b>20.00</b>	<b>0.00</b>	<b>0.00</b>	<b>20.00</b>	<b>100.00%</b>
	<b>Fund: SD620 - LANDINGS DRAINAGE DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>4.78</b>	<b>28.98</b>	<b>28.98</b>	<b>0.00%</b>

Budget Report-JM

For Fiscal: 2024 Period Ending: 09/30/2024

		Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
<b>Fund: SD625 - OLD BROOKSIDE DRAINAGE DISTRICT</b>							
<b>Revenue</b>							
<a href="#">SD625.2401.00000</a>	INTEREST & EARNINGS.OLD BROOKS...	60.00	60.00	8.59	52.08	-7.92	13.20 %
	<b>Revenue Total:</b>	<b>60.00</b>	<b>60.00</b>	<b>8.59</b>	<b>52.08</b>	<b>-7.92</b>	<b>13.20%</b>
<b>Expense</b>							
<a href="#">SD625.8520.400.00000</a>	MAINTENANCE..OLD BROOKSIDE D...	60.00	60.00	0.00	0.00	60.00	100.00 %
	<b>Expense Total:</b>	<b>60.00</b>	<b>60.00</b>	<b>0.00</b>	<b>0.00</b>	<b>60.00</b>	<b>100.00%</b>
	<b>Fund: SD625 - OLD BROOKSIDE DRAINAGE DISTRICT Surplus (Deficit)..</b>	<b>0.00</b>	<b>0.00</b>	<b>8.59</b>	<b>52.08</b>	<b>52.08</b>	<b>0.00%</b>
<b>Fund: SD630 - LAKESIDE ESTATES DRAINAGE DISTRICT</b>							
<b>Revenue</b>							
<a href="#">SD630.2401.00000</a>	INTEREST & EARNINGS.LAKESIDE ES...	45.00	45.00	5.93	35.99	-9.01	20.02 %
	<b>Revenue Total:</b>	<b>45.00</b>	<b>45.00</b>	<b>5.93</b>	<b>35.99</b>	<b>-9.01</b>	<b>20.02%</b>
<b>Expense</b>							
<a href="#">SD630.8520.400.00000</a>	MAINTENANCE..LAKESIDE ESTATES ...	45.00	45.00	0.00	0.00	45.00	100.00 %
	<b>Expense Total:</b>	<b>45.00</b>	<b>45.00</b>	<b>0.00</b>	<b>0.00</b>	<b>45.00</b>	<b>100.00%</b>
	<b>Fund: SD630 - LAKESIDE ESTATES DRAINAGE DISTRICT Surplus (Deficit)..</b>	<b>0.00</b>	<b>0.00</b>	<b>5.93</b>	<b>35.99</b>	<b>35.99</b>	<b>0.00%</b>
<b>Fund: SD635 - WATERFORD POINT DRAINAGE DISTRICT</b>							
<b>Revenue</b>							
<a href="#">SD635.1030.00000</a>	SPECIAL ASSESSMENT.WATERFORD...	805.00	805.00	0.00	805.00	0.00	0.00 %
<a href="#">SD635.2401.00000</a>	INTEREST & EARNINGS.WATERFORD..	70.00	70.00	9.86	59.81	-10.19	14.56 %
	<b>Revenue Total:</b>	<b>875.00</b>	<b>875.00</b>	<b>9.86</b>	<b>864.81</b>	<b>-10.19</b>	<b>1.16%</b>
<b>Expense</b>							
<a href="#">SD635.8520.400.00000</a>	MAINTENANCE..WATERFORD POINT..	875.00	875.00	0.00	0.00	875.00	100.00 %
	<b>Expense Total:</b>	<b>875.00</b>	<b>875.00</b>	<b>0.00</b>	<b>0.00</b>	<b>875.00</b>	<b>100.00%</b>
	<b>Fund: SD635 - WATERFORD POINT DRAINAGE DISTRICT Surplus (Deficit)..</b>	<b>0.00</b>	<b>0.00</b>	<b>9.86</b>	<b>864.81</b>	<b>864.81</b>	<b>0.00%</b>
<b>Fund: SD640 - STABLEGATE DRAINAGE DISTRICT</b>							
<b>Revenue</b>							
<a href="#">SD640.1030.00000</a>	SPECIAL ASSESSMENT.STABLEGATE...	6,213.00	6,213.00	0.00	6,213.00	0.00	0.00 %
<a href="#">SD640.2401.00000</a>	INTEREST & EARNINGS.STABLEGATE...	90.00	90.00	15.15	91.89	1.89	102.10 %
<a href="#">SD640.9000.00000</a>	APPROPRIATED FUND BALANCE	9,000.00	9,000.00	0.00	0.00	-9,000.00	100.00 %
	<b>Revenue Total:</b>	<b>15,303.00</b>	<b>15,303.00</b>	<b>15.15</b>	<b>6,304.89</b>	<b>-8,998.11</b>	<b>58.80%</b>
<b>Expense</b>							
<a href="#">SD640.8520.400.00000</a>	MAINTENANCE..STABLEGATE DRAI...	15,303.00	15,303.00	0.00	0.00	15,303.00	100.00 %
	<b>Expense Total:</b>	<b>15,303.00</b>	<b>15,303.00</b>	<b>0.00</b>	<b>0.00</b>	<b>15,303.00</b>	<b>100.00%</b>
	<b>Fund: SD640 - STABLEGATE DRAINAGE DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>15.15</b>	<b>6,304.89</b>	<b>6,304.89</b>	<b>0.00%</b>
<b>Fund: SF450 - FIRE PROTECTION</b>							
<b>Revenue</b>							
<a href="#">SF450.1001.00000</a>	REAL PROPERTY TAXES.FIRE PROTE...	1,750,000.00	1,750,000.00	0.00	1,750,000.00	0.00	0.00 %
<a href="#">SF450.2401.00000</a>	INTEREST & EARNINGS.FIRE PROTE...	2,500.00	2,500.00	29.56	1,875.92	-624.08	24.96 %
<a href="#">SF450.9000.00000</a>	APPROPRIATED FUND BALANCE FOR..	2,500.00	2,500.00	0.00	0.00	-2,500.00	100.00 %
	<b>Revenue Total:</b>	<b>1,755,000.00</b>	<b>1,755,000.00</b>	<b>29.56</b>	<b>1,751,875.92</b>	<b>-3,124.08</b>	<b>0.18%</b>
<b>Expense</b>							
<a href="#">SF450.3410.400.00000</a>	FIRE PROTECTION DISTRICT AGREE...	1,755,000.00	1,755,000.00	0.00	1,755,000.00	0.00	0.00 %
	<b>Expense Total:</b>	<b>1,755,000.00</b>	<b>1,755,000.00</b>	<b>0.00</b>	<b>1,755,000.00</b>	<b>0.00</b>	<b>0.00%</b>
	<b>Fund: SF450 - FIRE PROTECTION Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>29.56</b>	<b>-3,124.08</b>	<b>-3,124.08</b>	<b>0.00%</b>
<b>Fund: SL700 - CENTERPOINT LIGHTING DISTRICT</b>							
<b>Revenue</b>							
<a href="#">SL700.1001.00000</a>	REAL PROPERTY TAXES.CENTERPOI...	1,910.00	1,910.00	0.00	1,910.00	0.00	0.00 %
<a href="#">SL700.2401.00000</a>	INTEREST & EARNINGS.CENTERPOI...	12.00	12.00	1.34	10.70	-1.30	10.83 %
	<b>Revenue Total:</b>	<b>1,922.00</b>	<b>1,922.00</b>	<b>1.34</b>	<b>1,920.70</b>	<b>-1.30</b>	<b>0.07%</b>

Budget Report-JM

For Fiscal: 2024 Period Ending: 09/30/2024

		Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
<b>Expense</b>							
<a href="#">SL700.5182.400.00000</a>	UTILITIES ELECTRIC..CENTERPOINT L...	1,922.00	1,922.00	204.65	1,518.02	403.98	21.02 %
	<b>Expense Total:</b>	<b>1,922.00</b>	<b>1,922.00</b>	<b>204.65</b>	<b>1,518.02</b>	<b>403.98</b>	<b>21.02%</b>
	<b>Fund: SL700 - CENTERPOINT LIGHTING DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>-203.31</b>	<b>402.68</b>	<b>402.68</b>	<b>0.00%</b>
<b>Fund: SL705 - FOX RIDGE LIGHTING DISTRICT</b>							
<b>Revenue</b>							
<a href="#">SL705.1001.00000</a>	REAL PROPERTY TAXES.FOX RIDGE L...	15,432.00	15,432.00	0.00	15,432.00	0.00	0.00 %
<a href="#">SL705.2401.00000</a>	INTEREST & EARNINGS.FOX RIDGE L...	40.00	40.00	6.13	49.83	9.83	124.58 %
	<b>Revenue Total:</b>	<b>15,472.00</b>	<b>15,472.00</b>	<b>6.13</b>	<b>15,481.83</b>	<b>9.83</b>	<b>0.06%</b>
<b>Expense</b>							
<a href="#">SL705.5182.400.00000</a>	UTILITIES ELECTRIC..FOX RIDGE LIG...	11,000.00	11,000.00	873.14	7,331.94	3,668.06	33.35 %
<a href="#">SL705.5182.401.00000</a>	STREET LIGHTING.MAINTENANCE.F...	4,472.00	4,472.00	0.00	0.00	4,472.00	100.00 %
	<b>Expense Total:</b>	<b>15,472.00</b>	<b>15,472.00</b>	<b>873.14</b>	<b>7,331.94</b>	<b>8,140.06</b>	<b>52.61%</b>
	<b>Fund: SL705 - FOX RIDGE LIGHTING DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>-867.01</b>	<b>8,149.89</b>	<b>8,149.89</b>	<b>0.00%</b>
<b>Fund: SL710 - LANDINGS LIGHTING DISTRICT</b>							
<b>Revenue</b>							
<a href="#">SL710.2401.00000</a>	INTEREST & EARNINGS.LANDINGS L...	5.00	5.00	0.78	4.76	-0.24	4.80 %
	<b>Revenue Total:</b>	<b>5.00</b>	<b>5.00</b>	<b>0.78</b>	<b>4.76</b>	<b>-0.24</b>	<b>4.80%</b>
<b>Expense</b>							
<a href="#">SL710.5182.400.00000</a>	UTILITIES ELECTRIC..LANDINGS LIG...	5.00	5.00	0.00	0.00	5.00	100.00 %
	<b>Expense Total:</b>	<b>5.00</b>	<b>5.00</b>	<b>0.00</b>	<b>0.00</b>	<b>5.00</b>	<b>100.00%</b>
	<b>Fund: SL710 - LANDINGS LIGHTING DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>0.78</b>	<b>4.76</b>	<b>4.76</b>	<b>0.00%</b>
<b>Fund: SL715 - LAKEWOOD MEADOWS LIGHTING DISTRICT</b>							
<b>Revenue</b>							
<a href="#">SL715.1001.00000</a>	REAL PROPERTY TAXES.LAKEWOOD...	1,475.00	1,475.00	0.00	1,475.00	0.00	0.00 %
<a href="#">SL715.2401.00000</a>	INTEREST & EARNINGS.LAKEWOOD...	15.00	15.00	2.75	17.08	2.08	113.87 %
	<b>Revenue Total:</b>	<b>1,490.00</b>	<b>1,490.00</b>	<b>2.75</b>	<b>1,492.08</b>	<b>2.08</b>	<b>0.14%</b>
<b>Expense</b>							
<a href="#">SL715.5182.240.00000</a>	UTILITIES-EQUIPMENT.LAKEWOOD...	1,095.00	1,095.00	0.00	0.00	1,095.00	100.00 %
<a href="#">SL715.5182.400.00000</a>	UTILITIES-ELECTRIC.LAKEWOOD ME...	395.00	395.00	34.01	241.12	153.88	38.96 %
	<b>Expense Total:</b>	<b>1,490.00</b>	<b>1,490.00</b>	<b>34.01</b>	<b>241.12</b>	<b>1,248.88</b>	<b>83.82%</b>
	<b>Fund: SL715 - LAKEWOOD MEADOWS LIGHTING DISTRICT Surplus (...)</b>	<b>0.00</b>	<b>0.00</b>	<b>-31.26</b>	<b>1,250.96</b>	<b>1,250.96</b>	<b>0.00%</b>
<b>Fund: SL720 - FALLBROOK PARK LIGHTING DISTRICT</b>							
<b>Revenue</b>							
<a href="#">SL720.1001.00000</a>	REAL PROPERTY TAXES.FALLBROOK...	2,118.00	2,118.00	0.00	2,118.00	0.00	0.00 %
<a href="#">SL720.2401.00000</a>	INTEREST & EARNINGS.FALLBROOK ...	10.00	10.00	1.68	12.25	2.25	122.50 %
	<b>Revenue Total:</b>	<b>2,128.00</b>	<b>2,128.00</b>	<b>1.68</b>	<b>2,130.25</b>	<b>2.25</b>	<b>0.11%</b>
<b>Expense</b>							
<a href="#">SL720.5182.400.00000</a>	UTILITIES ELECTRIC.FALLBROOK PA...	1,700.00	1,700.00	150.46	1,142.65	557.35	32.79 %
<a href="#">SL720.5182.401.00000</a>	STREET LIGHTING.MAINTENANCE.F...	428.00	428.00	0.00	0.00	428.00	100.00 %
	<b>Expense Total:</b>	<b>2,128.00</b>	<b>2,128.00</b>	<b>150.46</b>	<b>1,142.65</b>	<b>985.35</b>	<b>46.30%</b>
	<b>Fund: SL720 - FALLBROOK PARK LIGHTING DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>-148.78</b>	<b>987.60</b>	<b>987.60</b>	<b>0.00%</b>
<b>Fund: SM900 - UPTOWN BUSINESS IMPROVEMENT DISTRICT</b>							
<b>Revenue</b>							
<a href="#">SM900.1001.00000</a>	REAL PROPERTY TAXES.UPTOWN BID	105,000.00	105,000.00	0.00	105,000.00	0.00	0.00 %
<a href="#">SM900.2401.00000</a>	INTEREST & EARNINGS.UPTOWN BID	400.00	400.00	72.32	439.23	39.23	109.81 %
	<b>Revenue Total:</b>	<b>105,400.00</b>	<b>105,400.00</b>	<b>72.32</b>	<b>105,439.23</b>	<b>39.23</b>	<b>0.04%</b>
<b>Expense</b>							
<a href="#">SM900.5182.401.00000</a>	STREET LIGHTING-UTILITIES.UPTO...	15,400.00	15,400.00	5,244.83	5,244.83	10,155.17	65.94 %
<a href="#">SM900.8510.400.00000</a>	COMMUNITY BEAUTIF - CONT.UPT...	15,000.00	15,000.00	0.00	0.00	15,000.00	100.00 %
<a href="#">SM900.9730.700.00000</a>	BAN DEBT INTEREST	75,000.00	75,000.00	0.00	0.00	75,000.00	100.00 %
	<b>Expense Total:</b>	<b>105,400.00</b>	<b>105,400.00</b>	<b>5,244.83</b>	<b>5,244.83</b>	<b>100,155.17</b>	<b>95.02%</b>
	<b>Fund: SM900 - UPTOWN BUSINESS IMPROVEMENT DISTRICT Surplu...</b>	<b>0.00</b>	<b>0.00</b>	<b>-5,172.51</b>	<b>100,194.40</b>	<b>100,194.40</b>	<b>0.00%</b>

Budget Report-JM

For Fiscal: 2024 Period Ending: 09/30/2024

		Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
<b>Fund: SS800 - SANITARY SEWER</b>							
<b>Revenue</b>							
<a href="#">SS800.1030.00000</a>	SPECIAL ASSESSMENTS..PURDY/M...	18,210.00	18,210.00	0.00	18,210.00	0.00	0.00 %
<a href="#">SS800.2401.00000</a>	INTEREST & EARNINGS.SEWER	90.00	90.00	11.37	68.94	-21.06	23.40 %
	<b>Revenue Total:</b>	<b>18,300.00</b>	<b>18,300.00</b>	<b>11.37</b>	<b>18,278.94</b>	<b>-21.06</b>	<b>0.12%</b>
<b>Expense</b>							
<a href="#">SS800.9710.600.00000</a>	SERIAL BONDS.PRINCIPAL.PURDY/...	18,300.00	18,300.00	0.00	0.00	18,300.00	100.00 %
	<b>Expense Total:</b>	<b>18,300.00</b>	<b>18,300.00</b>	<b>0.00</b>	<b>0.00</b>	<b>18,300.00</b>	<b>100.00%</b>
	<b>Fund: SS800 - SANITARY SEWER Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>11.37</b>	<b>18,278.94</b>	<b>18,278.94</b>	<b>0.00%</b>
<b>Fund: SW500 - CANANDAIGUA CONSOLIDATED WATER DISTRICT</b>							
<b>Revenue</b>							
<a href="#">SW500.1001.00000</a>	REAL PROPERTY TAXES.CANDGA C...	791,001.00	791,001.00	0.00	791,001.00	0.00	0.00 %
<a href="#">SW500.2140.00000</a>	WATER QUARTERLY SALES.CANDGA...	725,000.00	725,000.00	13,195.55	452,735.11	-272,264.89	37.55 %
<a href="#">SW500.2142.00000</a>	WATER FILL STATION SALES.CANDG...	2,000.00	2,000.00	196.75	1,545.60	-454.40	22.72 %
<a href="#">SW500.2144.00000</a>	WATER NEW SERVICES.CANDGA C...	12,000.00	12,000.00	2,175.00	16,732.00	4,732.00	139.43 %
<a href="#">SW500.2148.00000</a>	PENALTY ON WATER.CANDGA CONS..	5,000.00	5,000.00	501.56	3,363.71	-1,636.29	32.73 %
<a href="#">SW500.2389.00000</a>	INTEREST OTHER GOVT	1,452.00	1,452.00	0.00	0.00	-1,452.00	100.00 %
<a href="#">SW500.2401.00000</a>	INTEREST & EARNINGS.CANANDAI...	55,000.00	55,000.00	11,139.61	54,202.58	-797.42	1.45 %
<a href="#">SW500.2655.00000</a>	SALES - OTHER-REPAIRS/REPLACEM...	500.00	500.00	466.40	1,134.02	634.02	226.80 %
<a href="#">SW500.5031.00000</a>	INTERFUND TRANSFERS.CANDGA C...	19,093.00	19,093.00	0.00	19,093.00	0.00	0.00 %
<a href="#">SW500.9000.00000</a>	APPROPRIATED FUND BALANCE FOR..	361,714.00	361,714.00	0.00	0.00	-361,714.00	100.00 %
	<b>Revenue Total:</b>	<b>1,972,760.00</b>	<b>1,972,760.00</b>	<b>27,674.87</b>	<b>1,339,807.02</b>	<b>-632,952.98</b>	<b>32.08%</b>
<b>Expense</b>							
<a href="#">SW500.1910.400.00000</a>	UNALLOCATED INS.CONTRACTUAL....	16,500.00	17,531.64	0.00	17,531.64	0.00	0.00 %
<a href="#">SW500.1990.400.00000</a>	CONTINGENCY.CONTRACTUAL.CAN...	25,000.00	19,768.36	0.00	0.00	19,768.36	100.00 %
<a href="#">SW500.8310.120.00000</a>	WATER ADMIN.SUPER.SALARY.CAN...	75,000.00	75,000.00	5,769.24	54,807.78	20,192.22	26.92 %
<a href="#">SW500.8310.121.00000</a>	WATER ADMIN.CLERK.CDGA CONS...	20,353.00	18,273.00	340.00	7,615.31	10,657.69	58.32 %
<a href="#">SW500.8310.122.00000</a>	WATER ADMIN.SENIOR CLERK.CDGA..	23,567.00	25,647.00	2,119.47	17,663.88	7,983.12	31.13 %
<a href="#">SW500.8310.131.00000</a>	WATER ADMIN.MAINASST.CANDGA...	195,000.00	195,000.00	15,264.95	154,509.61	40,490.39	20.76 %
<a href="#">SW500.8310.200.00000</a>	WATER ADMIN.CAP EQUIP.CANDGA...	35,000.00	35,000.00	0.00	0.00	35,000.00	100.00 %
<a href="#">SW500.8310.400.00000</a>	WATER ADMIN.CONTRACTUAL.CA...	5,760.00	5,760.00	248.86	2,350.84	3,409.16	59.19 %
<a href="#">SW500.8310.410.00000</a>	WATER ADMIN.LEGAL SERVICES.CA...	5,000.00	5,000.00	0.00	0.00	5,000.00	100.00 %
<a href="#">SW500.8310.420.00000</a>	WATER ADMIN.METER READING.C...	39,000.00	39,000.00	4,616.08	30,686.23	8,313.77	21.32 %
<a href="#">SW500.8310.423.00000</a>	WATER ADMIN.VEHICLE GPS.CAND...	1,000.00	1,000.00	113.70	447.50	552.50	55.25 %
<a href="#">SW500.8310.424.00000</a>	WATER ADMIN.TRAINING & DUES....	9,179.00	9,179.00	914.00	3,120.00	6,059.00	66.01 %
<a href="#">SW500.8310.450.00000</a>	WATER ADMIN.ENGINEERING.CAN...	30,000.00	42,843.00	0.00	15,854.95	26,988.05	62.99 %
<a href="#">SW500.8320.400.00000</a>	WATER PURCHASES.CONT.CANDGA...	525,000.00	525,000.00	0.00	243,198.56	281,801.44	53.68 %
<a href="#">SW500.8320.420.00000</a>	WATER PURCHASES.UTILITIES.CAN...	58,000.00	58,000.00	1,104.34	29,114.90	28,885.10	49.80 %
<a href="#">SW500.8340.440.00000</a>	SERVICES & MAINT.SERVICES & MA...	163,000.00	163,000.00	14,890.41	119,436.54	43,563.46	26.73 %
<a href="#">SW500.8397.200.00000</a>	WATER CAP PROJECTS.CAP EQUIP....	250,000.00	250,000.00	0.00	128,474.15	121,525.85	48.61 %
<a href="#">SW500.8397.400.00000</a>	WATER CAPITAL PROJECTS.CONT.C...	100,000.00	100,000.00	22,820.70	43,497.91	56,502.09	56.50 %
<a href="#">SW500.9010.800.00000</a>	NYS RETIREMENT..CANDGA CONS ...	24,000.00	24,000.00	0.00	0.00	24,000.00	100.00 %
<a href="#">SW500.9030.800.00000</a>	SOCIAL SECURITY...CANDGA CONS ...	16,500.00	19,500.00	1,550.19	16,620.22	2,879.78	14.77 %
<a href="#">SW500.9040.800.00000</a>	WORKERS COMPENSATION...CAND...	5,200.00	5,200.00	0.00	5,159.51	40.49	0.78 %
<a href="#">SW500.9050.800.00000</a>	UNEMPLOYMENT INSURANCE.CAN...	1,000.00	1,000.00	0.00	0.00	1,000.00	100.00 %
<a href="#">SW500.9055.800.00000</a>	DISABILITY INSURANCE...CANDGA ...	100.00	100.00	0.00	34.56	65.44	65.44 %
<a href="#">SW500.9060.810.00000</a>	HOSPITAL/MEDICAL INSURANCE.C...	32,300.00	32,300.00	3,654.42	29,951.29	2,348.71	7.27 %
<a href="#">SW500.9060.811.00000</a>	DENTAL INSURANCE.CANDGA CONS...	2,500.00	3,700.00	421.37	3,083.06	616.94	16.67 %
<a href="#">SW500.9060.820.00000</a>	HOSPITAL/MEDICAL INSURANCE.B...	4,000.00	4,000.00	153.84	1,999.92	2,000.08	50.00 %
<a href="#">SW500.9060.830.00000</a>	HOSPITAL/MEDICAL INS.HSA ACCO...	11,500.00	11,500.00	0.00	10,000.00	1,500.00	13.04 %
<a href="#">SW500.9090.876.00000</a>	EMP BENEFIT VAC BUYBACK	2,000.00	2,000.00	0.00	0.00	2,000.00	100.00 %
<a href="#">SW500.9710.600.00000</a>	SERIAL BONDS PRINCIPAL	240,000.00	240,000.00	0.00	0.00	240,000.00	100.00 %
<a href="#">SW500.9710.700.00000</a>	SERIAL BONDS INTEREST	57,300.00	57,300.00	0.00	28,650.00	28,650.00	50.00 %
<a href="#">SW500.9950.900.00000</a>	TRNSF.CITY.WATERPLANTRESERVE	1.00	1.00	0.00	0.00	1.00	100.00 %
	<b>Expense Total:</b>	<b>1,972,760.00</b>	<b>1,985,603.00</b>	<b>73,981.57</b>	<b>963,808.36</b>	<b>1,021,794.64</b>	<b>51.46%</b>
	<b>Fund: SW500 - CANANDAIGUA CONSOLIDATED WATER DISTRICT Su..</b>	<b>0.00</b>	<b>-12,843.00</b>	<b>-46,306.70</b>	<b>375,998.66</b>	<b>388,841.66</b>	<b>3,027.65%</b>

		Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
<b>Fund: SW505 - CANANDAIGUA BRISTOL JOINT WATER DISTRICT</b>							
<b>Revenue</b>							
<a href="#">SW505.1001.00000</a>	REAL PROPERTY TAXES.CANDGA BR...	16,962.00	16,962.00	0.00	16,962.00	0.00	0.00 %
<a href="#">SW505.1030.00000</a>	SPECIAL ASSESSMENT.CANDGA BRI...	61,336.00	61,336.00	0.00	61,336.00	0.00	0.00 %
<a href="#">SW505.2401.00000</a>	INTEREST & EARNINGS.CANANDAI...	325.00	325.00	50.35	301.06	-23.94	7.37 %
<a href="#">SW505.9000.00000</a>	APPROPRIATED FUND BALANCE FOR...	826.00	826.00	0.00	0.00	-826.00	100.00 %
	<b>Revenue Total:</b>	<b>79,449.00</b>	<b>79,449.00</b>	<b>50.35</b>	<b>78,599.06</b>	<b>-849.94</b>	<b>1.07%</b>
<b>Expense</b>							
<a href="#">SW505.8340.400.00000</a>	SERVICES & MAINTENANCE.CONT....	10,325.00	10,325.00	0.00	0.00	10,325.00	100.00 %
<a href="#">SW505.9710.600.00000</a>	SERIAL BONDS BRISTOL.PRINCIPAL....	25,000.00	25,000.00	0.00	0.00	25,000.00	100.00 %
<a href="#">SW505.9710.700.00000</a>	SERIAL BONDS BRISTOL.INTEREST.C...	36,750.00	36,750.00	0.00	18,375.00	18,375.00	50.00 %
<a href="#">SW505.9903.900.00000</a>	TRANSFER/WATER-MAINT.CANDGA...	2,545.00	2,545.00	0.00	2,545.00	0.00	0.00 %
<a href="#">SW505.9903.901.00000</a>	TRANSFER/WATER-MAINT...CANDG...	4,829.00	4,829.00	0.00	4,829.00	0.00	0.00 %
	<b>Expense Total:</b>	<b>79,449.00</b>	<b>79,449.00</b>	<b>0.00</b>	<b>25,749.00</b>	<b>53,700.00</b>	<b>67.59%</b>
<b>Fund: SW505 - CANANDAIGUA BRISTOL JOINT WATER DISTRICT Surp...</b>		<b>0.00</b>	<b>0.00</b>	<b>50.35</b>	<b>52,850.06</b>	<b>52,850.06</b>	<b>0.00%</b>
<b>Fund: SW515 - CANANDAIGUA-FARMINGTON WATER DISTRICT</b>							
<b>Revenue</b>							
<a href="#">SW515.1001.00000</a>	REAL PROPERTY TAXES.CANDGA-FA...	286,919.00	286,919.00	0.00	286,919.00	0.00	0.00 %
<a href="#">SW515.2401.00000</a>	INTEREST & EARNINGS.CANANDAI...	350.00	350.00	64.75	525.33	175.33	150.09 %
	<b>Revenue Total:</b>	<b>287,269.00</b>	<b>287,269.00</b>	<b>64.75</b>	<b>287,444.33</b>	<b>175.33</b>	<b>0.06%</b>
<b>Expense</b>							
<a href="#">SW515.8350.400.00000</a>	FARM.COMMON WATER.CONTRAC...	285,288.00	285,288.00	0.00	285,288.00	0.00	0.00 %
<a href="#">SW515.8389.400.00000</a>	CDGA.COMMON WATER.CONTRAC...	1,981.00	1,981.00	0.00	0.00	1,981.00	100.00 %
	<b>Expense Total:</b>	<b>287,269.00</b>	<b>287,269.00</b>	<b>0.00</b>	<b>285,288.00</b>	<b>1,981.00</b>	<b>0.69%</b>
<b>Fund: SW515 - CANANDAIGUA-FARMINGTON WATER DISTRICT Surp...</b>		<b>0.00</b>	<b>0.00</b>	<b>64.75</b>	<b>2,156.33</b>	<b>2,156.33</b>	<b>0.00%</b>
<b>Fund: SW525 - MCINTYRE ROAD WATER DISTRICT</b>							
<b>Revenue</b>							
<a href="#">SW525.1001.00000</a>	REAL PROPERTY TAXES.MCINTYRE ...	8,451.00	8,451.00	0.00	8,451.00	0.00	0.00 %
<a href="#">SW525.2401.00000</a>	INTEREST & EARNINGS.MCINTYRE ...	45.00	45.00	4.94	39.04	-5.96	13.24 %
<a href="#">SW525.9000.00000</a>	APPROPRIATED FUND BALANCE FOR...	3,200.00	3,200.00	0.00	0.00	-3,200.00	100.00 %
	<b>Revenue Total:</b>	<b>11,696.00</b>	<b>11,696.00</b>	<b>4.94</b>	<b>8,490.04</b>	<b>-3,205.96</b>	<b>27.41%</b>
<b>Expense</b>							
<a href="#">SW525.8340.400.00000</a>	SERVICES & MAINTENANCE.CONT....	3,988.00	3,988.00	0.00	1,200.00	2,788.00	69.91 %
<a href="#">SW525.9710.600.00000</a>	SERIAL BONDS.PRINCIPAL.MCINTYR...	3,000.00	3,000.00	0.00	0.00	3,000.00	100.00 %
<a href="#">SW525.9710.700.00000</a>	SERIAL BONDS.INTEREST.MCINTYRE...	3,225.00	3,225.00	0.00	1,612.50	1,612.50	50.00 %
<a href="#">SW525.9903.900.00000</a>	TRANSFER/WATER-MAINTENANCE...	1,483.00	1,483.00	0.00	1,483.00	0.00	0.00 %
	<b>Expense Total:</b>	<b>11,696.00</b>	<b>11,696.00</b>	<b>0.00</b>	<b>4,295.50</b>	<b>7,400.50</b>	<b>63.27%</b>
<b>Fund: SW525 - MCINTYRE ROAD WATER DISTRICT Surplus (Deficit):</b>		<b>0.00</b>	<b>0.00</b>	<b>4.94</b>	<b>4,194.54</b>	<b>4,194.54</b>	<b>0.00%</b>
<b>Fund: SW530 - EMERSON ALLEN TOWNLINE RD WATER DISTRICT</b>							
<b>Revenue</b>							
<a href="#">SW530.1001.00000</a>	REAL PROPERTY TAXES.EMERSON A...	19,567.00	19,567.00	0.00	19,567.00	0.00	0.00 %
<a href="#">SW530.2401.00000</a>	INTEREST & EARNINGS.EMERSON A...	25.00	25.00	2.29	25.05	0.05	100.20 %
	<b>Revenue Total:</b>	<b>19,592.00</b>	<b>19,592.00</b>	<b>2.29</b>	<b>19,592.05</b>	<b>0.05</b>	<b>0.00%</b>
<b>Expense</b>							
<a href="#">SW530.8389.400.00000</a>	COMMON WATER.CONTRACTUAL....	6,260.00	6,260.00	0.00	6,282.00	-22.00	-0.35 %
<a href="#">SW530.9710.600.00000</a>	SERIAL BONDS.PRINCIPAL.EMERSON..	8,000.00	8,000.00	0.00	8,000.00	0.00	0.00 %
<a href="#">SW530.9710.700.00000</a>	SERIAL BONDS.INTEREST.EMERSON...	5,332.00	5,332.00	0.00	5,332.00	0.00	0.00 %
	<b>Expense Total:</b>	<b>19,592.00</b>	<b>19,592.00</b>	<b>0.00</b>	<b>19,614.00</b>	<b>-22.00</b>	<b>-0.11%</b>
<b>Fund: SW530 - EMERSON ALLEN TOWNLINE RD WATER DISTRICT Su...</b>		<b>0.00</b>	<b>0.00</b>	<b>2.29</b>	<b>-21.95</b>	<b>-21.95</b>	<b>0.00%</b>
<b>Fund: SW535 - EX 36 - COUNTY ROAD #30 WATER DISTRICT</b>							
<b>Revenue</b>							
<a href="#">SW535.1001.00000</a>	REAL PROPERTY TAXES.COUNTY RO...	19,944.00	19,944.00	0.00	19,944.00	0.00	0.00 %
<a href="#">SW535.2401.00000</a>	INTEREST & EARNINGS.EX 36 - COU...	75.00	75.00	12.06	84.10	9.10	112.13 %
	<b>Revenue Total:</b>	<b>20,019.00</b>	<b>20,019.00</b>	<b>12.06</b>	<b>20,028.10</b>	<b>9.10</b>	<b>0.05%</b>

Budget Report-JM

For Fiscal: 2024 Period Ending: 09/30/2024

		Original	Current	Period	Fiscal	Variance	Percent
		Total Budget	Total Budget	Activity	Activity	Favorable (Unfavorable)	Remaining
<b>Expense</b>							
<a href="#">SW535.8340.400.00000</a>	SERVICES & MAIN.CONT.CO RD #30...	5,000.00	5,000.00	0.00	0.00	5,000.00	100.00 %
<a href="#">SW535.9710.600.00000</a>	SERIAL BONDS.PRINCIPAL.EX 36 - C...	5,000.00	5,000.00	0.00	0.00	5,000.00	100.00 %
<a href="#">SW535.9710.700.00000</a>	SERIAL BONDS.INTEREST.CO RD #30...	8,475.00	8,475.00	0.00	4,237.50	4,237.50	50.00 %
<a href="#">SW535.9903.900.00000</a>	TRANSFER/WATER-MAINTENANCE....	1,544.00	1,544.00	0.00	1,544.00	0.00	0.00 %
	<b>Expense Total:</b>	<b>20,019.00</b>	<b>20,019.00</b>	<b>0.00</b>	<b>5,781.50</b>	<b>14,237.50</b>	<b>71.12%</b>
<b>Fund: SW535 - EX 36 - COUNTY ROAD #30 WATER DISTRICT Surplus ..</b>		<b>0.00</b>	<b>0.00</b>	<b>12.06</b>	<b>14,246.60</b>	<b>14,246.60</b>	<b>0.00%</b>
<b>Fund: SW540 - HOPKINS GRIMBLE WATER DISTRICT</b>							
<b>Revenue</b>							
<a href="#">SW540.1001.00000</a>	REAL PROPERTY TAXES.HOPKINS GR...	18,272.00	18,272.00	0.00	18,272.00	0.00	0.00 %
<a href="#">SW540.2401.00000</a>	INTEREST & EARNINGS.HOPKINS GR...	70.00	70.00	10.72	76.43	6.43	109.19 %
<a href="#">SW540.9000.00000</a>	APPROPRIATED FUND BALANCE FOR..	5,000.00	5,000.00	0.00	0.00	-5,000.00	100.00 %
	<b>Revenue Total:</b>	<b>23,342.00</b>	<b>23,342.00</b>	<b>10.72</b>	<b>18,348.43</b>	<b>-4,993.57</b>	<b>21.39%</b>
<b>Expense</b>							
<a href="#">SW540.8340.400.00000</a>	SERVICES & MAIN.CONT.HOPKINS ...	5,000.00	5,000.00	0.00	0.00	5,000.00	100.00 %
<a href="#">SW540.9710.600.00000</a>	SERIAL BONDS.PRINCIPAL.HOPKINS...	10,000.00	10,000.00	0.00	0.00	10,000.00	100.00 %
<a href="#">SW540.9710.700.00000</a>	SERIAL BONDS.INTEREST.HOPKINS ...	4,638.00	4,638.00	0.00	2,318.75	2,319.25	50.01 %
<a href="#">SW540.9903.900.00000</a>	TRANSFER/WATER-MAINTENANCE....	3,704.00	3,704.00	0.00	3,704.00	0.00	0.00 %
	<b>Expense Total:</b>	<b>23,342.00</b>	<b>23,342.00</b>	<b>0.00</b>	<b>6,022.75</b>	<b>17,319.25</b>	<b>74.20%</b>
<b>Fund: SW540 - HOPKINS GRIMBLE WATER DISTRICT Surplus (Deficit):</b>		<b>0.00</b>	<b>0.00</b>	<b>10.72</b>	<b>12,325.68</b>	<b>12,325.68</b>	<b>0.00%</b>
<b>Fund: SW545 - HICKOX ROAD WATER DISTRICT</b>							
<b>Revenue</b>							
<a href="#">SW545.1001.00000</a>	REAL PROPERTY TAXES.HICKOX RO...	3,855.00	3,855.00	0.00	3,855.00	0.00	0.00 %
<a href="#">SW545.2401.00000</a>	INTEREST & EARNINGS.HICKOX RO...	30.00	30.00	1.79	17.00	-13.00	43.33 %
	<b>Revenue Total:</b>	<b>3,885.00</b>	<b>3,885.00</b>	<b>1.79</b>	<b>3,872.00</b>	<b>-13.00</b>	<b>0.33%</b>
<b>Expense</b>							
<a href="#">SW545.8350.400.00000</a>	COMMON WATER.CONTRACTUAL.H...	636.00	636.00	0.00	0.00	636.00	100.00 %
<a href="#">SW545.9795.600.00000</a>	DEBT PRIN OTHER GOVT DUE TO O...	2,500.00	2,500.00	0.00	2,500.00	0.00	0.00 %
<a href="#">SW545.9903.900.00000</a>	TRANSFER/WATER-MAINTENANCE....	749.00	749.00	0.00	749.00	0.00	0.00 %
	<b>Expense Total:</b>	<b>3,885.00</b>	<b>3,885.00</b>	<b>0.00</b>	<b>3,249.00</b>	<b>636.00</b>	<b>16.37%</b>
<b>Fund: SW545 - HICKOX ROAD WATER DISTRICT Surplus (Deficit):</b>		<b>0.00</b>	<b>0.00</b>	<b>1.79</b>	<b>623.00</b>	<b>623.00</b>	<b>0.00%</b>
<b>Fund: SW550 - NOTT RD EXT. 40 WATER DISTRICT</b>							
<b>Revenue</b>							
<a href="#">SW550.1001.00000</a>	REAL PROPERTY TAXES.NOTT RD EX...	6,680.00	6,680.00	0.00	6,680.00	0.00	0.00 %
<a href="#">SW550.2401.00000</a>	INTEREST & EARNINGS.NOTT RD EX...	35.00	35.00	4.34	29.48	-5.52	15.77 %
<a href="#">SW550.9000.00000</a>	APPROPRIATED FUND BALANCE FOR..	300.00	300.00	0.00	0.00	-300.00	100.00 %
	<b>Revenue Total:</b>	<b>7,015.00</b>	<b>7,015.00</b>	<b>4.34</b>	<b>6,709.48</b>	<b>-305.52</b>	<b>4.36%</b>
<b>Expense</b>							
<a href="#">SW550.8340.400.00000</a>	SERVICES & MAINTENANCE.CONTR...	611.00	611.00	0.00	0.00	611.00	100.00 %
<a href="#">SW550.9710.600.00000</a>	SERIAL BONDS.PRINCIPAL.NOTT RD ...	4,000.00	4,000.00	0.00	0.00	4,000.00	100.00 %
<a href="#">SW550.9710.700.00000</a>	SERIAL BONDS.INTEREST.NOTT RD ...	1,488.00	1,488.00	0.00	744.00	744.00	50.00 %
<a href="#">SW550.9903.900.00000</a>	TRANSFER/WATER-MAINTENANCE....	916.00	916.00	0.00	916.00	0.00	0.00 %
	<b>Expense Total:</b>	<b>7,015.00</b>	<b>7,015.00</b>	<b>0.00</b>	<b>1,660.00</b>	<b>5,355.00</b>	<b>76.34%</b>
<b>Fund: SW550 - NOTT RD EXT. 40 WATER DISTRICT Surplus (Deficit):</b>		<b>0.00</b>	<b>0.00</b>	<b>4.34</b>	<b>5,049.48</b>	<b>5,049.48</b>	<b>0.00%</b>
<b>Fund: SW555 - CO RD 32 EXT. 41 WATER DISTRICT</b>							
<b>Revenue</b>							
<a href="#">SW555.1001.00000</a>	REAL PROPERTY TAXES.CO RD 32 EX...	12,944.00	12,944.00	0.00	12,944.00	0.00	0.00 %
<a href="#">SW555.2401.00000</a>	INTEREST & EARNINGS.CO RD 32 EX...	65.00	65.00	3.75	44.21	-20.79	31.98 %
	<b>Revenue Total:</b>	<b>13,009.00</b>	<b>13,009.00</b>	<b>3.75</b>	<b>12,988.21</b>	<b>-20.79</b>	<b>0.16%</b>
<b>Expense</b>							
<a href="#">SW555.8340.400.00000</a>	SERVICES & MAIN.CONT.CO RD 32 ...	1,649.00	1,649.00	0.00	0.00	1,649.00	100.00 %
<a href="#">SW555.9795.650.00000</a>	DEBT PRINCIPAL DUE TO OTHER G...	9,085.00	9,085.00	0.00	0.00	9,085.00	100.00 %
<a href="#">SW555.9795.700.00000</a>	DEBT INTEREST DUE TO OTHER GO...	1,452.00	1,452.00	0.00	1,451.31	0.69	0.05 %
<a href="#">SW555.9903.900.00000</a>	TRANSFER/WATER-MAINTENANCE....	823.00	823.00	0.00	823.00	0.00	0.00 %

**Budget Report-JM**

**For Fiscal: 2024 Period Ending: 09/30/2024**

	<b>Original Total Budget</b>	<b>Current Total Budget</b>	<b>Period Activity</b>	<b>Fiscal Activity</b>	<b>Variance Favorable (Unfavorable)</b>	<b>Percent Remaining</b>
<b>Expense Total:</b>	<b>13,009.00</b>	<b>13,009.00</b>	<b>0.00</b>	<b>2,274.31</b>	<b>10,734.69</b>	<b>82.52%</b>
<b>Fund: SW555 - CO RD 32 EXT. 41 WATER DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>3.75</b>	<b>10,713.90</b>	<b>10,713.90</b>	<b>0.00%</b>
<b>Report Surplus (Deficit):</b>	<b>-1.00</b>	<b>-251,445.00</b>	<b>-530,190.97</b>	<b>2,956,103.75</b>	<b>3,207,548.75</b>	<b>1,275.65%</b>

**Group Summary**

Account Typ...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
<b>Fund: AA100 - GENERAL FUND</b>						
Revenue	5,143,203.00	6,723,013.68	173,037.82	6,048,885.20	-674,128.48	10.03%
Expense	5,143,204.00	6,557,248.68	307,650.93	5,112,833.67	1,444,415.01	22.03%
<b>Fund: AA100 - GENERAL FUND Surplus (Deficit):</b>	<b>-1.00</b>	<b>165,765.00</b>	<b>-134,613.11</b>	<b>936,051.53</b>	<b>770,286.53</b>	<b>-464.69%</b>
<b>Fund: AA231 - CONTINGENT/TAX RESERVE</b>						
Revenue	0.00	0.00	4,380.57	40,726.25	40,726.25	0.00%
<b>Fund: AA231 - CONTINGENT/TAX RESERVE Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>4,380.57</b>	<b>40,726.25</b>	<b>40,726.25</b>	<b>0.00%</b>
<b>Fund: AA232 - CAMPUS REPAIR RESERVE</b>						
Revenue	0.00	0.00	932.33	8,667.86	8,667.86	0.00%
<b>Fund: AA232 - CAMPUS REPAIR RESERVE Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>932.33</b>	<b>8,667.86</b>	<b>8,667.86</b>	<b>0.00%</b>
<b>Fund: AA233 - TECHNOLOGY RESERVE</b>						
Revenue	0.00	49,417.50	49,594.04	51,328.25	1,910.75	3.87%
Expense	0.00	49,417.50	49,417.50	49,417.50	0.00	0.00%
<b>Fund: AA233 - TECHNOLOGY RESERVE Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>176.54</b>	<b>1,910.75</b>	<b>1,910.75</b>	<b>0.00%</b>
<b>Fund: AA234 - OPEN SPACE RESERVE</b>						
Revenue	0.00	0.00	3,682.77	33,802.54	33,802.54	0.00%
<b>Fund: AA234 - OPEN SPACE RESERVE Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>3,682.77</b>	<b>33,802.54</b>	<b>33,802.54</b>	<b>0.00%</b>
<b>Fund: AA235 - NYS EMPLOYEE SYSTEM RESERVE</b>						
Revenue	0.00	0.00	845.16	7,857.55	7,857.55	0.00%
<b>Fund: AA235 - NYS EMPLOYEE SYSTEM RESERVE Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>845.16</b>	<b>7,857.55</b>	<b>7,857.55</b>	<b>0.00%</b>
<b>Fund: AA237 - BONDED INDEBTEDNESS RESERVE</b>						
Revenue	0.00	0.00	979.70	9,108.06	9,108.06	0.00%
<b>Fund: AA237 - BONDED INDEBTEDNESS RESERVE Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>979.70</b>	<b>9,108.06</b>	<b>9,108.06</b>	<b>0.00%</b>
<b>Fund: AA238 - SOLID WASTE MANAGEMENT RESERVE</b>						
Revenue	0.00	0.00	3,642.24	33,862.09	33,862.09	0.00%
<b>Fund: AA238 - SOLID WASTE MANAGEMENT RESERVE Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>3,642.24</b>	<b>33,862.09</b>	<b>33,862.09</b>	<b>0.00%</b>
<b>Fund: CM100 - NEW RECREATION REVENUE FUND</b>						
Revenue	0.00	0.00	6,041.04	32,291.77	32,291.77	0.00%
<b>Fund: CM100 - NEW RECREATION REVENUE FUND Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>6,041.04</b>	<b>32,291.77</b>	<b>32,291.77</b>	<b>0.00%</b>
<b>Fund: DA100 - HIGHWAY</b>						
Revenue	4,756,125.00	5,456,125.00	355,524.41	3,842,634.99	-1,613,490.01	29.57%
Expense	4,756,125.00	5,560,492.00	675,929.21	3,445,143.91	2,115,348.09	38.04%
<b>Fund: DA100 - HIGHWAY Surplus (Deficit):</b>	<b>0.00</b>	<b>-104,367.00</b>	<b>-320,404.80</b>	<b>397,491.08</b>	<b>501,858.08</b>	<b>480.86%</b>
<b>Fund: DA230 - HWY EQUIPMENT RESERVE</b>						
Revenue	0.00	0.00	1,417.54	13,178.84	13,178.84	0.00%
<b>Fund: DA230 - HWY EQUIPMENT RESERVE Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>1,417.54</b>	<b>13,178.84</b>	<b>13,178.84</b>	<b>0.00%</b>
<b>Fund: DA232 - HWY IMPROVEMENT RESERVE</b>						
Revenue	0.00	0.00	1,516.15	14,095.54	14,095.54	0.00%
<b>Fund: DA232 - HWY IMPROVEMENT RESERVE Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>1,516.15</b>	<b>14,095.54</b>	<b>14,095.54</b>	<b>0.00%</b>
<b>Fund: DA235 - SNOW/ICE REMOVAL RD REPAIR RESERVE</b>						
Revenue	0.00	0.00	933.54	8,679.10	8,679.10	0.00%
<b>Fund: DA235 - SNOW/ICE REMOVAL RD REPAIR RESERVE Total:</b>	<b>0.00</b>	<b>0.00</b>	<b>933.54</b>	<b>8,679.10</b>	<b>8,679.10</b>	<b>0.00%</b>
<b>Fund: HH100 - CAPITAL PROJECTS</b>						
Revenue	0.00	0.00	9,984.99	1,182,475.54	1,182,475.54	0.00%
Expense	0.00	300,000.00	57,347.06	398,767.44	-98,767.44	-32.92%
<b>Fund: HH100 - CAPITAL PROJECTS Surplus (Deficit):</b>	<b>0.00</b>	<b>-300,000.00</b>	<b>-47,362.07</b>	<b>783,708.10</b>	<b>1,083,708.10</b>	<b>361.24%</b>
<b>Fund: SD600 - RT 332 DRAINAGE DISTRICT</b>						
Revenue	15,012.00	15,012.00	77.10	10,379.67	-4,632.33	30.86%
Expense	15,012.00	15,012.00	0.00	0.00	15,012.00	100.00%
<b>Fund: SD600 - RT 332 DRAINAGE DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>77.10</b>	<b>10,379.67</b>	<b>10,379.67</b>	<b>0.00%</b>



Budget Report-JM

For Fiscal: 2024 Period Ending: 09/30/2024

Account Typ...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
<b>Fund: SD605 - LAKEWOOD MEADOWS DRAINAGE DISTRICT</b>						
Revenue	2,002.00	2,002.00	15.81	2,027.90	25.90	1.29%
Expense	2,002.00	2,002.00	0.00	0.00	2,002.00	100.00%
<b>Fund: SD605 - LAKEWOOD MEADOWS DRAINAGE DISTRICT Surplus ..</b>	<b>0.00</b>	<b>0.00</b>	<b>15.81</b>	<b>2,027.90</b>	<b>2,027.90</b>	<b>0.00%</b>
<b>Fund: SD610 - ASHTON DRAINAGE DISTRICT</b>						
Revenue	45.00	45.00	9.12	55.34	10.34	22.98%
Expense	45.00	45.00	0.00	0.00	45.00	100.00%
<b>Fund: SD610 - ASHTON DRAINAGE DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>9.12</b>	<b>55.34</b>	<b>55.34</b>	<b>0.00%</b>
<b>Fund: SD615 - FOX RIDGE DRAINAGE DISTRICT</b>						
Revenue	32,120.00	32,120.00	27.96	10,641.58	-21,478.42	66.87%
Expense	32,120.00	32,120.00	0.00	0.00	32,120.00	100.00%
<b>Fund: SD615 - FOX RIDGE DRAINAGE DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>27.96</b>	<b>10,641.58</b>	<b>10,641.58</b>	<b>0.00%</b>
<b>Fund: SD620 - LANDINGS DRAINAGE DISTRICT</b>						
Revenue	20.00	20.00	4.78	28.98	8.98	44.90%
Expense	20.00	20.00	0.00	0.00	20.00	100.00%
<b>Fund: SD620 - LANDINGS DRAINAGE DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>4.78</b>	<b>28.98</b>	<b>28.98</b>	<b>0.00%</b>
<b>Fund: SD625 - OLD BROOKSIDE DRAINAGE DISTRICT</b>						
Revenue	60.00	60.00	8.59	52.08	-7.92	13.20%
Expense	60.00	60.00	0.00	0.00	60.00	100.00%
<b>Fund: SD625 - OLD BROOKSIDE DRAINAGE DISTRICT Surplus (Deficit)..</b>	<b>0.00</b>	<b>0.00</b>	<b>8.59</b>	<b>52.08</b>	<b>52.08</b>	<b>0.00%</b>
<b>Fund: SD630 - LAKESIDE ESTATES DRAINAGE DISTRICT</b>						
Revenue	45.00	45.00	5.93	35.99	-9.01	20.02%
Expense	45.00	45.00	0.00	0.00	45.00	100.00%
<b>Fund: SD630 - LAKESIDE ESTATES DRAINAGE DISTRICT Surplus (Defic..</b>	<b>0.00</b>	<b>0.00</b>	<b>5.93</b>	<b>35.99</b>	<b>35.99</b>	<b>0.00%</b>
<b>Fund: SD635 - WATERFORD POINT DRAINAGE DISTRICT</b>						
Revenue	875.00	875.00	9.86	864.81	-10.19	1.16%
Expense	875.00	875.00	0.00	0.00	875.00	100.00%
<b>Fund: SD635 - WATERFORD POINT DRAINAGE DISTRICT Surplus (Def..</b>	<b>0.00</b>	<b>0.00</b>	<b>9.86</b>	<b>864.81</b>	<b>864.81</b>	<b>0.00%</b>
<b>Fund: SD640 - STABLEGATE DRAINAGE DISTRICT</b>						
Revenue	15,303.00	15,303.00	15.15	6,304.89	-8,998.11	58.80%
Expense	15,303.00	15,303.00	0.00	0.00	15,303.00	100.00%
<b>Fund: SD640 - STABLEGATE DRAINAGE DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>15.15</b>	<b>6,304.89</b>	<b>6,304.89</b>	<b>0.00%</b>
<b>Fund: SF450 - FIRE PROTECTION</b>						
Revenue	1,755,000.00	1,755,000.00	29.56	1,751,875.92	-3,124.08	0.18%
Expense	1,755,000.00	1,755,000.00	0.00	1,755,000.00	0.00	0.00%
<b>Fund: SF450 - FIRE PROTECTION Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>29.56</b>	<b>-3,124.08</b>	<b>-3,124.08</b>	<b>0.00%</b>
<b>Fund: SL700 - CENTERPOINT LIGHTING DISTRICT</b>						
Revenue	1,922.00	1,922.00	1.34	1,920.70	-1.30	0.07%
Expense	1,922.00	1,922.00	204.65	1,518.02	403.98	21.02%
<b>Fund: SL700 - CENTERPOINT LIGHTING DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>-203.31</b>	<b>402.68</b>	<b>402.68</b>	<b>0.00%</b>
<b>Fund: SL705 - FOX RIDGE LIGHTING DISTRICT</b>						
Revenue	15,472.00	15,472.00	6.13	15,481.83	9.83	0.06%
Expense	15,472.00	15,472.00	873.14	7,331.94	8,140.06	52.61%
<b>Fund: SL705 - FOX RIDGE LIGHTING DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>-867.01</b>	<b>8,149.89</b>	<b>8,149.89</b>	<b>0.00%</b>
<b>Fund: SL710 - LANDINGS LIGHTING DISTRICT</b>						
Revenue	5.00	5.00	0.78	4.76	-0.24	4.80%
Expense	5.00	5.00	0.00	0.00	5.00	100.00%
<b>Fund: SL710 - LANDINGS LIGHTING DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>0.78</b>	<b>4.76</b>	<b>4.76</b>	<b>0.00%</b>
<b>Fund: SL715 - LAKEWOOD MEADOWS LIGHTING DISTRICT</b>						
Revenue	1,490.00	1,490.00	2.75	1,492.08	2.08	0.14%
Expense	1,490.00	1,490.00	34.01	241.12	1,248.88	83.82%
<b>Fund: SL715 - LAKEWOOD MEADOWS LIGHTING DISTRICT Surplus (...</b>	<b>0.00</b>	<b>0.00</b>	<b>-31.26</b>	<b>1,250.96</b>	<b>1,250.96</b>	<b>0.00%</b>
<b>Fund: SL720 - FALLBROOK PARK LIGHTING DISTRICT</b>						
Revenue	2,128.00	2,128.00	1.68	2,130.25	2.25	0.11%

Budget Report-JM

For Fiscal: 2024 Period Ending: 09/30/2024

Account Typ...	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)	Percent Remaining
Expense	2,128.00	2,128.00	150.46	1,142.65	985.35	46.30%
<b>Fund: SL720 - FALLBROOK PARK LIGHTING DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>-148.78</b>	<b>987.60</b>	<b>987.60</b>	<b>0.00%</b>
<b>Fund: SM900 - UPTOWN BUSINESS IMPROVEMENT DISTRICT</b>						
Revenue	105,400.00	105,400.00	72.32	105,439.23	39.23	0.04%
Expense	105,400.00	105,400.00	5,244.83	5,244.83	100,155.17	95.02%
<b>Fund: SM900 - UPTOWN BUSINESS IMPROVEMENT DISTRICT Surplu...</b>	<b>0.00</b>	<b>0.00</b>	<b>-5,172.51</b>	<b>100,194.40</b>	<b>100,194.40</b>	<b>0.00%</b>
<b>Fund: SS800 - SANITARY SEWER</b>						
Revenue	18,300.00	18,300.00	11.37	18,278.94	-21.06	0.12%
Expense	18,300.00	18,300.00	0.00	0.00	18,300.00	100.00%
<b>Fund: SS800 - SANITARY SEWER Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>11.37</b>	<b>18,278.94</b>	<b>18,278.94</b>	<b>0.00%</b>
<b>Fund: SW500 - CANANDAIGUA CONSOLIDATED WATER DISTRICT</b>						
Revenue	1,972,760.00	1,972,760.00	27,674.87	1,339,807.02	-632,952.98	32.08%
Expense	1,972,760.00	1,985,603.00	73,981.57	963,808.36	1,021,794.64	51.46%
<b>Fund: SW500 - CANANDAIGUA CONSOLIDATED WATER DISTRICT Su...</b>	<b>0.00</b>	<b>-12,843.00</b>	<b>-46,306.70</b>	<b>375,998.66</b>	<b>388,841.66</b>	<b>3,027.65%</b>
<b>Fund: SW505 - CANANDAIGUA BRISTOL JOINT WATER DISTRICT</b>						
Revenue	79,449.00	79,449.00	50.35	78,599.06	-849.94	1.07%
Expense	79,449.00	79,449.00	0.00	25,749.00	53,700.00	67.59%
<b>Fund: SW505 - CANANDAIGUA BRISTOL JOINT WATER DISTRICT Sur...</b>	<b>0.00</b>	<b>0.00</b>	<b>50.35</b>	<b>52,850.06</b>	<b>52,850.06</b>	<b>0.00%</b>
<b>Fund: SW515 - CANANDAIGUA-FARMINGTON WATER DISTRICT</b>						
Revenue	287,269.00	287,269.00	64.75	287,444.33	175.33	0.06%
Expense	287,269.00	287,269.00	0.00	285,288.00	1,981.00	0.69%
<b>Fund: SW515 - CANANDAIGUA-FARMINGTON WATER DISTRICT Surp...</b>	<b>0.00</b>	<b>0.00</b>	<b>64.75</b>	<b>2,156.33</b>	<b>2,156.33</b>	<b>0.00%</b>
<b>Fund: SW525 - MCINTYRE ROAD WATER DISTRICT</b>						
Revenue	11,696.00	11,696.00	4.94	8,490.04	-3,205.96	27.41%
Expense	11,696.00	11,696.00	0.00	4,295.50	7,400.50	63.27%
<b>Fund: SW525 - MCINTYRE ROAD WATER DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>4.94</b>	<b>4,194.54</b>	<b>4,194.54</b>	<b>0.00%</b>
<b>Fund: SW530 - EMERSON ALLEN TOWNLINE RD WATER DISTRICT</b>						
Revenue	19,592.00	19,592.00	2.29	19,592.05	0.05	0.00%
Expense	19,592.00	19,592.00	0.00	19,614.00	-22.00	-0.11%
<b>Fund: SW530 - EMERSON ALLEN TOWNLINE RD WATER DISTRICT Su...</b>	<b>0.00</b>	<b>0.00</b>	<b>2.29</b>	<b>-21.95</b>	<b>-21.95</b>	<b>0.00%</b>
<b>Fund: SW535 - EX 36 - COUNTY ROAD #30 WATER DISTRICT</b>						
Revenue	20,019.00	20,019.00	12.06	20,028.10	9.10	0.05%
Expense	20,019.00	20,019.00	0.00	5,781.50	14,237.50	71.12%
<b>Fund: SW535 - EX 36 - COUNTY ROAD #30 WATER DISTRICT Surplus ..</b>	<b>0.00</b>	<b>0.00</b>	<b>12.06</b>	<b>14,246.60</b>	<b>14,246.60</b>	<b>0.00%</b>
<b>Fund: SW540 - HOPKINS GRIMBLE WATER DISTRICT</b>						
Revenue	23,342.00	23,342.00	10.72	18,348.43	-4,993.57	21.39%
Expense	23,342.00	23,342.00	0.00	6,022.75	17,319.25	74.20%
<b>Fund: SW540 - HOPKINS GRIMBLE WATER DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>10.72</b>	<b>12,325.68</b>	<b>12,325.68</b>	<b>0.00%</b>
<b>Fund: SW545 - HICKOX ROAD WATER DISTRICT</b>						
Revenue	3,885.00	3,885.00	1.79	3,872.00	-13.00	0.33%
Expense	3,885.00	3,885.00	0.00	3,249.00	636.00	16.37%
<b>Fund: SW545 - HICKOX ROAD WATER DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>1.79</b>	<b>623.00</b>	<b>623.00</b>	<b>0.00%</b>
<b>Fund: SW550 - NOTT RD EXT. 40 WATER DISTRICT</b>						
Revenue	7,015.00	7,015.00	4.34	6,709.48	-305.52	4.36%
Expense	7,015.00	7,015.00	0.00	1,660.00	5,355.00	76.34%
<b>Fund: SW550 - NOTT RD EXT. 40 WATER DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>4.34</b>	<b>5,049.48</b>	<b>5,049.48</b>	<b>0.00%</b>
<b>Fund: SW555 - CO RD 32 EXT. 41 WATER DISTRICT</b>						
Revenue	13,009.00	13,009.00	3.75	12,988.21	-20.79	0.16%
Expense	13,009.00	13,009.00	0.00	2,274.31	10,734.69	82.52%
<b>Fund: SW555 - CO RD 32 EXT. 41 WATER DISTRICT Surplus (Deficit):</b>	<b>0.00</b>	<b>0.00</b>	<b>3.75</b>	<b>10,713.90</b>	<b>10,713.90</b>	<b>0.00%</b>
<b>Report Surplus (Deficit):</b>	<b>-1.00</b>	<b>-251,445.00</b>	<b>-530,190.97</b>	<b>2,956,103.75</b>	<b>3,207,548.75</b>	<b>1,275.65%</b>

### Fund Summary

Fund	Original Total Budget	Current Total Budget	Period Activity	Fiscal Activity	Variance Favorable (Unfavorable)
AA100 - GENERAL FUND	-1.00	165,765.00	-134,613.11	936,051.53	770,286.53
AA231 - CONTINGENT/TAX RESERV	0.00	0.00	4,380.57	40,726.25	40,726.25
AA232 - CAMPUS REPAIR RESERVE	0.00	0.00	932.33	8,667.86	8,667.86
AA233 - TECHNOLOGY RESERVE	0.00	0.00	176.54	1,910.75	1,910.75
AA234 - OPEN SPACE RESERVE	0.00	0.00	3,682.77	33,802.54	33,802.54
AA235 - NYS EMPLOYEE SYSTEM R	0.00	0.00	845.16	7,857.55	7,857.55
AA237 - BONDED INDEBTEDNESS F	0.00	0.00	979.70	9,108.06	9,108.06
AA238 - SOLID WASTE MANAGEM	0.00	0.00	3,642.24	33,862.09	33,862.09
CM100 - NEW RECREATION REVEN	0.00	0.00	6,041.04	32,291.77	32,291.77
DA100 - HIGHWAY	0.00	-104,367.00	-320,404.80	397,491.08	501,858.08
DA230 - HWY EQUIPMENT RESERV	0.00	0.00	1,417.54	13,178.84	13,178.84
DA232 - HWY IMPROVEMENT RES	0.00	0.00	1,516.15	14,095.54	14,095.54
DA235 - SNOW/ICE REMOVAL RD I	0.00	0.00	933.54	8,679.10	8,679.10
HH100 - CAPITAL PROJECTS	0.00	-300,000.00	-47,362.07	783,708.10	1,083,708.10
SD600 - RT 332 DRAINAGE DISTRIC	0.00	0.00	77.10	10,379.67	10,379.67
SD605 - LAKEWOOD MEADOWS D	0.00	0.00	15.81	2,027.90	2,027.90
SD610 - ASHTON DRAINAGE DISTR	0.00	0.00	9.12	55.34	55.34
SD615 - FOX RIDGE DRAINAGE DIS	0.00	0.00	27.96	10,641.58	10,641.58
SD620 - LANDINGS DRAINAGE DIS	0.00	0.00	4.78	28.98	28.98
SD625 - OLD BROOKSIDE DRAINAC	0.00	0.00	8.59	52.08	52.08
SD630 - LAKESIDE ESTATES DRAIN	0.00	0.00	5.93	35.99	35.99
SD635 - WATERFORD POINT DRAI	0.00	0.00	9.86	864.81	864.81
SD640 - STABLEGATE DRAINAGE D	0.00	0.00	15.15	6,304.89	6,304.89
SF450 - FIRE PROTECTION	0.00	0.00	29.56	-3,124.08	-3,124.08
SL700 - CENTERPOINT LIGHTING D	0.00	0.00	-203.31	402.68	402.68
SL705 - FOX RIDGE LIGHTING DIST	0.00	0.00	-867.01	8,149.89	8,149.89
SL710 - LANDINGS LIGHTING DIST	0.00	0.00	0.78	4.76	4.76
SL715 - LAKEWOOD MEADOWS LI	0.00	0.00	-31.26	1,250.96	1,250.96
SL720 - FALLBROOK PARK LIGHTIN	0.00	0.00	-148.78	987.60	987.60
SM900 - UPTOWN BUSINESS IMPR	0.00	0.00	-5,172.51	100,194.40	100,194.40
SS800 - SANITARY SEWER	0.00	0.00	11.37	18,278.94	18,278.94
SW500 - CANANDAIGUA CONSOLI	0.00	-12,843.00	-46,306.70	375,998.66	388,841.66
SW505 - CANANDAIGUA BRISTOL	0.00	0.00	50.35	52,850.06	52,850.06
SW515 - CANANDAIGUA-FARMINC	0.00	0.00	64.75	2,156.33	2,156.33
SW525 - MCINTYRE ROAD WATER	0.00	0.00	4.94	4,194.54	4,194.54
SW530 - EMERSON ALLEN TOWNL	0.00	0.00	2.29	-21.95	-21.95
SW535 - EX 36 - COUNTY ROAD #3	0.00	0.00	12.06	14,246.60	14,246.60
SW540 - HOPKINS GRIMBLE WATE	0.00	0.00	10.72	12,325.68	12,325.68
SW545 - HICKOX ROAD WATER DI	0.00	0.00	1.79	623.00	623.00
SW550 - NOTT RD EXT. 40 WATER	0.00	0.00	4.34	5,049.48	5,049.48
SW555 - CO RD 32 EXT. 41 WATEF	0.00	0.00	3.75	10,713.90	10,713.90
<b>Report Surplus (Deficit):</b>	<b>-1.00</b>	<b>-251,445.00</b>	<b>-530,190.97</b>	<b>2,956,103.75</b>	<b>3,207,548.75</b>



Fund	Beginning Balance	Total Revenues	Total Expenses	Ending Balance
AA100 - GENERAL FUND	1,393,372.97	6,048,885.20	5,112,833.67	2,329,424.50
AA231 - CONTINGENT/TAX RESERVE	1,026,811.28	40,726.25	0.00	1,067,537.53
AA232 - CAMPUS REPAIR RESERVE	218,537.25	8,667.86	0.00	227,205.11
AA233 - TECHNOLOGY RESERVE	-424.00	51,328.25	49,417.50	1,486.75
AA234 - OPEN SPACE RESERVE	1,049,424.85	33,802.54	0.00	1,083,227.39
AA235 - NYS EMPLOYEE SYSTEM RESERVE	198,108.52	7,857.55	0.00	205,966.07
AA237 - BONDED INDEBTEDNESS RESERVE	229,636.52	9,108.06	0.00	238,744.58
AA238 - SOLID WASTE MANAGEMENT RESERVE	853,747.81	33,862.09	0.00	887,609.90
CM100 - NEW RECREATION REVENUE FUND	588,996.37	32,291.77	0.00	621,288.14
CR100 - PARKS & REC FBC REVENUE FUND	0.00	0.00	0.00	0.00
DA100 - HIGHWAY	644,055.74	3,842,634.99	3,445,143.91	1,041,546.82
DA230 - HWY EQUIPMENT RESERVE	332,272.04	13,178.84	0.00	345,450.88
DA232 - HWY IMPROVEMENT RESERVE	355,382.60	14,095.54	0.00	369,478.14
DA235 - SNOW/ICE REMOVAL RD REPAIR RESERVE	218,820.26	8,679.10	0.00	227,499.36
HH100 - CAPITAL PROJECTS	1,946,733.85	1,182,475.54	398,767.44	2,730,441.95
SD600 - RT 332 DRAINAGE DISTRICT	114,507.34	10,379.67	0.00	124,887.01
SD605 - LAKEWOOD MEADOWS DRAINAGE DISTRICT	23,578.09	2,027.90	0.00	25,605.99
SD610 - ASHTON DRAINAGE DISTRICT	14,723.54	55.34	0.00	14,778.88
SD615 - FOX RIDGE DRAINAGE DISTRICT	34,641.50	10,641.58	0.00	45,283.08
SD620 - LANDINGS DRAINAGE DISTRICT	7,708.68	28.98	0.00	7,737.66
SD625 - OLD BROOKSIDE DRAINAGE DISTRICT	13,859.79	52.08	0.00	13,911.87
SD630 - LAKESIDE ESTATES DRAINAGE DISTRICT	9,574.45	35.99	0.00	9,610.44
SD635 - WATERFORD POINT DRAINAGE DISTRICT	15,098.86	864.81	0.00	15,963.67
SD640 - STABLEGATE DRAINAGE DISTRICT	18,233.05	6,304.89	0.00	24,537.94
SF450 - FIRE PROTECTION	51,005.62	1,751,875.92	1,755,000.00	47,881.54
SL700 - CENTERPOINT LIGHTING DISTRICT	1,763.24	1,920.70	1,518.02	2,165.92
SL705 - FOX RIDGE LIGHTING DISTRICT	1,780.97	15,481.83	7,331.94	9,930.86
SL710 - LANDINGS LIGHTING DISTRICT	1,266.27	4.76	0.00	1,271.03
SL715 - LAKEWOOD MEADOWS LIGHTING DISTRICT	3,202.04	1,492.08	241.12	4,453.00
SL720 - FALLBROOK PARK LIGHTING DISTRICT	1,736.13	2,130.25	1,142.65	2,723.73
SM900 - UPTOWN BUSINESS IMPROVEMENT DISTRICT	11,704.53	105,439.23	5,244.83	111,898.93
SS800 - SANITARY SEWER	132.77	18,278.94	0.00	18,411.71
SW500 - CANANDAIGUA CONSOLIDATED WATER DISTRICT	1,796,527.72	1,339,807.02	963,808.36	2,172,526.38
SW505 - CANANDAIGUA BRISTOL JOINT WATER DISTRICT	46,708.83	78,599.06	25,749.00	99,558.89
SW515 - CANANDAIGUA-FARMINGTON WATER DISTRICT	54,645.16	287,444.33	285,288.00	56,801.49
SW525 - MCINTYRE ROAD WATER DISTRICT	3,810.75	8,490.04	4,295.50	8,005.29
SW530 - EMERSON ALLEN TOWNLINE RD WATER DISTRICT	3,724.41	19,592.05	19,614.00	3,702.46
SW535 - EX 36 - COUNTY ROAD #30 WATER DISTRICT	5,293.49	20,028.10	5,781.50	19,540.09
SW540 - HOPKINS GRIMBLE WATER DISTRICT	5,044.62	18,348.43	6,022.75	17,370.30
SW545 - HICKOX ROAD WATER DISTRICT	-17,724.94	3,872.00	3,249.00	-17,101.94
SW550 - NOTT RD EXT. 40 WATER DISTRICT	1,983.90	6,709.48	1,660.00	7,033.38
SW555 - CO RD 32 EXT. 41 WATER DISTRICT	-45,144.80	12,988.21	2,274.31	-34,430.90
<b>Report Total:</b>	<b>11,234,862.07</b>	<b>15,050,487.25</b>	<b>12,094,383.50</b>	<b>14,190,965.82</b>

# *Town of Canandaigua*

5440 Routes 5 & 20 West Canandaigua, NY 14424

(585) 394-1120 / Fax (585) 394-9476

[www.townofcanandaigua.org](http://www.townofcanandaigua.org)

## **MEMO**

To: Canandaigua Town Board Date: October 18, 2024

From: Jessica Mull, Finance Clerk II

Re: September 2024 Revenue/Expense Control Report

### **BALANCE SHEET**

Bank statements have been reconciled through September 30, 2024.

### **REVENUES**

Receipts recorded for September total \$529,199.26 and include the following:

- Town Clerk - \$71,706.80 and Parks \$4,500.00
- Sureties - \$4,656.41
- Cable Franchise Fee - \$42,357.25
- 2024 AIM Funding- \$28,151.00
- 2024 CHIPS Funding - \$307,887.34
- Justice Fees - \$19,859.00
- Refunds and/or Reimbursements - \$48,334.90
- Metal Recycling - \$1,746.56

### **EXPENDITURES**

We expect the available balance in each fund to be about 25.03% at the end of September.

- General Fund (AA100) – Expenditures to date are \$5,211,833.67 against a budget of \$6,557,248.68 which leaves 22.03% available.
- Highway Fund (DA100) – Expenditures to date are \$2,115,348.09 against a budget of \$5,560,492.00 which leaves 38.04% available.
- Water Fund (SW500) – Expenditures to date are \$1,021,794.64 against a budget of \$1,985,603.00 which leaves 51.46% available.



Canandaigua National Bank & Trust

9/25/2024 11:34 AM

Municipal Choice Savings

\*\*\*\*\*8819

**Amount:** \$-3,000,000.00

**Statement Description:** Descriptive Withdrawal - transfer to new CD# 1740

**Posted Date:** 9/18/2024

**Type:** Debit

**Status:** Posted

investing  
in you



Canandaigua  
National  
Bank & Trust

September 18, 2024

Mary Kay Bashaw  
Senior Vice President  
Government Banking  
1150 Pittsford Victor Road  
Pittsford NY 14534  
419-0670 x50618  
800-724-2621 x50618  
585-396-9295  
mbashaw@cnbank.com

Town of Canandaigua  
Jared Simpson, Town Supervisor  
5440 Route 5 & 20  
Canandaigua NY 14424

The following activity occurred in your account(s)

<u>Amount:</u>	<u>From:</u>	<u>To:</u>
\$3,569,605.27	CD#*****9701	#*****8819
\$3,000,000.00	#*****8819	CD#*****1740 CD*
\$2,500,000.00	#*****8819	CD#*****1758

Mary Kay Bashaw  
Senior Vice President  
Government Banking  
Canandaigua National Bank & Trust  
1150 Pittsford-Victor Road  
Pittsford, NY 14534  
[mbashaw@cnbank.com](mailto:mbashaw@cnbank.com)  
p: 585-419-0670, Ext 50618

**The Canandaigua National Bank and Trust Company**  
**Certificate of Deposit Account**  
**Municipal**  
**Account**  
**\$100,000 and over**  
**Account Receipt and**  
**Disclosure**

This account is non-negotiable and non-transferable

Member  
FDIC

**Account Number** 1740

**Customer Name and Address**

Town of Canandaigua  
Investment CD  
5440 State Route 5 And 20  
Canandaigua, NY 14424-9327

**Issue Date**  
09-18-2024

**Term**  
61 Days

**Amount** \$3,000,000.00

**Interest Payment**  
At Maturity

**Mailing Address**  
5440 State Route 5 And 20  
Canandaigua NY 14424-9327

**Interest Payment Method**  
Simple

**Renewal Option**  
Non-Renewable

**Form of Ownership**  
Municipal

**Tax I.D. No.** 2197

**By:** Mary Kay Bashaw

(Bank Representative)

---

**Rate Information**

The interest rate for your certificate is **5.05** with an annual percentage yield of **5.13**. You will be paid this rate until the maturity date of the certificate. Your certificate will mature on **11-18-2024**. Interest will be paid at maturity.

**Balance Computation Method**

We use the daily balance method to calculate the interest on your account. This method applies a daily periodic rate to the principal in the account each day.

**Minimum Balance Requirements**

You must deposit a minimum of \$100,000 to open this account, and you must maintain a minimum balance of \$100,000 in the account every day to obtain the annual percentage yield.

**Early Withdrawal Penalties**

We will impose a penalty if you withdraw all or any portion of the principal before the maturity date. For accounts twelve (12) months or less, the fee imposed will equal three (3) months of interest. For accounts over twelve months, the fee imposed will equal six (6) months of interest. We have the right to invade the principal amount if the penalty assessed is greater than the accrued interest.

**Transaction Limits**

After you open this account, you may not make any additional deposits into or partial withdrawals from the account until the maturity date.

**Renewal Policies**

Non-automatically Renewable: This account will not automatically renew at maturity. The funds will be remitted in a non-interest bearing time deposit account upon the maturity date.

**Accrual of Interest on Non-cash Deposits**

Interest begins to accrue on the business day you deposit non-cash items (for example, checks).



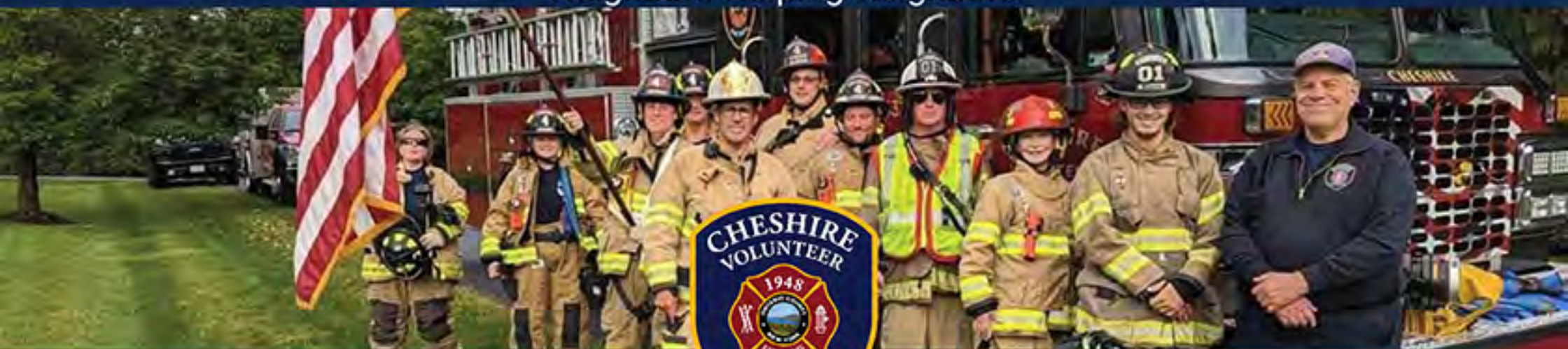
# **ATTACHMENT 4**

## **REPORTS OF BOARDS, COMMITTEES & PROJECT TEAMS**

# JOIN THE TEAM

## CHESHIRE FIRE DEPARTMENT

Neighbors Helping Neighbors



**No Experience Needed!**

- Firefighters • EMS • Fire Police • Service Members (Support/Administrative)
- Fire Truck Drivers/Operators • Boat Operators • Special Operations

[cheshirevfd.com](http://cheshirevfd.com)

# **ATTACHMENT 5**

# TOWN OF CANANDAIGUA TOWN BOARD

## STATE ENVIRONMENTAL QUALITY REVIEW (SEQR) FULL ENVIRONMENTAL ASSESSMENT FORM (EAF) PART 3 EVALUATION OF THE MAGNITUDE AND IMPORTANCE OF THE PROJECT IMPACTS AND DETERMINATION OF SIGNIFICANCE

### **Uptown Landing Incentive Zoning and Preliminary Overall (Phased) Subdivision Review October 28, 2024**

---

The Town of Canandaigua Town Board has reviewed and accepted Part 1 of the Full Environmental Assessment Form (EAF) for this action along with the associate Expanded Environmental Assessment Report and associated documents provided by the applicant. The Town Board completed a coordinated review under the State Environmental Quality Review (SEQR) Regulations and received no objections to being designated Lead Agency. The Town Board in a separate resolution designated themselves as lead agency and under the provisions of Part 617 of the SEQR Regulations, has given a thorough and comprehensive evaluation of the impacts likely to result from the proposed Action. Based upon this evaluation the Town Board identified the following as potentially "Moderate to Large" impacts:

#### **1. Impact on Land**

- a. The proposed action may involve construction on land where depth to water table is less than 3 feet.*

Based on the soil report provided in the applicant's expanded EAF report, the entirety of the site is within areas where the water table is less than 3 feet. The Town of Canandaigua Town Board believes this impact to be moderate, long-term, probable, but not important based upon the following reasons:

Map Unit Symbol	Map Unit Name	Acres in LOI	Percent of LOI	Depth to Water Table
34A	Lakemont silty clay loam, 0 to 3 percent slopes	19.1	19.1%	0"
35A	Odessa silt loam, 0 to 3 percent slopes	29.5	29.4%	6"-18"
39A	Rhinebeck silty clay loam, 0 to 3 percent slopes	0	0.0%	10"-18"
260B	Cayuga silt loam, 3 to 8 percent slopes	2.4	2.3%	18"-24"
304A	Kendaia loam, 0 to 3 percent slopes	17.8	17.8%	6"-18"
356A	Ovid silt loam, 0 to 3 percent slopes	12.3	12.2%	10"-18"
356B	Ovid silt loam, 3 to 8 percent slopes	19.2	19.2%	10"-18"

# TOWN OF CANANDAIGUA TOWN BOARD

## STATE ENVIRONMENTAL QUALITY REVIEW (SEQR) FULL ENVIRONMENTAL ASSESSMENT FORM (EAF) PART 3 EVALUATION OF THE MAGNITUDE AND IMPORTANCE OF THE PROJECT IMPACTS AND DETERMINATION OF SIGNIFICANCE

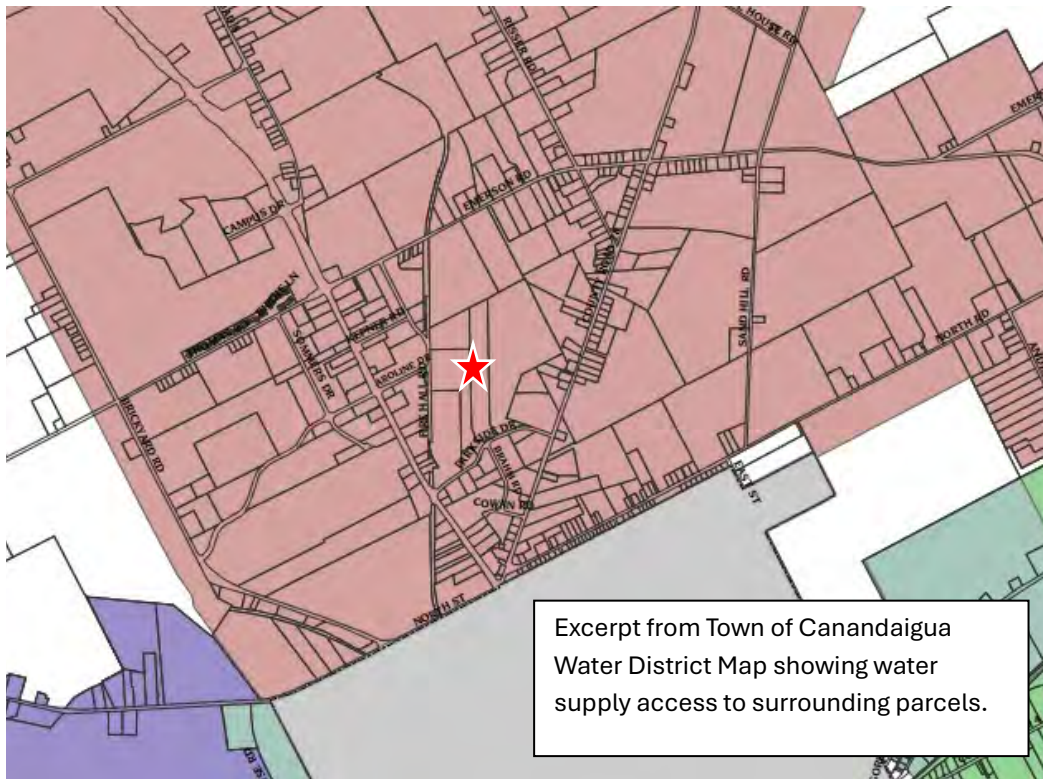
### **Uptown Landing Incentive Zoning and Preliminary Overall (Phased) Subdivision Review October 28, 2024**

---

The project will attempt to avoid high water table areas and consideration for the potential high groundwater, construction and staging methods will all be carefully considered in the final design and site plan approvals of the project by the Planning Board.

Additionally, no hazardous materials are proposed for being stored on site as a result of this project so there is little risk of contaminated groundwater with hazardous substances. From a water source standpoint, public water is provided to all properties surrounding the project site. The project will meet all NYSDEC requirements to assure that erosion and sedimentation are managed throughout the construction phase of the project.

The applicant has prepared a subsequent Geotechnical report for the project which showed that the actual depth to water on the site was around 8 ft. of depth.



# TOWN OF CANANDAIGUA TOWN BOARD

## STATE ENVIRONMENTAL QUALITY REVIEW (SEQR) FULL ENVIRONMENTAL ASSESSMENT FORM (EAF) PART 3 EVALUATION OF THE MAGNITUDE AND IMPORTANCE OF THE PROJECT IMPACTS AND DETERMINATION OF SIGNIFICANCE

### **Uptown Landing Incentive Zoning and Preliminary Overall (Phased) Subdivision Review October 28, 2024**

---

- e. The proposed action may involve construction that continues for more than one year or in multiple phases.*

Based on the materials provided by the applicant including the FEAF Part 1, the proposed project is proposed to cover 3 phases and 5 years from 2025 to 2030. The Town of Canandaigua Town Board believes this impact to be moderate, short-term, probable, but not important based upon the following reasons:

The project incorporates a construction phasing plan and a construction sequence that will comply with the Town of Canandaigua MS4 and NYSDEC requirements. Fire safety and emergency access will be maintained throughout the project. Surrounding land uses are substantially commercial or vacant or maintain large setbacks to minimize impacts during construction.

#### **11. Impact on Open Space and Recreation**

- d. The proposed action may result in loss of an area now used informally by the community as an open space resource.*

It is known that this project contains an identified snowmobile trail of the Lehigh Valley Snow Riders as provided by trails information from the NYS Snowmobile Association and NYS DEC. The Town of Canandaigua Town Board believes this impact to be moderate, long-term, probable, but not important based upon the following reasons:

The existing trail is upon private property and has been used with no prior agreement. The informal users may find alternative routes to their destination that may run along the road as occurs in other areas of the trail or may find other properties to traverse. There exist many potential connections to these routes.



# **TOWN OF CANANDAIGUA TOWN BOARD**

STATE ENVIRONMENTAL QUALITY REVIEW (SEQR) FULL ENVIRONMENTAL ASSESSMENT FORM (EAF) PART 3  
EVALUATION OF THE MAGNITUDE AND IMPORTANCE OF THE PROJECT IMPACTS AND DETERMINATION OF  
SIGNIFICANCE

**Uptown Landing**  
**Incentive Zoning and Preliminary Overall (Phased) Subdivision Review**  
October 28, 2024

---

### **13. Impact on Transportation**

- b. The proposed action may result in the construction of paved parking area for 500 or more vehicles.*

While the exact number of spaces is not provided, it is estimated here to be greater than 500. The Town of Canandaigua Town Board believes this impact to be moderate, long-term, probable, but not important based upon the following reasons:

The applicant has provided a transportation study showing no significant impact on transportation. Additionally the parking is broken up on the site so no large expanses are found. Landscape islands are provided within the parking areas and will be in accordance with the Town's Form Based Code and the requirements of the Planning Board during Site Plan approval. All stormwater runoff from these parking facilities will be treated in accordance with DEC requirements.

### **14. Impact on Energy**

- c. The proposed action may utilize more than 2,500 MWhrs per year of electricity.*

The Town of Canandaigua Town Board believes this impact to be moderate, medium-term, probable, but not important based upon the following reasons:

Because this is a residential project the expected users all will likely reside within the Rochester Metropolitan region regardless of this development occurring, therefore this doesn't represent a net increase in demand. Additionally, these projects being constructed with shared walls as multi-family buildings limit their exposure to exterior elements and therefore increase their energy efficiency. The proposed project will be designed consistent with electric supplier requirements for infrastructure, energy efficient fixtures and compliance with NYS Energy Code. It further only creates a small commercial space and residential development within an already suburbanized area. This project was referred to NYSEG and RGE as utility providers. No comments were provided.

- d. The proposed action may involve heating and/or cooling of more than 100,000 square feet of building area when completed.*

# TOWN OF CANANDAIGUA TOWN BOARD

STATE ENVIRONMENTAL QUALITY REVIEW (SEQR) FULL ENVIRONMENTAL ASSESSMENT FORM (EAF) PART 3  
EVALUATION OF THE MAGNITUDE AND IMPORTANCE OF THE PROJECT IMPACTS AND DETERMINATION OF  
SIGNIFICANCE

**Uptown Landing**  
**Incentive Zoning and Preliminary Overall (Phased) Subdivision Review**  
October 28, 2024

---

The Town of Canandaigua Town Board believes this impact to be moderate, long-term, probable, but not important based upon the following reasons:

The project is largely residential and includes the construction of only 5,000 sq. ft. of commercial space. The project includes land uses similar to the surrounding area, which is residential and does not, as a result of this project, require new, upgraded, creation of, or extensions of substations. The proposed project will be designed consistent with electric supplier requirements for infrastructure, energy efficient fixtures and compliance with NYS Energy Code. Additionally, these projects being constructed with shared walls as multi-family buildings limit their exposure to exterior elements and therefore increase their energy efficiency. This project was referred to NYSEG and RGE as utility providers. No comments were provided.

**17. Consistency with Community Plans**

*b. The proposed action will cause the permanent population of the city, town or village in which the project is located to grow by more than 5%.*

The proposed project will create 630 new residential units. A breakdown of expected population growth is included below. The estimated 2022 population for the Town of Canandaigua is 11,086. The estimated possible population growth as a result of this application would be 12.76%.

Unit Type	Number of Units	Avg. Household Size per 2022 5-yr ACS	Subtotal
Owner-Occupied Units	315	2.44	803.25
Renter Occupied Units	315	1.94	611.1
Total			1,414.35

The Town of Canandaigua Town Board believes this impact to be moderate, short-term, possible, but not important based upon the following reasons:

The estimate provided assumes that all residents of these dwellings will be new residents of the Town and not children seeking new housing accommodations, for example. The project will be providing housing options that may or may not be available in sufficient quantity for existing demand from Town residents. The population growth is not a significant impact because this has been an identified goal of the community in the current comprehensive plan and other Town



# **TOWN OF CANANDAIGUA TOWN BOARD**

*STATE ENVIRONMENTAL QUALITY REVIEW (SEQR) FULL ENVIRONMENTAL ASSESSMENT FORM (EAF) PART 3  
EVALUATION OF THE MAGNITUDE AND IMPORTANCE OF THE PROJECT IMPACTS AND DETERMINATION OF  
SIGNIFICANCE*

**Uptown Landing  
Incentive Zoning and Preliminary Overall (Phased) Subdivision Review  
October 28, 2024**

---

planning documents. The design of the site is such that it does not maximize density on site while providing options for future residents to explore. It further provides new housing options to residents to loosen the existing tight housing market. It provides a nearby home for new residents who might otherwise be driving long distances into the community thereby reducing traffic. Finally, it is located nearby jobs and with multimodal access to further reduce demand on roadways.

**Full Environmental Assessment Form**  
**Part 2 - Identification of Potential Project Impacts**

Project :

Date :

**Part 2 is to be completed by the lead agency.** Part 2 is designed to help the lead agency inventory all potential resources that could be affected by a proposed project or action. We recognize that the lead agency’s reviewer(s) will not necessarily be environmental professionals. So, the questions are designed to walk a reviewer through the assessment process by providing a series of questions that can be answered using the information found in Part 1. To further assist the lead agency in completing Part 2, the form identifies the most relevant questions in Part 1 that will provide the information needed to answer the Part 2 question. When Part 2 is completed, the lead agency will have identified the relevant environmental areas that may be impacted by the proposed activity.

If the lead agency is a state agency **and** the action is in any Coastal Area, complete the Coastal Assessment Form before proceeding with this assessment.

**Tips for completing Part 2:**

- Review all of the information provided in Part 1.
- Review any application, maps, supporting materials and the Full EAF Workbook.
- Answer each of the 18 questions in Part 2.
- If you answer “**Yes**” to a numbered question, please complete all the questions that follow in that section.
- If you answer “**No**” to a numbered question, move on to the next numbered question.
- Check appropriate column to indicate the anticipated size of the impact.
- Proposed projects that would exceed a numeric threshold contained in a question should result in the reviewing agency checking the box “Moderate to large impact may occur.”
- The reviewer is not expected to be an expert in environmental analysis.
- If you are not sure or undecided about the size of an impact, it may help to review the sub-questions for the general question and consult the workbook.
- When answering a question consider all components of the proposed activity, that is, the “whole action”.
- Consider the possibility for long-term and cumulative impacts as well as direct impacts.
- Answer the question in a reasonable manner considering the scale and context of the project.

1. <b>Impact on Land</b>			
Proposed action may involve construction on, or physical alteration of, the land surface of the proposed site. (See Part 1. D.1)		<input type="checkbox"/> NO	<input type="checkbox"/> YES
<i>If “Yes”, answer questions a - j. If “No”, move on to Section 2.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may involve construction on land where depth to water table is less than 3 feet.	E2d	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may involve construction on slopes of 15% or greater.	E2f	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve construction on land where bedrock is exposed, or generally within 5 feet of existing ground surface.	E2a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve the excavation and removal of more than 1,000 tons of natural material.	D2a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may involve construction that continues for more than one year or in multiple phases.	D1e	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in increased erosion, whether from physical disturbance or vegetation removal (including from treatment by herbicides).	D2e, D2q	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action is, or may be, located within a Coastal Erosion hazard area.	B1i	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>2. Impact on Geological Features</b> The proposed action may result in the modification or destruction of, or inhibit access to, any unique or unusual land forms on the site (e.g., cliffs, dunes, minerals, fossils, caves). (See Part 1. E.2.g) <span style="float: right;"><input type="checkbox"/> NO <input type="checkbox"/> YES</span> <i>If "Yes", answer questions a - c. If "No", move on to Section 3.</i>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. Identify the specific land form(s) attached: _____ _____	E2g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may affect or is adjacent to a geological feature listed as a registered National Natural Landmark. Specific feature: _____	E3c	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>3. Impacts on Surface Water</b> The proposed action may affect one or more wetlands or other surface water bodies (e.g., streams, rivers, ponds or lakes). (See Part 1. D.2, E.2.h) <span style="float: right;"><input type="checkbox"/> NO <input type="checkbox"/> YES</span> <i>If "Yes", answer questions a - l. If "No", move on to Section 4.</i>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may create a new water body.	D2b, D1h	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in an increase or decrease of over 10% or more than a 10 acre increase or decrease in the surface area of any body of water.	D2b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may involve dredging more than 100 cubic yards of material from a wetland or water body.	D2a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve construction within or adjoining a freshwater or tidal wetland, or in the bed or banks of any other water body.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may create turbidity in a waterbody, either from upland erosion, runoff or by disturbing bottom sediments.	D2a, D2h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may include construction of one or more intake(s) for withdrawal of water from surface water.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may include construction of one or more outfall(s) for discharge of wastewater to surface water(s).	D2d	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may cause soil erosion, or otherwise create a source of stormwater discharge that may lead to siltation or other degradation of receiving water bodies.	D2e	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may affect the water quality of any water bodies within or downstream of the site of the proposed action.	E2h	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may involve the application of pesticides or herbicides in or around any water body.	D2q, E2h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may require the construction of new, or expansion of existing, wastewater treatment facilities.	D1a, D2d	<input type="checkbox"/>	<input type="checkbox"/>

I. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
----------------------------------	--	--------------------------	--------------------------

<b>4. Impact on groundwater</b> The proposed action may result in new or additional use of ground water, or may have the potential to introduce contaminants to ground water or an aquifer. <span style="float: right;"><input type="checkbox"/> NO <input type="checkbox"/> YES</span> (See Part 1. D.2.a, D.2.c, D.2.d, D.2.p, D.2.q, D.2.t) <i>If "Yes", answer questions a - h. If "No", move on to Section 5.</i>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may require new water supply wells, or create additional demand on supplies from existing water supply wells.	D2c	<input type="checkbox"/>	<input type="checkbox"/>
b. Water supply demand from the proposed action may exceed safe and sustainable withdrawal capacity rate of the local supply or aquifer. Cite Source: _____	D2c	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may allow or result in residential uses in areas without water and sewer services.	D1a, D2c	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may include or require wastewater discharged to groundwater.	D2d, E2l	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the construction of water supply wells in locations where groundwater is, or is suspected to be, contaminated.	D2c, E1f, E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may require the bulk storage of petroleum or chemical products over ground water or an aquifer.	D2p, E2l	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may involve the commercial application of pesticides within 100 feet of potable drinking water or irrigation sources.	E2h, D2q, E2l, D2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>5. Impact on Flooding</b> The proposed action may result in development on lands subject to flooding. <span style="float: right;"><input type="checkbox"/> NO <input type="checkbox"/> YES</span> (See Part 1. E.2) <i>If "Yes", answer questions a - g. If "No", move on to Section 6.</i>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may result in development in a designated floodway.	E2i	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in development within a 100 year floodplain.	E2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in development within a 500 year floodplain.	E2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in, or require, modification of existing drainage patterns.	D2b, D2e	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may change flood water flows that contribute to flooding.	D2b, E2i, E2j, E2k	<input type="checkbox"/>	<input type="checkbox"/>
f. If there is a dam located on the site of the proposed action, is the dam in need of repair, or upgrade?	E1e	<input type="checkbox"/>	<input type="checkbox"/>

g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
----------------------------------	--	--------------------------	--------------------------

<b>6. Impacts on Air</b>			
The proposed action may include a state regulated air emission source. (See Part 1. D.2.f., D.2.h, D.2.g) <i>If "Yes", answer questions a - f. If "No", move on to Section 7.</i>		<input type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. If the proposed action requires federal or state air emission permits, the action may also emit one or more greenhouse gases at or above the following levels: i. More than 1000 tons/year of carbon dioxide (CO <sub>2</sub> ) ii. More than 3.5 tons/year of nitrous oxide (N <sub>2</sub> O) iii. More than 1000 tons/year of carbon equivalent of perfluorocarbons (PFCs) iv. More than .045 tons/year of sulfur hexafluoride (SF <sub>6</sub> ) v. More than 1000 tons/year of carbon dioxide equivalent of hydrochloroflourocarbons (HFCs) emissions vi. 43 tons/year or more of methane	D2g D2g D2g D2g D2g D2h	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/> <input type="checkbox"/>
b. The proposed action may generate 10 tons/year or more of any one designated hazardous air pollutant, or 25 tons/year or more of any combination of such hazardous air pollutants.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may require a state air registration, or may produce an emissions rate of total contaminants that may exceed 5 lbs. per hour, or may include a heat source capable of producing more than 10 million BTU's per hour.	D2f, D2g	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may reach 50% of any of the thresholds in "a" through "c", above.	D2g	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in the combustion or thermal treatment of more than 1 ton of refuse per hour.	D2s	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>7. Impact on Plants and Animals</b>			
The proposed action may result in a loss of flora or fauna. (See Part 1. E.2. m.-q.) <i>If "Yes", answer questions a - j. If "No", move on to Section 8.</i>		<input type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may cause reduction in population or loss of individuals of any threatened or endangered species, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction or degradation of any habitat used by any rare, threatened or endangered species, as listed by New York State or the federal government.	E2o	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may cause reduction in population, or loss of individuals, of any species of special concern or conservation need, as listed by New York State or the Federal government, that use the site, or are found on, over, or near the site.	E2p	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in a reduction or degradation of any habitat used by any species of special concern and conservation need, as listed by New York State or the Federal government.	E2p	<input type="checkbox"/>	<input type="checkbox"/>

e. The proposed action may diminish the capacity of a registered National Natural Landmark to support the biological community it was established to protect.	E3c	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result in the removal of, or ground disturbance in, any portion of a designated significant natural community. Source: _____	E2n	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may substantially interfere with nesting/breeding, foraging, or over-wintering habitat for the predominant species that occupy or use the project site.	E2m	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action requires the conversion of more than 10 acres of forest, grassland or any other regionally or locally important habitat. Habitat type & information source: _____	E1b	<input type="checkbox"/>	<input type="checkbox"/>
i. Proposed action (commercial, industrial or recreational projects, only) involves use of herbicides or pesticides.	D2q	<input type="checkbox"/>	<input type="checkbox"/>
j. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>8. Impact on Agricultural Resources</b>			
The proposed action may impact agricultural resources. (See Part 1. E.3.a. and b.)		<input type="checkbox"/> NO	<input type="checkbox"/> YES
<i>If "Yes", answer questions a - h. If "No", move on to Section 9.</i>			
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may impact soil classified within soil group 1 through 4 of the NYS Land Classification System.	E2c, E3b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may sever, cross or otherwise limit access to agricultural land (includes cropland, hayfields, pasture, vineyard, orchard, etc).	E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in the excavation or compaction of the soil profile of active agricultural land.	E3b	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may irreversibly convert agricultural land to non-agricultural uses, either more than 2.5 acres if located in an Agricultural District, or more than 10 acres if not within an Agricultural District.	E1b, E3a	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may disrupt or prevent installation of an agricultural land management system.	E1 a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action may result, directly or indirectly, in increased development potential or pressure on farmland.	C2c, C3, D2c, D2d	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed project is not consistent with the adopted municipal Farmland Protection Plan.	C2c	<input type="checkbox"/>	<input type="checkbox"/>
h. Other impacts: _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>9. Impact on Aesthetic Resources</b> The land use of the proposed action are obviously different from, or are in sharp contrast to, current land use patterns between the proposed project and a scenic or aesthetic resource. (Part 1. E.1.a, E.1.b, E.3.h.) <i>If "Yes", answer questions a - g. If "No", go to Section 10.</i>				<input type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>		
a. Proposed action may be visible from any officially designated federal, state, or local scenic or aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>		
b. The proposed action may result in the obstruction, elimination or significant screening of one or more officially designated scenic views.	E3h, C2b	<input type="checkbox"/>	<input type="checkbox"/>		
c. The proposed action may be visible from publicly accessible vantage points: i. Seasonally (e.g., screened by summer foliage, but visible during other seasons) ii. Year round	E3h	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>		
d. The situation or activity in which viewers are engaged while viewing the proposed action is: i. Routine travel by residents, including travel to and from work ii. Recreational or tourism based activities	E3h E2q, E1c	<input type="checkbox"/> <input type="checkbox"/>	<input type="checkbox"/> <input type="checkbox"/>		
e. The proposed action may cause a diminishment of the public enjoyment and appreciation of the designated aesthetic resource.	E3h	<input type="checkbox"/>	<input type="checkbox"/>		
f. There are similar projects visible within the following distance of the proposed project: 0-1/2 mile 1/2 -3 mile 3-5 mile 5+ mile	D1a, E1a, D1f, D1g	<input type="checkbox"/>	<input type="checkbox"/>		
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>		

<b>10. Impact on Historic and Archeological Resources</b> The proposed action may occur in or adjacent to a historic or archaeological resource. (Part 1. E.3.e, f. and g.) <i>If "Yes", answer questions a - e. If "No", go to Section 11.</i>				<input type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>		
a. The proposed action may occur wholly or partially within, or substantially contiguous to, any buildings, archaeological site or district which is listed on the National or State Register of Historical Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places.	E3e	<input type="checkbox"/>	<input type="checkbox"/>		
b. The proposed action may occur wholly or partially within, or substantially contiguous to, an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory.	E3f	<input type="checkbox"/>	<input type="checkbox"/>		
c. The proposed action may occur wholly or partially within, or substantially contiguous to, an archaeological site not included on the NY SHPO inventory. Source: _____	E3g	<input type="checkbox"/>	<input type="checkbox"/>		

d. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>
e. If any of the above (a-d) are answered “Moderate to large impact may occur”, continue with the following questions to help support conclusions in Part 3:			
i. The proposed action may result in the destruction or alteration of all or part of the site or property.	E3e, E3g, E3f	<input type="checkbox"/>	<input type="checkbox"/>
ii. The proposed action may result in the alteration of the property’s setting or integrity.	E3e, E3f, E3g, E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
iii. The proposed action may result in the introduction of visual elements which are out of character with the site or property, or may alter its setting.	E3e, E3f, E3g, E3h, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>

<b>11. Impact on Open Space and Recreation</b>			
The proposed action may result in a loss of recreational opportunities or a reduction of an open space resource as designated in any adopted municipal open space plan. (See Part 1. C.2.c, E.1.c., E.2.q.) <i>If “Yes”, answer questions a - e. If “No”, go to Section 12.</i>		<input type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may result in an impairment of natural functions, or “ecosystem services”, provided by an undeveloped area, including but not limited to stormwater storage, nutrient cycling, wildlife habitat.	D2e, E1b E2h, E2m, E2o, E2n, E2p	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the loss of a current or future recreational resource.	C2a, E1c, C2c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may eliminate open space or recreational resource in an area with few such resources.	C2a, C2c E1c, E2q	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may result in loss of an area now used informally by the community as an open space resource.	C2c, E1c	<input type="checkbox"/>	<input type="checkbox"/>
e. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>12. Impact on Critical Environmental Areas</b>			
The proposed action may be located within or adjacent to a critical environmental area (CEA). (See Part 1. E.3.d) <i>If “Yes”, answer questions a - c. If “No”, go to Section 13.</i>		<input type="checkbox"/> NO	<input type="checkbox"/> YES
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may result in a reduction in the quantity of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in a reduction in the quality of the resource or characteristic which was the basis for designation of the CEA.	E3d	<input type="checkbox"/>	<input type="checkbox"/>
c. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>



<b>13. Impact on Transportation</b> The proposed action may result in a change to existing transportation systems. <input type="checkbox"/> NO <input type="checkbox"/> YES (See Part 1. D.2.j) <i>If "Yes", answer questions a - f. If "No", go to Section 14.</i>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. Projected traffic increase may exceed capacity of existing road network.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in the construction of paved parking area for 500 or more vehicles.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action will degrade existing transit access.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action will degrade existing pedestrian or bicycle accommodations.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may alter the present pattern of movement of people or goods.	D2j	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>14. Impact on Energy</b> The proposed action may cause an increase in the use of any form of energy. <input type="checkbox"/> NO <input type="checkbox"/> YES (See Part 1. D.2.k) <i>If "Yes", answer questions a - e. If "No", go to Section 15.</i>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action will require a new, or an upgrade to an existing, substation.	D2k	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will require the creation or extension of an energy transmission or supply system to serve more than 50 single or two-family residences or to serve a commercial or industrial use.	D1f, D1q, D2k	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may utilize more than 2,500 MWhrs per year of electricity.	D2k	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may involve heating and/or cooling of more than 100,000 square feet of building area when completed.	D1g	<input type="checkbox"/>	<input type="checkbox"/>
e. Other Impacts: _____ _____			

<b>15. Impact on Noise, Odor, and Light</b> The proposed action may result in an increase in noise, odors, or outdoor lighting. <input type="checkbox"/> NO <input type="checkbox"/> YES (See Part 1. D.2.m., n., and o.) <i>If "Yes", answer questions a - f. If "No", go to Section 16.</i>			
	<b>Relevant Part I Question(s)</b>	<b>No, or small impact may occur</b>	<b>Moderate to large impact may occur</b>
a. The proposed action may produce sound above noise levels established by local regulation.	D2m	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may result in blasting within 1,500 feet of any residence, hospital, school, licensed day care center, or nursing home.	D2m, E1d	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may result in routine odors for more than one hour per day.	D2o	<input type="checkbox"/>	<input type="checkbox"/>

d. The proposed action may result in light shining onto adjoining properties.	D2n	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may result in lighting creating sky-glow brighter than existing area conditions.	D2n, E1a	<input type="checkbox"/>	<input type="checkbox"/>
f. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>16. Impact on Human Health</b>			
The proposed action may have an impact on human health from exposure to new or existing sources of contaminants. (See Part 1.D.2.q., E.1. d. f. g. and h.) <i>If "Yes", answer questions a - m. If "No", go to Section 17.</i>		<input type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action is located within 1500 feet of a school, hospital, licensed day care center, group home, nursing home or retirement community.	E1d	<input type="checkbox"/>	<input type="checkbox"/>
b. The site of the proposed action is currently undergoing remediation.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
c. There is a completed emergency spill remediation, or a completed environmental site remediation on, or adjacent to, the site of the proposed action.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
d. The site of the action is subject to an institutional control limiting the use of the property (e.g., easement or deed restriction).	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may affect institutional control measures that were put in place to ensure that the site remains protective of the environment and human health.	E1g, E1h	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action has adequate control measures in place to ensure that future generation, treatment and/or disposal of hazardous wastes will be protective of the environment and human health.	D2t	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action involves construction or modification of a solid waste management facility.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
h. The proposed action may result in the unearthing of solid or hazardous waste.	D2q, E1f	<input type="checkbox"/>	<input type="checkbox"/>
i. The proposed action may result in an increase in the rate of disposal, or processing, of solid waste.	D2r, D2s	<input type="checkbox"/>	<input type="checkbox"/>
j. The proposed action may result in excavation or other disturbance within 2000 feet of a site used for the disposal of solid or hazardous waste.	E1f, E1g E1h	<input type="checkbox"/>	<input type="checkbox"/>
k. The proposed action may result in the migration of explosive gases from a landfill site to adjacent off site structures.	E1f, E1g	<input type="checkbox"/>	<input type="checkbox"/>
l. The proposed action may result in the release of contaminated leachate from the project site.	D2s, E1f, D2r	<input type="checkbox"/>	<input type="checkbox"/>
m. Other impacts: _____ _____			

<b>17. Consistency with Community Plans</b>			
The proposed action is not consistent with adopted land use plans. (See Part 1. C.1, C.2. and C.3.) <i>If “Yes”, answer questions a - h. If “No”, go to Section 18.</i>		<input type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action’s land use components may be different from, or in sharp contrast to, current surrounding land use pattern(s).	C2, C3, D1a E1a, E1b	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action will cause the permanent population of the city, town or village in which the project is located to grow by more than 5%.	C2	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action is inconsistent with local land use plans or zoning regulations.	C2, C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action is inconsistent with any County plans, or other regional land use plans.	C2, C2	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action may cause a change in the density of development that is not supported by existing infrastructure or is distant from existing infrastructure.	C3, D1c, D1d, D1f, D1d, E1b	<input type="checkbox"/>	<input type="checkbox"/>
f. The proposed action is located in an area characterized by low density development that will require new or expanded public infrastructure.	C4, D2c, D2d D2j	<input type="checkbox"/>	<input type="checkbox"/>
g. The proposed action may induce secondary development impacts (e.g., residential or commercial development not included in the proposed action)	C2a	<input type="checkbox"/>	<input type="checkbox"/>
h. Other: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

<b>18. Consistency with Community Character</b>			
The proposed project is inconsistent with the existing community character. (See Part 1. C.2, C.3, D.2, E.3) <i>If “Yes”, answer questions a - g. If “No”, proceed to Part 3.</i>		<input type="checkbox"/> NO	<input type="checkbox"/> YES
	Relevant Part I Question(s)	No, or small impact may occur	Moderate to large impact may occur
a. The proposed action may replace or eliminate existing facilities, structures, or areas of historic importance to the community.	E3e, E3f, E3g	<input type="checkbox"/>	<input type="checkbox"/>
b. The proposed action may create a demand for additional community services (e.g. schools, police and fire)	C4	<input type="checkbox"/>	<input type="checkbox"/>
c. The proposed action may displace affordable or low-income housing in an area where there is a shortage of such housing.	C2, C3, D1f D1g, E1a	<input type="checkbox"/>	<input type="checkbox"/>
d. The proposed action may interfere with the use or enjoyment of officially recognized or designated public resources.	C2, E3	<input type="checkbox"/>	<input type="checkbox"/>
e. The proposed action is inconsistent with the predominant architectural scale and character.	C2, C3	<input type="checkbox"/>	<input type="checkbox"/>
f. Proposed action is inconsistent with the character of the existing natural landscape.	C2, C3 E1a, E1b E2g, E2h	<input type="checkbox"/>	<input type="checkbox"/>
g. Other impacts: _____ _____		<input type="checkbox"/>	<input type="checkbox"/>

Project :

Date :

***Full Environmental Assessment Form***  
***Part 3 - Evaluation of the Magnitude and Importance of Project Impacts***  
***and***  
***Determination of Significance***

Part 3 provides the reasons in support of the determination of significance. The lead agency must complete Part 3 for every question in Part 2 where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.

Based on the analysis in Part 3, the lead agency must decide whether to require an environmental impact statement to further assess the proposed action or whether available information is sufficient for the lead agency to conclude that the proposed action will not have a significant adverse environmental impact. By completing the certification on the next page, the lead agency can complete its determination of significance.

**Reasons Supporting This Determination:**

To complete this section:

- Identify the impact based on the Part 2 responses and describe its magnitude. Magnitude considers factors such as severity, size or extent of an impact.
- Assess the importance of the impact. Importance relates to the geographic scope, duration, probability of the impact occurring, number of people affected by the impact and any additional environmental consequences if the impact were to occur.
- The assessment should take into consideration any design element or project changes.
- Repeat this process for each Part 2 question where the impact has been identified as potentially moderate to large or where there is a need to explain why a particular element of the proposed action will not, or may, result in a significant adverse environmental impact.
- Provide the reason(s) why the impact may, or will not, result in a significant adverse environmental impact
- For Conditional Negative Declarations identify the specific condition(s) imposed that will modify the proposed action so that no significant adverse environmental impacts will result.
- Attach additional sheets, as needed.

**Determination of Significance - Type 1 and Unlisted Actions**

SEQR Status:             Type 1                       Unlisted

Identify portions of EAF completed for this Project:    Part 1             Part 2             Part 3

Upon review of the information recorded on this EAF, as noted, plus this additional support information

and considering both the magnitude and importance of each identified potential impact, it is the conclusion of the \_\_\_\_\_ as lead agency that:

A. This project will result in no significant adverse impacts on the environment, and, therefore, an environmental impact statement need not be prepared. Accordingly, this negative declaration is issued.

B. Although this project could have a significant adverse impact on the environment, that impact will be avoided or substantially mitigated because of the following conditions which will be required by the lead agency:

There will, therefore, be no significant adverse impacts from the project as conditioned, and, therefore, this conditioned negative declaration is issued. A conditioned negative declaration may be used only for UNLISTED actions (see 6 NYCRR 617.7(d)).

C. This Project may result in one or more significant adverse impacts on the environment, and an environmental impact statement must be prepared to further assess the impact(s) and possible mitigation and to explore alternatives to avoid or reduce those impacts. Accordingly, this positive declaration is issued.

Name of Action:

Name of Lead Agency:

Name of Responsible Officer in Lead Agency:

Title of Responsible Officer:

Signature of Responsible Officer in Lead Agency:

Date:

Signature of Preparer (if different from Responsible Officer)

Date:

**For Further Information:**

Contact Person:

Address:

Telephone Number:

E-mail:

**For Type 1 Actions and Conditioned Negative Declarations, a copy of this Notice is sent to:**

Chief Executive Officer of the political subdivision in which the action will be principally located (e.g., Town / City / Village of)

Other involved agencies (if any)

Applicant (if any)

Environmental Notice Bulletin: <http://www.dec.ny.gov/enb/enb.html>

# **ATTACHMENT 6**



October 10, 2024

Mr. Christian Nadler, Town Attorney  
Town of Canandaigua  
5440 Routes 5 & 20 West  
Canandaigua, NY 14424

Re: Response to MRB Group Comments  
Uptown Landing Incentive Zoning Proposal  
CPN No. 24-088 | MRB Group Project No. 0300.12001.000 Phase 377  
Town of Canandaigua, Ontario County

Dear Christian,

On behalf of our client, Uptown Landing, LLC, we are submitting this letter to address each comment received from the MRB Group.

### **MRB GROUP COMMENTS – 09/20/2024**

#### **PROPOSED INCENTIVES**

1. *Reduction of Transparency – Value of ~\$239,500*

*We believe it would be helpful to understand how this estimate has been calculated. Further, it is our understanding that this estimate does not include consideration of the value of reduced transparency for Single-Family and Town Houses because the developer will be selling lots to the homebuilders. Is the assumption that the lot's market value is unchanged based upon these modifications to transparency requirements?*

Items 1 and 2 are related as glass removed must be filled with other materials. See response to #2 for calculations.

2. *Façade Materials – Value of ~\$450,000*

*We believe it would be helpful to understand how this estimate has been calculated. Further, it is our understanding that this estimate does not include consideration of the value of required façade materials for Single-Family and Town Houses because the developer will be selling lots to the homebuilders. Is the assumption that the lot's market value is unchanged based upon these modifications to material requirements?*

The project apartment buildings and mixed-use building have a total of 86,128 SF of façade facing the interior and exterior roadways. The proposed incentive for reduction in transparency will result in a total of 15,835 SF of façade being constructed in siding or masonry instead of glass.

*Going the distance for you.*

Utilizing vinyl and masonry products instead of glass = \$696,766 results in savings across 9 buildings (Mixed Use and 8 Apt Buildings). This has been rounded to the above \$689,000 indicated in Items 1 and 2 above.

Calculation details:

15,835 SF of Glass (Transparency) – calculated value is \$1,290,000 (\$81/sf).

Filling that square footage with siding/wall assembly – calculated value \$602,000 (\$38/sf)

The savings to the Developer therefore is approximately \$688,000.

Stone or masonry valued at \$60/sf, for purposes of calculation only vinyl at the lower price of \$38/ sf was used to replace the reduced transparency.

The lot value for single family homes and townhomes is unchanged. 50% transparency is not marketable for single-family/townhomes in the Greater Rochester area. The selected materials would be a straight pass-through to homebuyer, does not affect cost of development of the lots.

3. *Lot Sizes – Value of \$0*

*The provided report states that the requested reduced lot width incentive for Single Family and Town House lots has no value because the project is significantly less dense than the code permits. We believe this conflates density with lot widths which are separate, albeit related, incentives that can be considered by the Town Board. Therefore, we believe the calculation for value of lot width as an incentive should be provided.*

*We would suggest the calculation begin with a hypothetical arrangement of single-family lots at the required lot width compared to the proposed lot width. The value of the incentive would at least be the lot value difference in the number of lots between scenario 1 and 2 that could be fit on the site, presumably scenario 1 would have fewer lots as lot frontage is divided into larger portions.*

If the underlying zoning only permitted single-family use allowable as development, then we would concur with this approach. Given that the allowable density is substantially greater than what is being requested, the single-family lot width which meets the goals of the Town to provide various residential options to prospective residents has no calculable dollar value as an incentive to the developer.

4. *Lot Setbacks – Value of \$0*

*The report states that the requested Apartment and Mixed-Use building setback “is an incentive to the developer and an amenity will be offered.” However, no calculation of the value of this incentive is provided.*



The setback to apartments and mixed-use was anticipated to meet the required 0-20'. However, it was discovered during survey that RG&E has a 50' easement along Firehall Rd. We've been able to reduce that easement to 25' but need to have the ability to step the bldg. from there. Therefore, this is not an incentive due to the easement restriction.

### **PROPOSED AMENITIES**

1. *Park Recreational Equipment – Value of \$65,000*

*We believe it would be helpful to understand how this estimate has been calculated. If the applicant has received a quote, we believe that would be sufficient.*

The below links are the provider where preliminary pricing was obtained. A formal quote has not been solicited yet but is very similar to other projects Christa Development has installed.  
<https://proplaygrounds.com/product-category/commercial-playground-equipment/themed-and-custom-commercial-playground-equipment/castle-themed-commercial-playground-equipment-structures/?orderby=price-desc&stylesheet&activated>

<https://proplaygrounds.com/product-category/outdoor-commercial-fitness-equipment/complete-commercial-outdoor-fitness-gyms-and-obstacle-courses/>

2. *Off-Site Sidewalks (~2,500 LF) – Value of \$215,000*

*Other 2024 estimates of sidewalks in projects within Ontario County include the unit value of around \$40 per linear foot while the estimate of \$86/LF is provided for Uptown Landing. Any additional information on the expected cost of this sidewalk would be appreciated.*

The proposed sidewalk amenity now totals ~2,850 linear feet of 5' wide concrete sidewalk. It is anticipated that with minor grading work, sidewalk boxout and disposal of excess materials, sidewalk placement, topsoiling seeding and restoration, maintenance and protection of traffic, as well as soft costs for topography and design that are the developer's responsibility that the calculated ~\$75/LF is appropriate. The total calculated value is \$213,750 rounded to \$215,000.

3. *New Public Restroom in Park – Value of \$335,000*

*We believe it would be helpful to understand how this estimate has been calculated. If the applicant has received a quote, we believe that would be sufficient.*

Priced by Christa Construction for \$211,000, but did not include site work or utility connections.

Estimated cost for site work (excavation, water, sanitary, electric connections, backfill, export spoils, stone, fine grade, rockhound and hydroseed), design fees and contingency - \$124,000.

4. *Asphalt Pavement on Stone Dust Trails – Value of \$97,500*

*We believe it would be helpful to understand how this estimate has been calculated.*

3,300 linear feet of asphalt pavement by 8' wide = ~26,400 sf of asphalt pavement added to trails. Costs are estimated at \$3/sf of asphalt = \$82,500 with \$15,000 for fine grading of existing stone and amending where needed to prep for asphalt placement.

5. *Right-of-Way Connection to North Property Line – Value of \$80,000*

*We do not believe this should be considered an incentive to be considered by the Town Board. Per Town Code Section 174-21 A.14. a street right-of-way must be extended to surrounding properties to permit access to adjoining tracts.*

Acknowledged, this will be removed from the incentive values list.

Please do not hesitate to contact our office with any questions.

Respectfully submitted,



Matt Tomlinson, Partner  
MARATHON ENGINEERING

cc: Uptown Landing Team

2. 195-2024 Plans Battle Barn
3. 195-2024 Aerial Battle Barn

**Board Motion: To retain referral 195-2024 as a class 2 and return to the local board with recommendation for approval with comments. Motion made by: Stephen High, seconded by: Roslyn Grammer. Vote: Yes 11, No 0, Abstained 1 (AJ Magnan). The Motion passed.**

## 6. Town Of Canandaigua

185.0-2024 Subdivision and Map Amendment to rezone four (4) parcels totaling 100-acres (east of Firehouse Rd.) to the Incentive Zoning District, in the Town of Canandaigua. Future development includes for-sale townhomes (90 units), single-family housing (230 units), for-rent apartments (220 units), and as mixed-use retail/residential building (90 units and 5,000 SF of commercial/retail space).

**Municipality:** Town of Canandaigua  
**Referring Board:** Town Board  
**Applicant:** Marathon Engineering  
**Application Type:** Map Amendment  
**Class:** 2

### Description & Review Comments:

The four parcels of land comprising the development area are bordered by Firehall Road (predominately commercial land use) to the west, Parkside Drive (predominately commercial land uses) and Blue Heron Park to the south, agricultural lands to the north, and a residential development to the east.

According to Oncor:

- There are no Federal or NYS DEC wetlands on the parcel
- There is little to no slope (0-3% gradient)
- Soil is primarily Kendaia Loam, Odessa Silt Loam, and Ovid Silt Loam - all listed as prime farmland if drained).
- Land Cover is predominately successional old field going to successional shrubland.
- Adjacent parcels to the north lie within Ontario County Agricultural District #1.

The applicant mentioned that the project has the infrastructure available to support the project - Ontario County owned sewer mains and pump stations, Town of Farmington owned water mains, and Town owned roadways connected to County Road 28 and NYS Route 332 in close proximity. The development will proceed in 3-4 phases with ultimate build-out anticipated in approximately 2035. Sidewalks are proposed on one-side of almost all of the roads within the development.

The proposed project requires incentive zoning approval to develop the mix of housing envisioned by the developer. While all uses proposed are permitted within the zoning, there are several modifications, including relief from the following standards (see project summary in links):

- Single family and Town House lot width
- Single-family building setbacks
- Town house, Apartment, and Mixed-Use building setbacks
- Façade transparency requirements

- Single-family and Townhome driveway setbacks

The applicant mentions that the relief requested does not provide a substantial monetary benefit to the developer as the form-based code permits significantly more dense development than is currently proposed. Instead, the modifications allow the developer to offer single-family and townhomes at a lower price point than what is typical to the market and provides a transitional design to fit within the surrounding neighborhood development patterns.

The applicant mentions this project fills the need for housing in the community and meets the guideline principles of the Mixed-Use Development Subarea (pg. 74 of the Final Uptown Form Based Code):

- Expansion of lower density mixed uses
  - The proposed development includes 5-7 dwelling units per acre (total project) with a wide range of for-rent and ownership opportunities at a variety of price points.
- Establish a combination of low density, multi-family homes in close proximity to commercial uses.
  - The west side of the project includes the commercial/retail mixed-use component and is immediately across the street from the State Route 332 Subarea on Firehall Road where a larger commercial presence is anticipated. The proposed residential housing is a mix of for-rent and for-sale with a multitude of options for community residents looking for new homes.
- Expansion of mixed-residential uses in the Town
  - The mix of apartments, single-family homes and townhomes fully complies with this guiding principle.
- Encourage multi-modal mobility options
  - The central boulevard is intended to be a complete street with additional pedestrian improvements and park connections included in the design. Offsite sidewalks for enhancing pedestrian connectivity to NYS Route 332 and existing commercial development are also incorporated in the incentives, discussed later in this report.
- Ensure new development and site design does not negatively impact adjacent residential uses
  - The proposed project thoughtfully transitions to the lower impact single-family homes adjacent to large-lot residential uses on the north and east with the apartments and mixed-use adjacent to the multifamily zoning and State Route 332 Subarea zoning to the south and west. A report was submitted providing details on specific requested incentives and amenities offered. In total the incentives requested that benefit the developer are estimated at a value of \$689,500 and the amenities offered have an estimated value of \$828,200. Proposed incentives are based on feedback from multiple parties within the Town of Canandaigua including Town Board members, Planning Board members, the Parks and Recreation committee, Town of Farmington Sewer and Water, and Ontario County DPW.

After discussions the developer has proposed the following amenities:

- Park recreational equipment
  - Sidewalk Installation on Fire Hall Road. Developer shall design and install 5' wide concrete sidewalk on the east side of Fire Hall Road from Parkside Drive to the northern boundary of Blue Heron Park.
  - Sidewalk Installation on Parkside Drive. Developer shall design and install 5' wide concrete sidewalks on the north side of Parkside Drive from the sidewalk on the west side of NYS Route 332 to the eastern border of its property on Parkside Drive.
- New public restroom in Blue Heron Park. The developer proposes to add the park to the sewer district and extend sanitary service to the restroom location.

- Put asphalt pavement on the stone dust trails within Blue Heron Park (decreasing maintenance, increasing accessibility).
- Right-of-way connection to north property line

**Comments**

1. Will there be a vegetative buffer between the proposed development and the agricultural uses to the north? Since the adjacent properties to the north are Ontario County Agricultural District #1, a note on the subdivision plan indicating the permissibility of noise, dust, odors, etc. from agricultural activities on parcel 56.00-2-20.000 and 70.00-1-21.121 is required.
2. Will any of the units be affordable to households at or below area median income?
3. How many of the units will be ADA compliant or visitable by providing a zero-step entry, 36’ doorways, and access to a bathroom?

**CRC Comment**

At the start of each Phase, the referring board is encouraged to require the applicant to adhere to the code/design standards in place at that time – not what was in place at the time at the start of the project.

**Attachments:**

1. 185.0-2024 (and 185.1-2024) Project Summary Uptown IZ
2. 185.0-2024 (and 185.1-2024) Aerial Uptown IZ
3. 185.0-2024 (and 185.1-2024) Incentives Uptown IZ
4. 185.0-2024 (and 185.1-2024) Rendering Uptown IZ

**CPB Comment:**

1. Referring Board should consider requiring that the developer provide a portion of units at costs affordable to average sized households (families) at or below 100% annual median income.

**Board Motion: To retain referral 185.0-2024 as a class 2 and return to the local board with recommendation for approval with comments. Motion made by: A.J. Magnan, seconded by: Leonard Wildman. Vote: Yes 11, No 0, Abstained 1. The Motion Passed.**

185.1-2024 Subdivision and Map Amendment to rezone four (4) parcels totaling 100-acres (east of Firehouse Rd.) to the Incentive Zoning District, in the Town of Canandaigua. Future development includes for-sale town homes (90 units), single-family housing (230 units), for-rent apartments (220 units), and as mixed-use retail/residential building (90 units and 5,000 SF of commercial/retail space).

**Municipality:** Town of Canandaigua  
**Referring Board:** Planning Board  
**Applicant:** Marathon Engineering  
**Application Type:** Major Subdivision  
**Class:** 1

**Description & Review Comments:**

See 185.0-2024

**Attachments:**

None

**Board Motion: To retain referral 185.1-2024 as a class 1 and return to the local board with comments. Motion made by: Stephen High, seconded by: Paul Passavant. Vote: Yes 11, No 0, Abstained 1. The Motion passed.**

188-2024 Area Variance to install a 30 SF wall sign on a building façade with multiple existing wall signs (when only one is permitted per building) – located at 2375 SR332, on the east side of SR332 between Aroline and Kepner Rd., in the Town of Canandaigua.

**Municipality:** Town of Canandaigua  
**Referring Board:** Zoning Board of Appeals  
**Applicant:** Yost, Charles  
**Application Type:** Area Variance  
**Class:** AR 2

**Description & Review Comments:**

Policy AR-7: Signs

The County Planning Board has long taken an interest in supporting local efforts to limit excessive signage. The Board has identified SR 332 as a primary travel corridor for tourists visiting Ontario County: The intent is to protect the character of development along these corridors by encouraging local boards to adhere to their adopted laws as much as possible.

A. All applications for signs located on property adjoining primary travel corridors that do not comply with local limits on size and or number.

Final classification: Class 2

**Findings:**

1. The proposed sign is on land within 500’ of a corridor identified by the Board as being a primary travel corridor for tourists visiting Ontario County.
2. Protection of the community character along these corridors is an issue of countywide importance.
3. Local legislators have standards for signage that allows for business identification sufficient to safely direct customers onto the specified site.
4. It is the position of this Board that the proposed signage is excessive.
5. Excessive signage has a negative impact on community character.

Final Recommendation – Denial

**Comments**

1. The referring board should grant the minimum variance necessary to allow identification of the business and its products.

**Attachments:**

1. 188-2024 Aerial Yost Sign
2. 188-2024 Sign Sketch Yost Sign

**From:** [Phillips, Linda](#)  
**To:** [Matt Tomlinson](#)  
**Cc:** [Ritts, Kyle J](#); [Sarah Reynolds](#)  
**Subject:** RE: Uptown Landing IZ  
**Date:** Tuesday, October 8, 2024 11:34:29 AM

---

Matt,

Thanks for the info on this and Lehigh Place. Delighted that units in both are visitable and many are ADA adaptable.

With regard to the buffering adjacent to ag district lands. Vegetation and/or distance is very important to maintain the viability of agricultural land; complaints from neighboring residents can lead farmers to abandon fields even if they have the right to continue farming operations. It appears that there is existing vegetation that will remain on the agricultural property along much of the shared property line. On behalf of CPB and the Agricultural Enhancement Board, I encourage developer to consider planting or retaining on-site vegetative buffer along the portion of the northern property line where the agricultural field is close to the area to be developed.

With regard to school bus access on private roads, I encourage you to confirm district policy and I would love to know what they say as I am unclear on this point.

Linda

---

**From:** Matt Tomlinson <mtomlinson@marathoneng.com>  
**Sent:** Tuesday, October 8, 2024 8:00 AM  
**To:** Phillips, Linda <Linda.Phillips@ontariocountyny.gov>  
**Cc:** Jeff Cook <jeffcook@cookproperties.com>; Dave Christa <dchrista@christa.com>; Steve Cullum <scullum@hanlonarchitects.com>; idenaro@christa.com  
**Subject:** Uptown Landing IZ

**CAUTION:** This message originated outside the Ontario County email system. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Hi Linda,

I reviewed the county comments/ questions for the Uptown Landing Incentive Zoning project that is on your agenda for this Wednesday. Below are the answers to your questions as we will be unable to attend the workshop tonight. Please do not hesitate to give me a call if you have any follow up questions in advance of the meeting on Wednesday night.

Thanks

MT

1. Will any of the units be affordable to households at or below area median income?  
***All units are market rate, however the developer is focused on providing a mix of for sale and rental opportunities to fit a large range of incomes for residents.***
2. How many of the units will be ADA compliant or visitable by providing a zero-step entry, 36" doorways, and access to a bathroom?

*All apartments will be visitable, townhome and single family homes will be customizable by the purchaser.*

3. Will there be a vegetative buffer between the proposed development and the agricultural uses to the north? Since the adjacent properties to the north are Ontario County Agricultural District #1, a note on the subdivision plan indicating the permissibility of noise, dust, odors, etc. from agricultural activities on adjacent parcels in the Ontario County Agricultural District #1.

*Notes will be added as appropriate to the plans during the design phase. The single family homes border the agricultural fields and homeowners will have the flexibility to add fencing, screening and/ or plantings as desired*

## **Matt Tomlinson**

Partner

### **Marathon Engineering**

39 Cascade Drive | Rochester NY 14614

Office: (585) 458-7770

[www.marathoneng.com](http://www.marathoneng.com)

"This message may contain confidential, sensitive and/or proprietary information and is intended for the person/entity to whom it was originally addressed. Any use by others is strictly prohibited."



# INCENTIVES & AMENITIES REPORT

FOR

## Uptown Landing



Parkside Drive, Town of Canandaigua

Ontario County, State of New York

September 9, 2024

Prepared By:

Prepared For:



Uptown Landing LLC  
90 Airpark Drive, Suite 400  
Rochester NY 14624



## TABLE OF CONTENTS

1.0	INTRODUCTION	1
2.0	PROJECT CODE ANALYSIS & IDENTIFIED INCENTIVES	3
3.0	PROPOSED AMENITIES	6

### FIGURES

FIGURE 1	PARK RECREATIONAL EQUIPMENT	10
FIGURE 2	UPTOWN LANDING RESIDENTIAL COMMUNITY	11
FIGURE 3	NEW PUBLIC RESTROOM IN PARK	12

### APPENDIX

TYPICAL BUILDING ELEVATIONS	A1
-----------------------------	----



## 1.0 Introduction

Uptown Landing is a 100± acre mixed residential project in the northern portion of the Town of Canandaigua. The four parcels of land comprising the development area are bordered by Firehall Road to the west, Parkside Drive and Blue Heron Park to the south, agricultural lands to the north and a residential development to the east. The mixed-residential vision is to create a mix of for-sale townhomes (90± units) and single-family housing (230± units), and for-rent apartments (220± units) with a mixed-use retail/residential building (90± units and ~5,000 sf of commercial/retail). The development will proceed in 3-4 phases with ultimate build-out anticipated in approximately 2035.

The project location has been slated for development for several years. The Town has implemented the Uptown Form Based Code in this vicinity with the project located in the Mixed-Use Development Subarea. The project has significant infrastructure available to support the project with County of Ontario owned sewer mains and pump stations, Town of Farmington owned water mains, and Town owned roadways connected to County Road 28 and NYS Route 332 in close proximity.

The proposed project will require incentive zoning approval to develop the mix of housing envisioned by the developer. While all uses proposed are permitted within the zoning, there are several modifications to the bulk requirements such as narrower lot widths for the single-family and townhome lots, lesser transparency requirements for the apartment buildings, etc. The relief requested does not provide a substantial monetary benefit to the developer as the form-based code permits significantly more dense development than is currently proposed. Instead, the modifications allow the developer to offer single-family and townhomes at a lower price point than what is typical to the market and provides a transitional design to fit within the surrounding neighborhood development patterns.

The proposed project fills a significant need for housing in the community and meets the guiding principles of the Mixed-Use Development Subarea (page 74 of the Final Uptown Form Based Code):



- *Expansion of lower density mixed-uses*

The proposed development includes 5-7 dwelling units per acre (total project) with a wide range of for-rent and ownership opportunities at a variety of price points.

- *Establish a combination of low density, multi-family homes in close proximity to commercial uses*

The west side of the project includes the commercial/retail mixed-use component and is immediately across the street from the State Route 332 Subarea on Firehall Road where a larger commercial presence is anticipated. The proposed residential housing is a mix of for-rent and for-sale with a multitude of options for community residents looking for new homes.

- *Expansion of mixed-residential uses in the Town*

The mix of apartments, single-family homes and townhomes fully complies with this guiding principle.

- *Encourage multi-modal mobility options*

The central boulevard is intended to be a complete street with additional pedestrian improvements and park connections included in the design. Offsite sidewalks for enhancing pedestrian connectivity to NYS Route 332 and existing commercial development are also incorporated in the incentives, discussed later in this report.

- *Ensure new development and site design does not negatively impact adjacent residential uses*

The proposed project thoughtfully transitions to the lower impact single-family homes adjacent to large-lot residential uses on the north and east with the apartments and mixed-use adjacent to the multifamily zoning and State Route 332 Subarea zoning to the south and west.

The following report provides additional details on specific requested incentives and amenities offered. In total the incentives requested that benefit the developer have a value of \$689,500 and the amenities offered have a value of \$828,200.



## 2.0 Project Code Analysis & Identified Incentives

The following summarizes the bulk code requirements applied to the project within the Town of Canandaigua Form Based Code Mixed-Use Development Subarea Zoning and Town of Canandaigua Site Design and Development Criteria. Items that the project is requesting relief from (Incentives) are denoted with a \* within each chart. A summary of all requested relief and amenities offered can be found in 3.0 below.

Lot Dimensions – Single Family Lots		
Category	Required	Provided
Lot Depth	100' min/400' max	100' min
Lot Width	100' min/400' max	60' min*
Building Coverage	70% max	50% max
Lot Coverage	80% max	80% max

*Lot sizes have no incentive to the developer as the project is significantly less dense than the code permits. Rather it is of value to the future homeowners and the town as it allows the housing to be offered at a lower price point than would otherwise be required.*

Lot Dimensions – Town House Lots		
Category	Required	Provided
Lot Depth	100' min/400' max	100' min/400' max
Lot Width	100' min/400' max	20' min*/400' max
Building Coverage	70% max	70% max
Lot Coverage	80% max	80% max

*Lot sizes have no incentive to the developer as the project is significantly less dense than the code permits. Rather it is of value to the future homeowners and the town as it allows the housing to be offered at a lower price point than would otherwise be required.*

Lot Dimensions – Apartments		
Category	Required	Provided
Lot Depth	100' min/400' max	100' min/400' max
Lot Width	100' min/400' max	100' min/400' max
Building Coverage	70% max	70% max
Lot Coverage	80% max	80% max

*No relief from the code is sought for these lots.*



Lot Dimensions – Mixed Use		
Category	Required	Provided
Lot Depth	100' min/400' max	100' min/no max
Lot Width	100' min/400' max	100' min/no max
Building Coverage	70% max	70% max
Lot Coverage	80% max	80% max

*No relief from the code is sought for these lots*

Building Setbacks – Single Family Lots		
Category	Required	Provided
Primary Street	5' min/20' max	25' min*/no max
Side Street	5' min/20' max	20' min*/no max
Side Interior	5' min/20' max	5' min*/no max
Rear	5' min/20' max	20' min*/no max
Façade within Build-to-Zone	75% min	30% min*/no max
Building Height	15' min/60' max	15' min/60' max

*Building setbacks have no incentive to the developer as the project is significantly less dense than the code permits. Rather it is of value to the future homeowners and the town as it allows the housing to be offered at a lower price point than would otherwise be required and creates neighborhoods consistent with the product offered.*

Building Setbacks – Town House Lots		
Category	Required	Provided
Primary Street	5' min/20' max	20' min/40' max*
Side Street	5' min/20' max	No requirement*
Side Interior	5' min/20' max	0'*
Rear	5' min/20' max	10' min/no max*
Façade within Build-to-Zone	75% min	75% min
Building Height	15' min/60' max	15' min/60' max

*Building setbacks have no incentive to the developer as the project is significantly less dense than the code permits. Rather it is of value to the future homeowners and the town as it allows the housing to be offered at a lower price point than would otherwise be required and creates neighborhoods consistent with the product offered.*



Building Setbacks – Apartments		
Category	Required	Provided
Primary Street	5' min/20' max	5' min/40' max*
Side Street	5' min/20' max	5' min/no max*
Side Interior	5' min/20' max	5' min/no max*
Rear	5' min/20' max	20' min/no max*
Façade within Build-to-Zone	75% min	75% min
Building Height	15' min/60' max	15' min/60' max

*Relief requested permits additional greenspace separations for ground floor units and vehicular movements for garage parking spaces. This is an incentive to the developer and an amenity will be offered.*

Building Setbacks – Mixed Use		
Category	Required	Provided
Primary Street	5' min/20' max	5' min/40' max*
Side Street	5' min/20' max	5' min/20' max
Side Interior	5' min/20' max	5' min./20' max
Rear	5' min/20' max	20' min/no max*
Façade within Build-to-Zone	75% min	75% min
Building Height	15' min/60' max	15' min/60' max

*Relief requested permits additional greenspace separations for ground floor units and vehicular movements for garage parking spaces. This is an incentive to the developer and an amenity will be provided. (Primary Street setback is required due to RG&E easement along Firehall Road that does not permit building encroachment).*

Notes: All permitted height encroachments (Pg 77 of the Final Uptown FBC 10.05.21) will remain in effect.  
 Accessory structures are permitted in side or rear yards with 12' min. height and min. setback of 5'.

Façade Requirements				
	Min. Transparency Ground Story		Min. Transparency Upper Story	
	Required	Provided	Required	Provided
Single-Family	50%	10%*	40%	20%*
Town Houses	50%	5%*	40%	15%*
Apartments	50%	30%*	40%	25%*
Mixed-Use	75%	60%*	60%	25%*

*Reduced transparency in the apartments and mixed-use building is an incentive, and an amenity will be offered. Please note that standard wood frame construction does not permit transparency levels to the amount dictated by code which hinders development or requires all projects to obtain variances.*



Note: All allowed materials (Page 78 of the Final Uptown FBC 10.05.21) remain permitted. Vinyl siding is proposed to account for up to 80% of the primary façade for single-family and townhomes and up to 60% for the apartments where only 40% is permitted. No more than 40% of the façade will be permitted to be single orientation (e.g. shake, horizontal or vertical) – The vinyl allowance for the single-family and townhomes is not an incentive to the developer, rather it is of value to the future homeowners and the Town as it allows the housing to be offered at a lower price point than would otherwise be required. The vinyl allowance for the apartment buildings does have a benefit to the developer, is requested as an incentive, and an amenity offered.

**Miscellaneous Code and Design Standard Requirements:**

Bike parking ratios required by code will be provided for the apartment and mixed-use buildings, not applicable to single-family and townhome portions of the site – no relief sought.

Driveways - Relief is sought to allow a 0' side setback for townhomes where 10' is required, and to allow a 5' side setback for single-family where 10' is required. Driveway setbacks are directly correlated to the building setback items discussed above and are included in the value of the amenities offered.

Sidewalks within the development on all streets (other than the boulevard complete street) are proposed on one side, 5' in width.

**3.0 Proposed Amenities**

The incentives identified above for Uptown Landing are somewhat difficult to assign values to. Primarily, the bulk requirement modifications do not benefit the developer as they do not increase available densities and are integral to providing a thoughtful overall design that provides several housing opportunities to the community. The incentives requested have a total estimated value to the developer of \$689,500 with the following breakdown:

Incentives Requested	Value
Reduction of transparency (apartments & mixed-use only)	~ \$239,500
Façade materials – larger percentage of vinyl proposed	~ \$450,000
Lot Sizes	\$0
Lot Setbacks	\$0





Proposed incentives are based on feedback from multiple parties within the Town of Canandaigua including Town Board members, Planning Board members, the Parks and Recreation committee, Town of Farmington Sewer and Water, and Ontario County DPW. Several items initially discussed as amenities such as: over detention for stormwater, frontage sidewalks within the project limits, trail connections to Blue Heron Park and cash payments to the Town Parks and Recreation fund were removed from the amenity list as they would be requirements of typical site plan approvals.

Amenities offered by the developer are selected from the full list of potential amenities from the various groups. Weight was given to common requests from the various groups as the highest and best value for the Town.

The first amenity offered is park recreational equipment placed on a poured synthetic surface. A representative design and material proposed with a value of \$65,000 is provided in Figure 1. Figure 1 represents what we envision at the park, but final equipment selection will be made by the Parks and Recreation Department.

The proposed project has limited commercial and retail components, therefore one of the amenities offered for the project and other neighboring properties is to provide off-site sidewalks on Firehall Road along the Blue Heron Park frontage and along Parkside Drive to the signalized intersection at Parkside and NYS Route 332. This route provides the most direct access to area businesses and the park. An additional portion of sidewalk was requested to be added in front of 5262 Parkside Drive (415 LF of 5' wide sidewalk) to complete the sidewalk connection of on-site sidewalks to the NYS Route 332 corridor. This has been added to the amenities figure and has an additional cost to the developer. This amenity routing totals ~2,915 LF of 5' wide sidewalk (shown in Figure 2) with a value of \$250,700.

There are currently no public restrooms within Blue Heron Park. The developer proposes to add the park to the sewer district, extend sanitary service to the restroom location, and install a public restroom building similar to the building shown in Figure 3 for the benefit of all park users. This amenity has a value of \$335,000. This is the value for an ADA Compliant men's (1x urinal and 1x stall) and women's (2x stalls) restroom and drinking fountain. The design and architecture of the restroom building will be based on the design of Hanlon Architects and Figure 3 is only shown to represent function, not design style or architecture.



Another amenity offered is to provide asphalt pavement on the stone dust trails within Blue Heron Park. This amenity will decrease required maintenance, increase accessibility through the park and allow for placement in the future of additional improvements along the trail such as benches, exercise routes etc., by the Parks and Recreation Department. Trail routing is shown in Figure 2 and the improvements have an estimated value of \$97,500.

The final amenity offered is to provide a connection point to be provided for future development on the north or northwest portion of the project. Initial discussions with town staff and the town Highway Superintendent indicated no desire for a future connection point. Lands to the north and northwest portions of the project have frontage on Emerson Road and are currently used for agricultural purposes which indicates a limited value provided by a connection point. Providing a connection point would require removal of a single-family parcel valued at \$80,000. This has been added as a provided amenity with anticipated further discussion with Town staff through the approval process.

Below is a summary of the Developers Offered Amenities:

Amenities Offered	Value
Park Recreational Equipment	\$65,000
Off-Site Sidewalks (~2,915 LF)	\$250,700
New Public Restroom in Park	\$335,000
Asphalt Pavement on Stone Dust Trails	\$97,500
Right-of-way Connection to north property line	\$80,000
<b>Total Amenities Value Offered</b>	<b>\$828,200</b>

Several items requested by various involved parties and not included in the amenity package are:

- A request by the Town of Farmington for water main extension along Parkside Drive is not being provided. The overall project will eliminate the dead-end condition of the main at Parkside Drive and Brahm Road by connecting through the project out to Firehall Road. There appears to only be one undeveloped parcel that this main extension would provide service to.
- A request by the Planning Board for electronic vehicle parking stations, wastewater reclamation and solar energy to be installed at the restroom building provided as one of the amenities. The project will generate ~\$945,000 in parks and recreation fees (\$1,500/ unit x

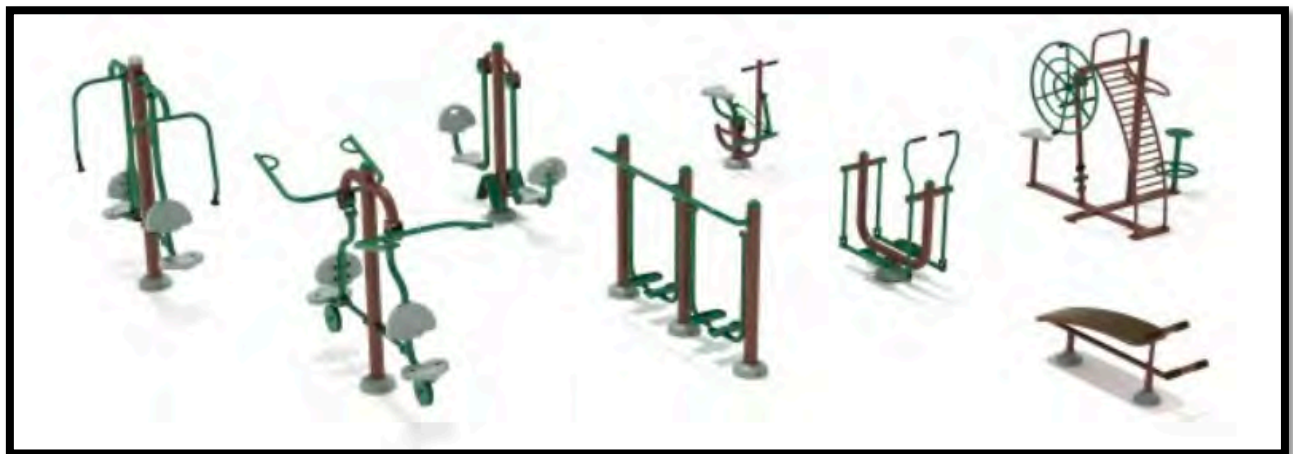


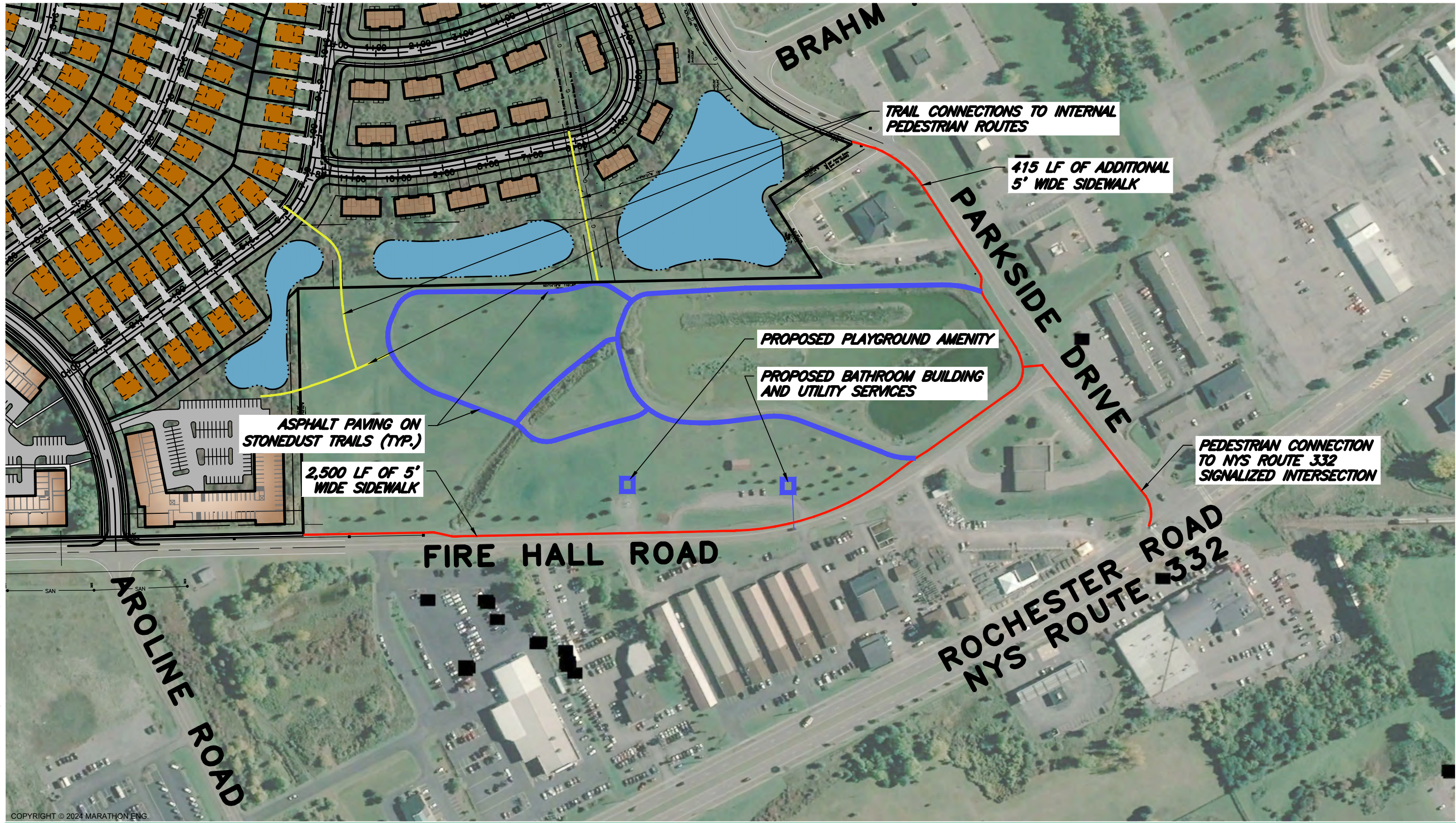
630 units), the town may elect to use a portion of these funds to install these items at Blue Heron Park in the future if they deem there is a demand for them.

- A request was made by the Planning Board for additional open space required throughout the project. Open space is provided around stormwater management facilities but is limited within the project limits. Significant investment is being made in the adjacent Blue Heron Park in order to provide recreational open space for both the development and existing town residents. Additional open space within the project would impact development density and reduce the available amenities to be offered.
- On-site trails for connectivity were requested by the planning board. Trails have been added to the north end of the park providing additional connection points from the development to the park trail system. Connectivity within the development is provided by sidewalks on one side of all roadways and on both sides of the boulevard (complete street). Small sections of trails are provided within the development for connection offsite to the sidewalk system only.



**FIGURE 1 – Park Recreational Equipment**



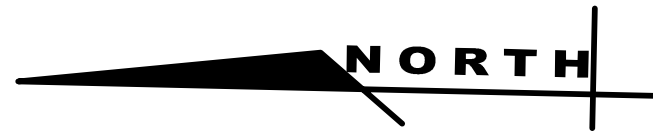


File: 1648-23 Overall Concept.dwg, Plot Date: 9/19/2024, By: MTOHLINSON

COPYRIGHT © 2024 MARATHON ENG.

**MARATHON ENGINEERING**  
 ROCHESTER LOCATION  
 39 CASCADE DRIVE  
 ROCHESTER, NY 14614  
 585-458-7770  
 ITHACA LOCATION  
 840 HANSHAW RD, STE 6  
 ITHACA, NY 14850  
 607-241-2917  
 www.marathoneng.com

JOB NO: 1648-23  
 SCALE: 1" = 200'  
 DRAWN: MT  
 DATE: 07/12/24  
 REVISED: 09/09/24



TITLE: **FIGURE 2**  
**UPTOWN LANDING  
 RESIDENTIAL COMMUNITY**  
 TOWN OF CANANDAIGUA    ONTARIO COUNTY    NEW YORK



**FIGURE 3 – New Public Restroom in Park**





# APPENDIX

## TYPICAL BUILDING ELEVATIONS

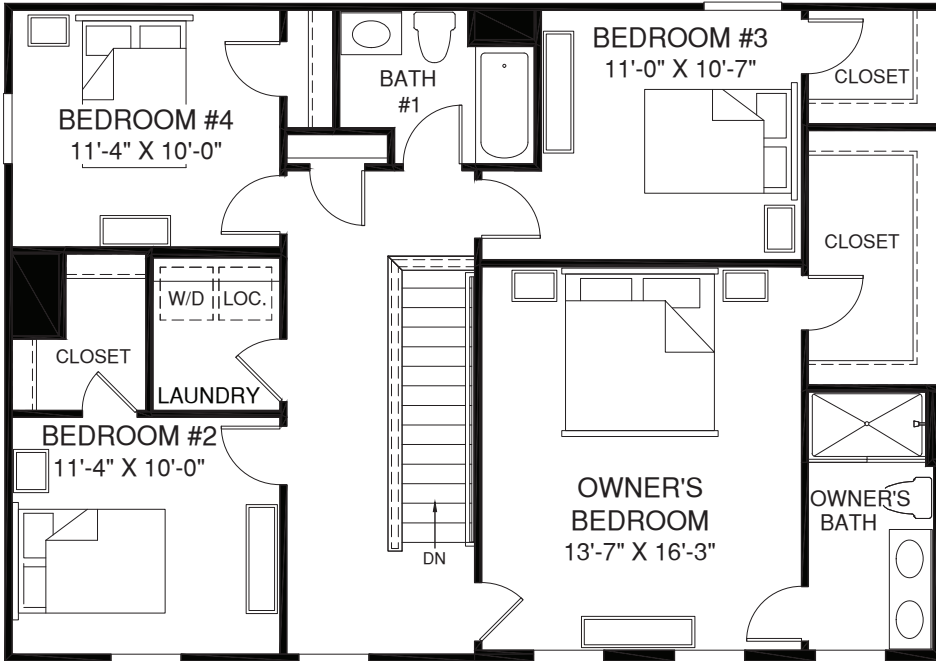
**ELEVATION K**



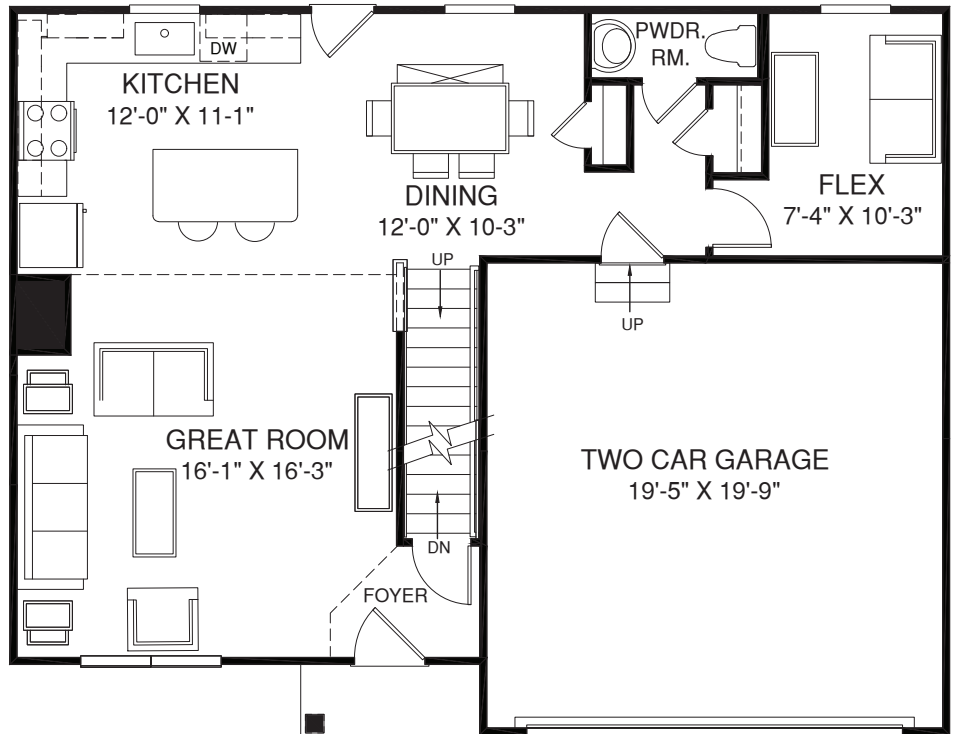
**ELEVATION L**



**ELEVATION F**



**UPPER LEVEL**



**MAIN LEVEL**

An unfinished basement is included. Please see brochure or online marketing material for details.

Although all illustrations and specifications are believed correct at the time of publication, the right is reserved to make changes, without notice or obligation. Windows, doors, ceilings, and room sizes may vary depending on the options and elevations selected. Optional items indicated are available at additional cost. This brochure is for illustrative purposes only and not part of a legal contract. It is recommended that the architectural blueprints be reserved for further clarification of features. Not all features are shown. Please ask our Sales and Marketing Representative for complete information.

Elevations shown are artist's concepts. Floor plans may vary per elevation. Ryan Homes reserves the right to make changes without notice or prior obligation.





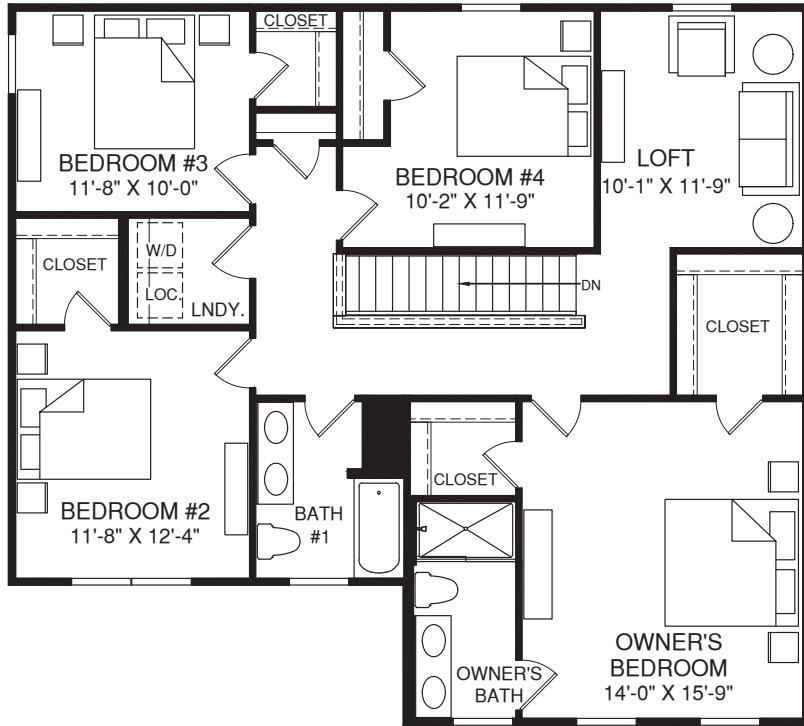
ELEVATION K



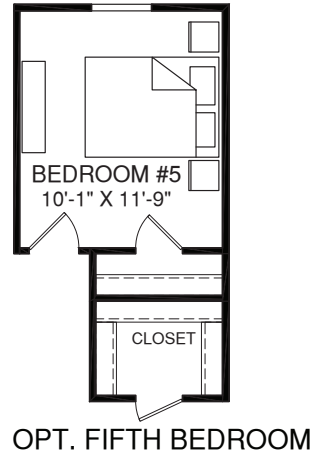
ELEVATION L



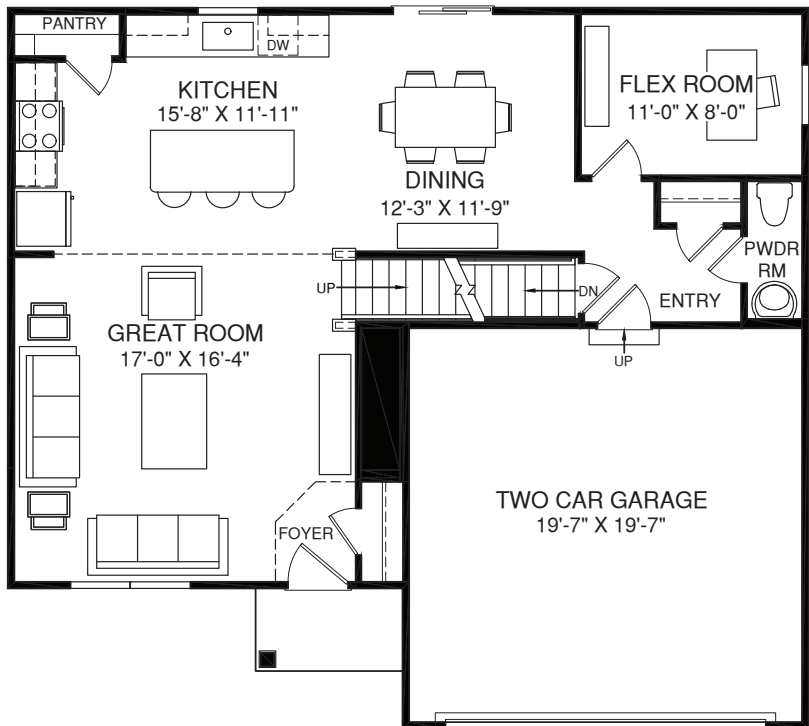
ELEVATION F



UPPER LEVEL



OPT. FIFTH BEDROOM



MAIN LEVEL

An unfinished basement is included. Please see brochure or online marketing material for details.

Although all illustrations and specifications are believed correct at the time of publication, the right is reserved to make changes, without notice or obligation. Windows, doors, ceilings, and room sizes may vary depending on the options and elevations selected. Optional items indicated are available at additional cost. This brochure is for illustrative purposes only and not part of a legal contract. It is recommended that the architectural blueprints be reserved for further clarification of features. Not all features are shown. Please ask our Sales and Marketing Representative for complete information.

Elevations shown are artist's concepts. Floor plans may vary per elevation. Ryan Homes reserves the right to make changes without notice or prior obligation.



# HAZEL

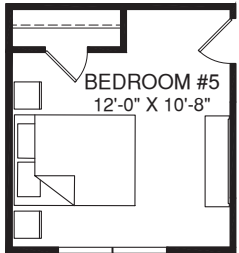
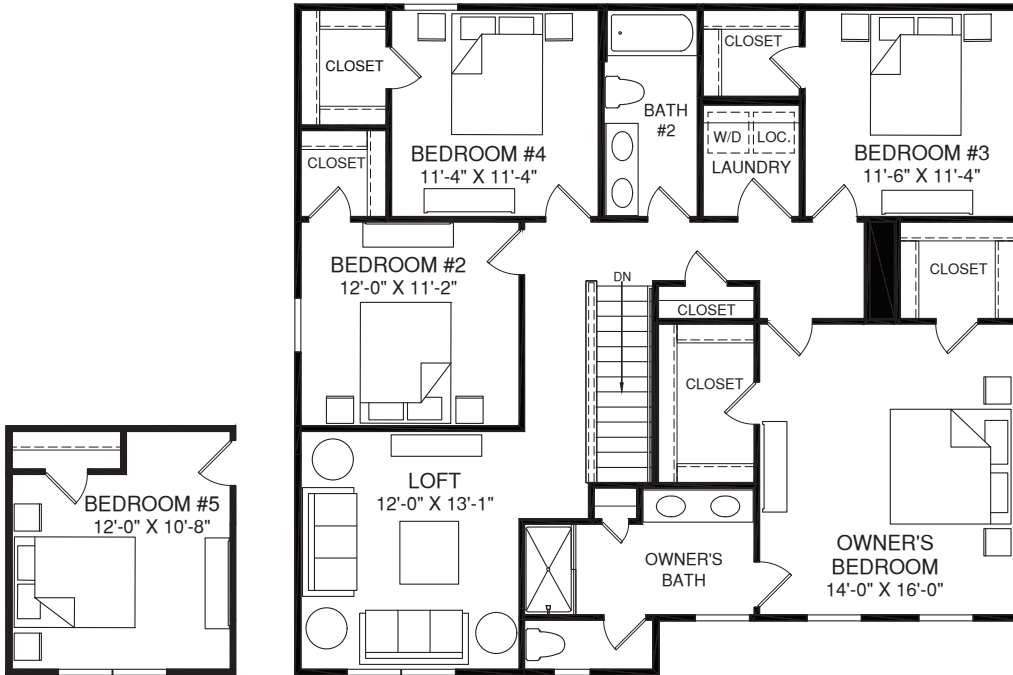
ELEVATION K



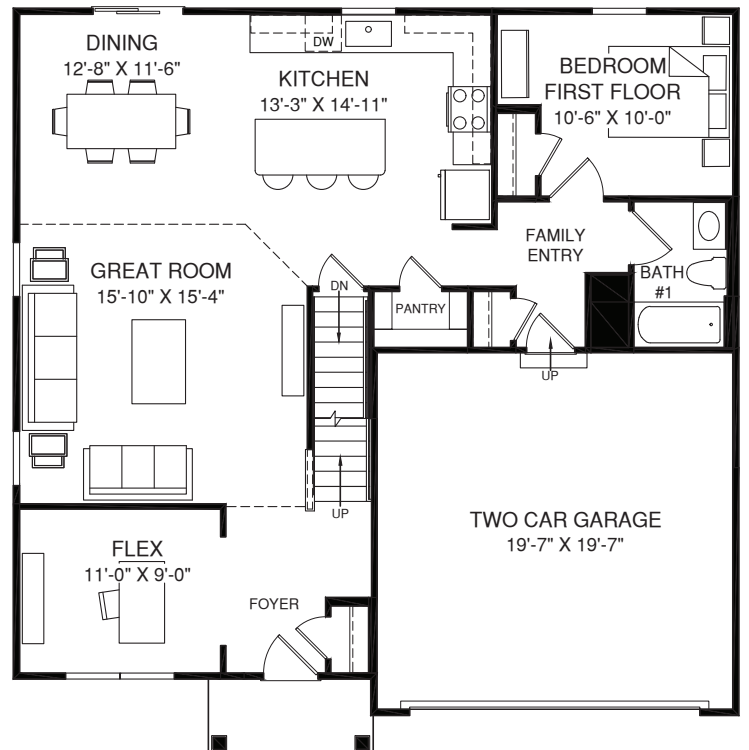
ELEVATION L



ELEVATION F



UPPER LEVEL



MAIN LEVEL

An unfinished basement is included. Please see brochure or online marketing material for details.

Although all illustrations and specifications are believed correct at the time of publication, the right is reserved to make changes, without notice or obligation. Windows, doors, ceilings, and room sizes may vary depending on the options and elevations selected. Optional items indicated are available at additional cost. This brochure is for illustrative purposes only and not part of a legal contract. It is recommended that the architectural blueprints be reviewed for further clarification of features. Not all features are shown. Please ask our Sales and Marketing Representative for complete information.

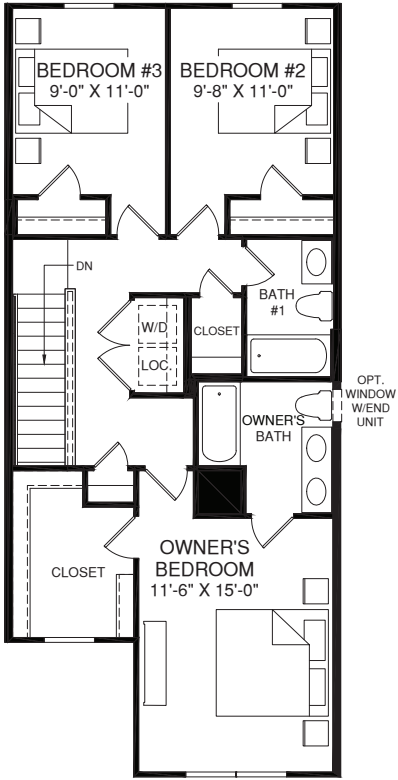
Elevations shown are artist's concepts. Floor plans may vary per elevation. Ryan Homes reserves the right to make changes without notice or prior obligation.



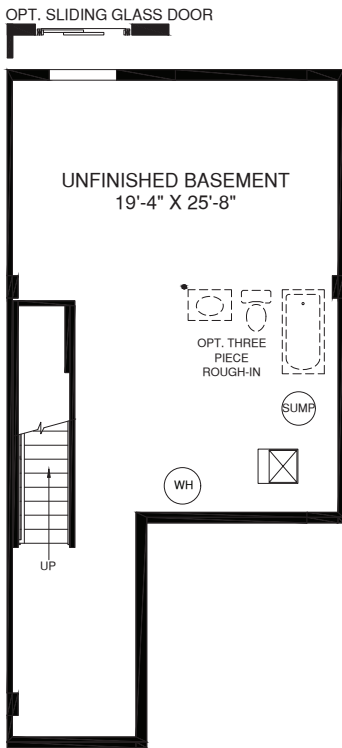
RY0923HZL00v01BSMTCRFT

LEVEL ENTRY

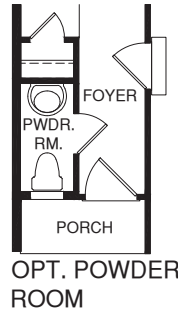
PINE



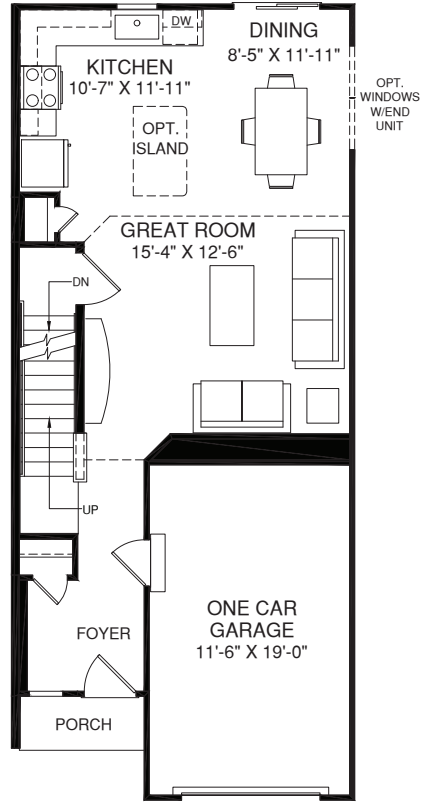
UPPER LEVEL



LOWER LEVEL



OPT. POWDER ROOM



MAIN LEVEL



Although all illustrations and specifications are believed correct at the time of publication, the right is reserved to make changes, without notice or obligation. Windows, doors, ceilings, and room sizes may vary depending on the options and elevations selected. Optional items indicated are available at additional cost. This brochure is for illustrative purposes only and not part of a legal contract. It is recommended that the architectural blueprints be reserved for further clarification of features. Not all features are shown. Please ask our Sales and Marketing Representative for complete information. Elevations shown are artist's concepts. Floor plans may vary per elevation. Ryan Homes reserves the right to make changes without notice or prior obligation.



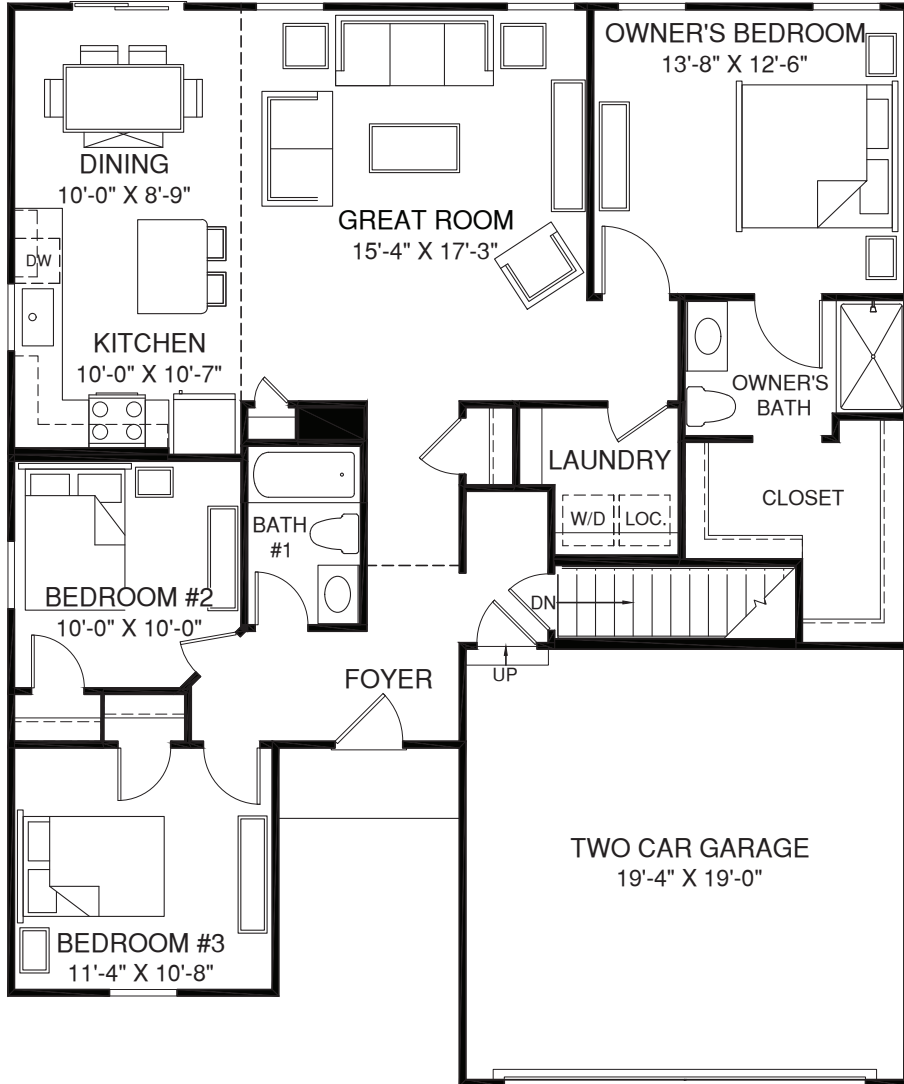
RY1023PNE00v02BSMT

# SPRUCE

ELEVATION K



ELEVATION L



MAIN LEVEL

An unfinished basement is included. Please see brochure or online marketing material for details.

Although all illustrations and specifications are believed correct at the time of publication, the right is reserved to make changes, without notice or obligation. Windows, doors, ceilings, and room sizes may vary depending on the options and elevations selected. Optional items indicated are available at additional cost. This brochure is for illustrative purposes only and not part of a legal contract. It is recommended that the architectural blueprints be reserved for further clarification of features. Not all features are shown. Please ask our Sales and Marketing Representative for complete information.

Elevations shown are artist's concepts. Floor plans may vary per elevation. Ryan Homes reserves the right to make changes without notice or prior obligation.



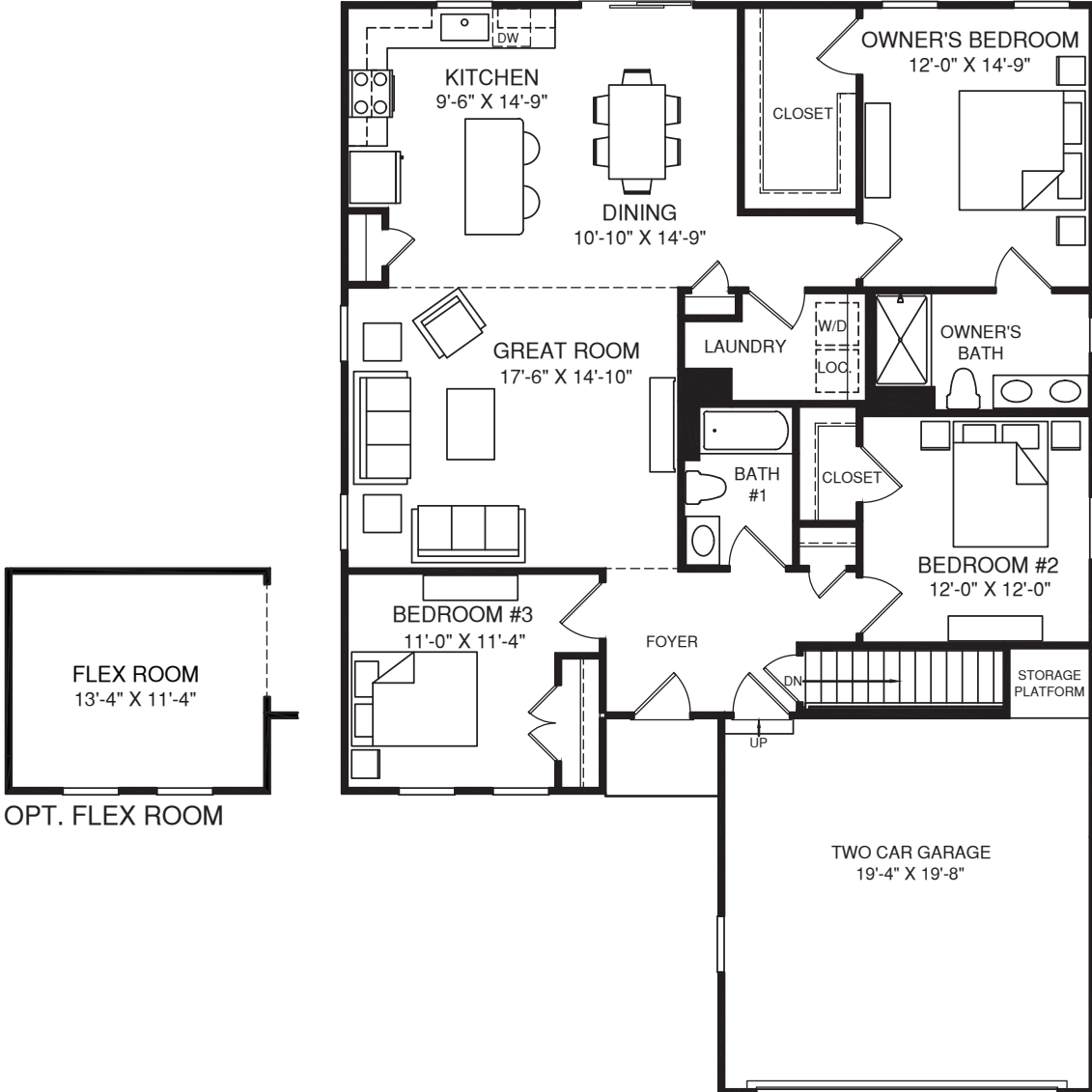
RY0923SPC00v01BSMTCRFT

# TUPELO

ELEVATION K



ELEVATION L



MAIN LEVEL

An unfinished basement is included. Please see brochure or online marketing material for details.

Although all illustrations and specifications are believed correct at the time of publication, the right is reserved to make changes, without notice or obligation. Windows, doors, ceilings, and room sizes may vary depending on the options and elevations selected. Optional items indicated are available at additional cost. This brochure is for illustrative purposes only and not part of a legal contract. It is recommended that the architectural blueprints be reserved for further clarification of features. Not all features are shown. Please ask our Sales and Marketing Representative for complete information.

Elevations shown are artist's concepts. Floor plans may vary per elevation. Ryan Homes reserves the right to make changes without notice or prior obligation.



RY0923TUP00v01BSMTCRFT



**RESIDENTIAL DEVELOPMENT**

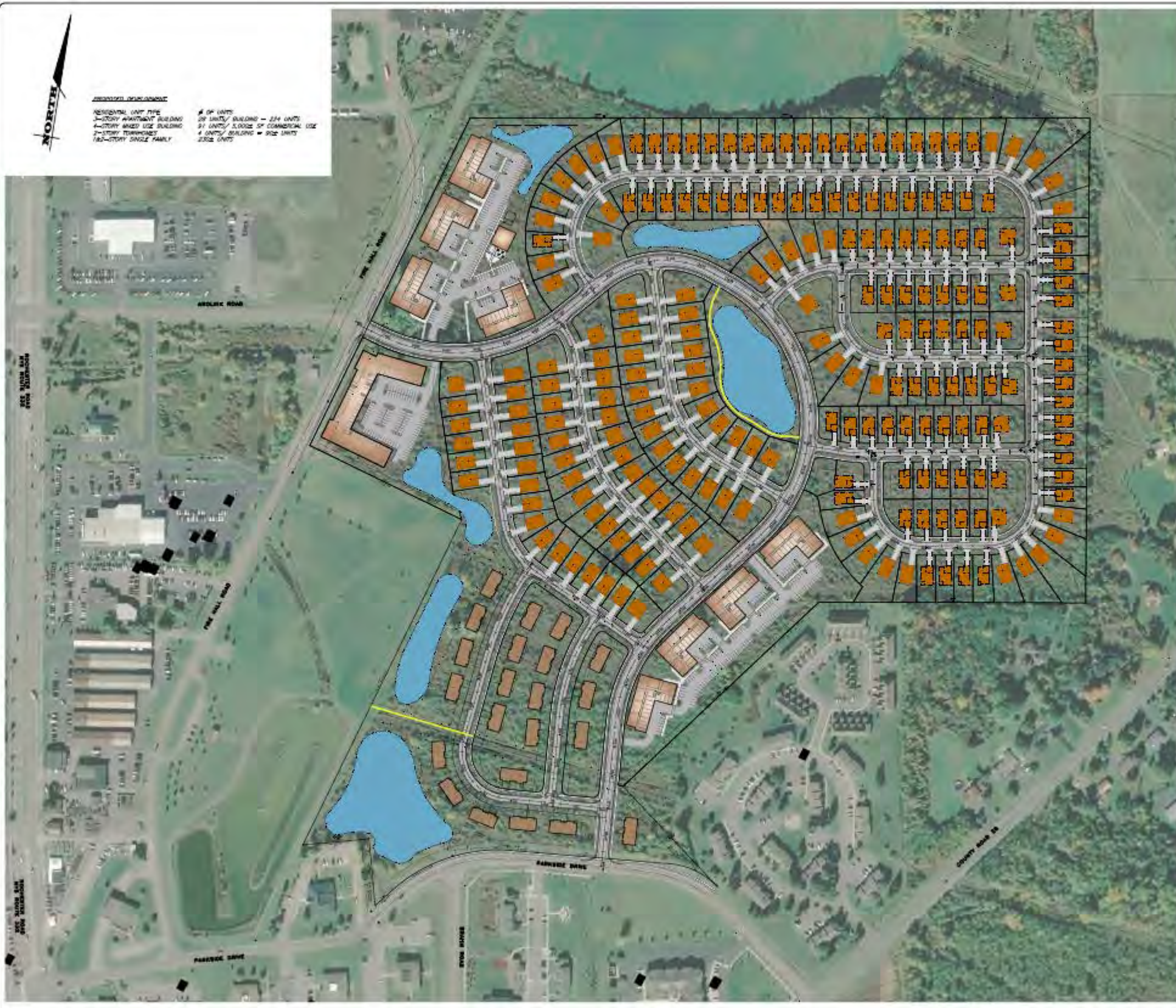
RESIDENTIAL UNIT TYPE      # OF UNITS

3-STORY APARTMENT BUILDING      29 UNITS / BUILDING = 294 UNITS

4-STORY MIXED USE BUILDING      51 UNITS / BUILDING OF COMBINAL USE

2-STORY TOWNHOUSE      4 UNITS / BUILDING = 302 UNITS

1&2-STORY SINGLE FAMILY      2,022 UNITS



**INCENTIVE ZONING PLAN**  
 for  
**UPTOWN LANDING**  
**RESIDENTIAL DEVELOPMENT**  
 TOWN OF CANTONVILLE      ONTARIO COUNTY      STATE OF NEW YORK

JOB NO:	104822
SCALE:	7/8"=1'
DRAWN:	MT
DESIGNED:	MT
DATE:	05/15/24
REVISIONS:	
SHT. #:	1/1
DATE:	

DRAWING TITLE	
OVERALL SITE PLAN	
1/2	C1.0
DATE:	
JOB NO:	104822

# **ATTACHMENT 7**



# Budget Adjustment Register

## Adjustment Detail

Packet: GLPKT03214 - 2024-10-07 JM Town Manager BA

<b>Adjustment Number</b>	<b>Budget Code</b>	<b>Description</b>	<b>Adjustment Date</b>
BA0000438	2024 Adopted Budget	Sept 2024 Town Manager BA for movie night	9/30/2024

**Summary Description:**

Account Number	Account Name	Adjustment Description	Before	Adjustment	After
<u>AA100.7140.141.00000</u>	PLAYGROUND/RECREATION.LIF	Sept 2024 Town Manager BA	65,718.00	-75.00	65,643.00
September:				-75.00	
<u>AA100.7140.405.00000</u>	RECREATION.EVENTS.MOVIENI	Sept 2024 Town Manager BA	3,500.00	75.00	3,575.00
September:				75.00	

<b>Adjustment Number</b>	<b>Budget Code</b>	<b>Description</b>	<b>Adjustment Date</b>
BA0000439	2024 Adopted Budget	2024 Town Manager BA for water dental	9/30/2024

**Summary Description:**

Account Number	Account Name	Adjustment Description	Before	Adjustment	After
<u>SW500.1990.400.00000</u>	CONTINGENCY.CONTRACTUAL.	2024 Town Manager BA for water dental	23,968.36	-1,200.00	22,768.36
September:				-1,200.00	
<u>SW500.9060.811.00000</u>	DENTAL INSURANCE.CANDGA	2024 Town Manager BA for water dental	2,500.00	1,200.00	3,700.00
September:				1,200.00	

<b>Adjustment Number</b>	<b>Budget Code</b>	<b>Description</b>	<b>Adjustment Date</b>
BA0000440	2024 Adopted Budget	Sept 2024 Town Manager BA for water SS	9/30/2024

**Summary Description:**

Account Number	Account Name	Adjustment Description	Before	Adjustment	After
<u>SW500.1990.400.00000</u>	CONTINGENCY.CONTRACTUAL.	Sept 2024 Town Manager BA for water SS	23,968.36	-3,000.00	20,968.36
September:				-3,000.00	
<u>SW500.9030.800.00000</u>	SOCIAL SECURITY...CANDGA CO	Sept 2024 Town Manager BA for water SS	16,500.00	3,000.00	19,500.00
September:				3,000.00	

<b>Adjustment Number</b>	<b>Budget Code</b>	<b>Description</b>	<b>Adjustment Date</b>
BA0000441	2024 Adopted Budget	Sept 2024 Town Manager BA for Stormwater	9/30/2024

**Summary Description:**

Account Number	Account Name	Adjustment Description	Before	Adjustment	After
<u>AA100.8140.400.00000</u>	STORMSEWERS.CONTRACTUAL	Sept 2024 Town Manager BA for Stormwater	12,000.00	2,000.00	14,000.00
September:				2,000.00	
<u>AA100.8540.400.00000</u>	DRAINAGE.CONTRACTUAL	Sept 2024 Town Manager BA for Stormwater	5,000.00	-2,000.00	3,000.00
September:				-2,000.00	



**Budget Code Summary**

Budget	Budget Description	Account	Account Description	Before	Adjustment	After
2024 Adopted	2024 Adopted Budget	<u>AA100.7140.141.00000</u>	PLAYGROUND/RECREATION.LIFEG	65,718.00	-75.00	65,643.00
		<u>AA100.7140.405.00000</u>	RECREATION.EVENTS.MOVIEHIGH	3,500.00	75.00	3,575.00
		<u>AA100.8140.400.00000</u>	STORMSEWERS.CONTRACTUAL	12,000.00	2,000.00	14,000.00
		<u>AA100.8540.400.00000</u>	DRAINAGE.CONTRACTUAL	5,000.00	-2,000.00	3,000.00
		<u>SW500.1990.400.00000</u>	CONTINGENCY.CONTRACTUAL.CA	23,968.36	-4,200.00	19,768.36
		<u>SW500.9030.800.00000</u>	SOCIAL SECURITY...CANDGA CONS	16,500.00	3,000.00	19,500.00
		<u>SW500.9060.811.00000</u>	DENTAL INSURANCE.CANDGA CO	2,500.00	1,200.00	3,700.00
			<b>2024 Adopted Total:</b>	<b>129,186.36</b>	<b>0.00</b>	<b>129,186.36</b>
			<b>Grand Total:</b>	<b>129,186.36</b>	<b>0.00</b>	<b>129,186.36</b>

Fund Summary

Fund	Before	Adjustment	After
Budget Code:2024 Adopted - 2024 Adopted Budget Fiscal: 2024			
AA100	86,218.00	0.00	86,218.00
SW500	42,968.36	0.00	42,968.36
<b>Budget Code 2024 Adopted Total:</b>	<b>129,186.36</b>	<b>0.00</b>	<b>129,186.36</b>
<b>Grand Total:</b>	<b>129,186.36</b>	<b>0.00</b>	<b>129,186.36</b>

## REQUEST FOR BUDGET TRANSFER

Effective Date: 9/30/2024

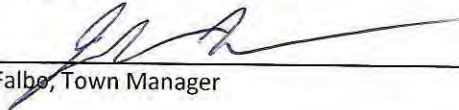
Requested By: Jessica Mull

Please review the following budget transfers for approval:

Account	Account Description	Current Balance	DR	CR
AA100.7140.405	Recreation. Events. Movienight	-73.88	75.00	
AA100.7140.141	Playground/Recreation. Lifeguard	13,547.25		-75.00
<b>TOTAL</b>			<b>75.00</b>	<b>-75.00</b>

**Notes:** Programs totaled slightly more than budgeted. There are no further expenses anticipated for 2024.

**Approved By:**

  
 \_\_\_\_\_  
 John Falbo, Town Manager

10/7/24  
 \_\_\_\_\_  
 Date

**Transfer Completed By:**

  
 \_\_\_\_\_  
 Jessica Mull, Finance Clerk II

10/7/24  
 \_\_\_\_\_  
 Date

## Jessica Mull

---

**From:** Lindsay Frarey  
**Sent:** Thursday, October 3, 2024 2:57 PM  
**To:** Jessica Mull  
**Subject:** RE: lines over budget

Hey  
Yes I am aware of the 7110.131 line. I can let you know where I'll need the adjustment for that.

AA100.7140.405 is all done with expenses for the year so you can utilize the lifeguard line.

**From:** Jessica Mull <jmull@townofcanandaigua.org>  
**Sent:** Thursday, October 3, 2024 2:31 PM  
**To:** Lindsay Frarey <LFrarey@townofcanandaigua.org>  
**Subject:** lines over budget

Your AA100.7110.131.00000 Personal Services. PT line is over at -\$5941.27. Pretty sure you mentioned this to me so I believe you are aware.

Also your AA100.7140.405 Movie Night line is -\$73.88. Are you done with expenses for this line? I can ask John to approve a transfer to bring this positive from wherever you like. You have available in the lifeguard line or just the playground contractual.

## Jessica Mull

Finance Clerk II  
Town of Canandaigua  
5440 Route 5 & 20 West  
Canandaigua, NY 14424  
Ph: (585) 394-1120 x2222  
jmull@townofcanandaigua.org  
Invoices may be directed to: [payables@townofcanandaigua.org](mailto:payables@townofcanandaigua.org)



## REQUEST FOR BUDGET TRANSFER

Effective Date: 9/30/2024


Requested By: Jessica Mull

Please review the following budget transfers for approval:

Account	Account Description	Current Balance	DR	CR
SW500.9060.811	Dental Insurance. CCWD	-583.06	1,200.00	
SW500.1990.400	Contingency. CCWD	23,968.36		-1,200.00
<b>TOTAL</b>			<b>1,200.00</b>	<b>-1,200.00</b>


**Notes:** Dental Insurance for 2024 being paid from SW500.9060.811 have been higher than anticipated. This budget adjustment is estimated to cover expenses through year end.

Approved By:

  
 \_\_\_\_\_  
 John Falbo, Town Manager

10/7/24  
 \_\_\_\_\_  
 Date

Transfer Completed By:

  
 \_\_\_\_\_  
 Jessica Mull, Finance Clerk II

10/7/24  
 \_\_\_\_\_  
 Date

## Jessica Mull

---

**From:** Lindsay Frarey  
**Sent:** Monday, September 9, 2024 10:24 AM  
**To:** Jessica Mull  
**Subject:** RE: budget adjustments we couldn't go over at Finance yesterday

Good morning Jess

I ran the numbers and we will need the following for the rest of the year:

\$872 + 161.69 (that we are negative) totaling \$1033.69 to make us even for the year. I don't foresee any other changes this year.

---

**From:** Jessica Mull <jmull@townofcanandaigua.org>  
**Sent:** Friday, September 6, 2024 2:57 PM  
**To:** Lindsay Frarey <LFrarey@townofcanandaigua.org>  
**Subject:** FW: budget adjustments we couldn't go over at Finance yesterday

SW500.9060.811 – Dental insurance for cdga cons. -- is NEGATIVE

Lindsay, would you be able to give an estimate of the amount needed to cover this line through year end?

## Jessica Mull

Finance Clerk II  
Town of Canandaigua  
5440 Route 5 & 20 West  
Canandaigua, NY 14424  
Ph: (585) 394-1120 x2222  
[jmull@townofcanandaigua.org](mailto:jmull@townofcanandaigua.org)

Invoices may be directed to: [payables@townofcanandaigua.org](mailto:payables@townofcanandaigua.org)



---

**From:** Adeline Rudolph <[arudolph@townofcanandaigua.org](mailto:arudolph@townofcanandaigua.org)>  
**Sent:** Friday, September 6, 2024 11:49 AM  
**To:** Jessica Mull <[jmull@townofcanandaigua.org](mailto:jmull@townofcanandaigua.org)>  
**Cc:** Jared Simpson <[jsimpson@townofcanandaigua.org](mailto:jsimpson@townofcanandaigua.org)>; John Falbo <[JFalbo@townofcanandaigua.org](mailto:JFalbo@townofcanandaigua.org)>; Suzanne Cirencione <[scirencione@townofcanandaigua.org](mailto:scirencione@townofcanandaigua.org)>  
**Subject:** budget adjustments we couldn't go over at Finance yesterday

Hello!

We need to do some resolutions for September.

Jess – could you please draft a reso appointing Christopher Hubler as the Community representative for the Town Finance Committee? Casey may want his resume for that.

Looks like the following may need adjustments for next meeting- you are likely already aware, Jess!

Revenue

Jared - I did actually want to bring up/ discuss revenue from AA100.2610 – Fines and Forfeited bail – thos are only at 15% for year, if I am reading correctly – what are we doing differently? How can we fix this?

Expenses

AA100.1420.400 – Attorney is in NEGATIVE – need on Sept meeting agenda – Jess can you write reso?  
AA100.1680.400 – Data Processing- NEGATIVE – did we already adjust and not reflected yet? Can we fix for Sept budget report?  
AA100.5182.200 – Street lights is at \$800K still, is Fletcher spending some of that soon?  
AA100.7550.400 – celebrations is NEGATIVE – need to adjust for Sept agenda – Jess can you write reso?  
AA100.8020.160 – Planning Sec is NEGATIVE - need to adjust for Sept agenda – Jess can you write reso?  
AA100.8020.422 and .450 – Open Space and ECB – ECB need to be reminded to spend their budgets. Open Space could use some of that amount towards the new maps they have ordered – I believe in August we asked to have it go up \$1800 to Open space from Ag. Let’s ensure it is spent from Open Space.

DA100.1420.400 – Highway Attorney is at 100% - do we ever charge any of Nadler expenses there?  
DA100.5112.200 – HWY improvements – is NEGATIVE -- need to adjust for Sept agenda – Jess can you write reso?

SW500.9060.811 – Dental insurance for cdga cons.- – is NEGATIVE -- need to adjust for Sept agenda – Jess can you write reso?

Thank you!!!

*Adeline Rudolph*

Deputy Supervisor/ Finance Committee Chair  
Town of Canandaigua  
5440 Route 5 & 20 West  
Canandaigua, NY 14424



## REQUEST FOR BUDGET TRANSFER

Effective Date: 9/30/2024

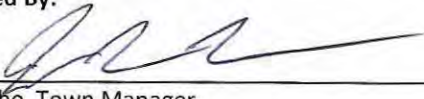
Requested By: Jessica Mull

Please review the following budget transfers for approval:

Account	Account Description	Current Balance	DR	CR
SW500.9030.800	Social Security. CCWD	-120.22	3,000.00	
SW500.1990.400	Contingency. CCWD	23,968.36		-3,000.00
<b>TOTAL</b>			<b>3,000.00</b>	<b>-3,000.00</b>

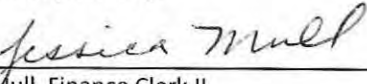
**Notes:** Social Security for 2024 being paid from SW500.9030.800 have been higher than anticipated. This budget adjustment is estimated to cover expenses through year end.

Approved By:

  
 \_\_\_\_\_  
 John Falbo, Town Manager

10/7/24  
 \_\_\_\_\_  
 Date

Transfer Completed By:

  
 \_\_\_\_\_  
 Jessica Mull, Finance Clerk II

10/7/24  
 \_\_\_\_\_  
 Date





# **ATTACHMENT 8**

**Full Environmental Assessment Form  
Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project: (T) Canandaigua Onanda Park Uplands Area Improvements Project		
Project Location (describe, and attach a general location map): Onanda Park, County Road 16, Town of Canandaigua, Ontario County		
Brief Description of Proposed Action (include purpose or need): This project involves various park improvements including expanding parking areas, providing emergency access to the upper cabin area, providing pads for new cabins, installation of ADA bathrooms and ADA cabins, utility upgrades from seasonal to four season including water, hydrants, electrical improvements, septic improvements, and stormwater improvements.		
Name of Applicant/Sponsor: Town of Canandaigua Town Board	Telephone: 585-394-1120	E-Mail: claske@townofcanandaigua.org
Address: 5440 Route 5 & 20 West		
City/PO: Canandaigua	State: NY	Zip Code: 14424
Project Contact (if not same as sponsor; give name and title/role):	Telephone:	
	E-Mail:	
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):	Telephone:	
	E-Mail:	
Address:		
City/PO:	State:	Zip Code:

**B. Government Approvals**

**B. Government Approvals, Funding, or Sponsorship.** (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Town of Canandaigua Town Board	
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Ontario County Planning Board, Ontario County Public Works	
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	SHPO, NYSDAM, NYSDEC, NYSDOH	
h. Federal agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	USACOE	
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**C. Planning and Zoning**

**C.1. Planning and zoning actions.**

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?  Yes  No

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part 1

**C.2. Adopted land use plans.**

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?  Yes  No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?  Yes  No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)  Yes  No

If Yes, identify the plan(s):

Canandaigua Lake Watershed Management Plan (2014) \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?  Yes  No

If Yes, identify the plan(s):

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**C.3. Zoning**

- a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?  
RLD-Residential Lakeshore District \_\_\_\_\_
- b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No
- c. Is a zoning change requested as part of the proposed action?  Yes  No  
If Yes,  
i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

- a. In what school district is the project site located? Canandaigua City School District
- b. What police or other public protection forces serve the project site?  
Canandaigua Police Department Ontario County Sheriff's Office, New York State Police
- c. Which fire protection and emergency medical services serve the project site?  
Town of Canandaigua Fire Protection District, Canandaigua Emergency Squad.
- d. What parks serve the project site?  
Onanda Park

**D. Project Details**

**D.1. Proposed and Potential Development**

- a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Park improvements
- b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ 86.42 acres  
b. Total acreage to be physically disturbed? \_\_\_\_\_ 6.25 acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ 86.42 acres
- c. Is the proposed action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_
- d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
If Yes,  
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)  
\_\_\_\_\_  
ii. Is a cluster/conservation layout proposed?  Yes  No  
iii. Number of lots proposed? \_\_\_\_\_  
iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_
- e. Will the proposed action be constructed in multiple phases?  Yes  No  
i. If No, anticipated period of construction: \_\_\_\_\_ 24 months  
ii. If Yes:  
• Total number of phases anticipated \_\_\_\_\_  
• Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year  
• Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year  
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

f. Does the project include new residential uses?  Yes  No

If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No

If Yes,

i. Total number of structures 1 BH 3 cabin

ii. Dimensions (in feet) of largest proposed structure: \_\_\_\_\_ 20 height; \_\_\_\_\_ 27 width; and \_\_\_\_\_ 51 length

iii. Approximate extent of building space to be heated or cooled: \_\_\_\_\_ 1375/cabin square feet and 1,050 sf for bathhouse

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No

If Yes,

i. Purpose of the impoundment: \_\_\_\_\_

ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_

iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_

iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres

v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

## D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
(Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)

If Yes:

i. What is the purpose of the excavation or dredging? \_\_\_\_\_

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): \_\_\_\_\_
- Over what duration of time? \_\_\_\_\_

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_

iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
If yes, describe. \_\_\_\_\_

v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres

vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres

vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet

viii. Will the excavation require blasting?  Yes  No

ix. Summarize site reclamation goals and plan: \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No

If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments?  Yes  No

If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No

If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No

If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes:

- Name of district or service area: \_\_\_\_\_
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ 5500 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_

Sanitary sewer flow from ADA Bathhouse, proposed cabins and existing King's Hall will all be treated via on site septic tank/leach field.

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

• Do existing sewer lines serve the project site?  Yes  No  
 • Will a line extension within an existing district be necessary to serve the project?  Yes  No  
 If Yes:  
 • Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:  
 • Applicant/sponsor for new district: \_\_\_\_\_  
 • Date application submitted or anticipated: \_\_\_\_\_  
 • What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

---

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:  
 i. How much impervious surface will the project create in relation to total size of project parcel?  
 \_\_\_\_\_ Square feet or 1.16 acres (impervious surface)  
 \_\_\_\_\_ Square feet or 86.42 acres (parcel size)  
 ii. Describe types of new point sources. There are roadside swales and pipes that will transport stormwater runoff from the proposed impervious areas (road/parking lots/buildings/etc.) and the hillside to the stormwater management facilities.  
 \_\_\_\_\_  
 iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
 There are various proposed bio-retention and stormwater management facilities on the site that will treat stormwater runoff for quality and quantity. Peak flows will be reduced below pre-development rates.  
 • If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_  
 The stormwater runoff will eventually discharge to Canandaigua Lake after it has been treated for quality and quantity.  
 \_\_\_\_\_  
 • Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

---

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:  
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
 \_\_\_\_\_  
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 \_\_\_\_\_  
 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
 \_\_\_\_\_

---

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:  
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No  
 ii. In addition to emissions as calculated in the application, the project will generate:  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)  
 • \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)



h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

---

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

---

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_

iii. Will the proposed action require a new, or an upgrade, to an existing substation?  Yes  No

---

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ 7AM-4PM</li> <li>• Saturday: _____ As Needed</li> <li>• Sunday: _____ As Needed</li> <li>• Holidays: _____ N/A</li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ N/A</li> <li>• Saturday: _____ N/A</li> <li>• Sunday: _____ N/A</li> <li>• Holidays: _____ N/A</li> </ul>
--	---

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No  
 If yes:  
 i. Provide details including sources, time of day and duration:  
 Temporary during construction only. \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

---

n. Will the proposed action have outdoor lighting?  Yes  No  
 If yes:  
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
 There will be various building mounted light fixtures and light poles on the site. They will not have impacts on the adjacent parcel as the site is surrounded by dense vegetation/woods. The light poles that would be re-installed would be the same height as existing.  
 \_\_\_\_\_

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
 Describe: As previously stated, there is dense vegetation/woods surrounding the proposed improvements. No impact from proposed lighting is anticipated.  
 \_\_\_\_\_

---

o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_  
 Temporary during construction only. \_\_\_\_\_  
 \_\_\_\_\_

---

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No  
 If Yes:  
 i. Product(s) to be stored \_\_\_\_\_  
 ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)  
 iii. Generally, describe the proposed storage facilities: \_\_\_\_\_  
 \_\_\_\_\_

---

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No  
 If Yes:  
 i. Describe proposed treatment(s):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

---

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No  
 If Yes:  
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:  
 • Construction: \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 • Operation : \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:  
 • Construction: \_\_\_\_\_  
 \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_

iii. Proposed disposal methods/facilities for solid waste generated on-site:  
 • Construction: \_\_\_\_\_  
 \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_

ii. Anticipated rate of disposal/processing:

- \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
- \_\_\_\_\_ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: \_\_\_\_\_ years

---

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_

ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_

iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

- Urban    Industrial    Commercial    Residential (suburban)    Rural (non-farm)  
 Forest    Agriculture    Aquatic    Other (specify): Park Land

ii. If mix of uses, generally describe: \_\_\_\_\_

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	1.25	2.21	+0.96
• Forested	78.13	77.24	-0.89
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	7.04	6.97	-0.07
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	N/A
• Surface water features (lakes, ponds, streams, rivers, etc.)	0	0	N/A
• Wetlands (freshwater or tidal)	0	0	N/A
• Non-vegetated (bare rock, earth or fill)	0	0	N/A
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: Yes, public park with various amenities currently used by the public.

---

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities:  
\_\_\_\_\_

---

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  

- Dam height: \_\_\_\_\_ feet
- Dam length: \_\_\_\_\_ feet
- Surface area: \_\_\_\_\_ acres
- Volume impounded: \_\_\_\_\_ gallons OR acre-feet

ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection:  
\_\_\_\_\_

---

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  

- If yes, cite sources/documentation: \_\_\_\_\_

ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:  
\_\_\_\_\_  
\_\_\_\_\_  
iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

---

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:  
\_\_\_\_\_  
\_\_\_\_\_

---

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
\_\_\_\_\_  
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): \_\_\_\_\_  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):  
\_\_\_\_\_  
\_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_  
\_\_\_\_\_

---

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ +/-6 feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site:

Honeyoye loam (101C)	_____	27.2 %
Honeyoye loam (201B)	_____	25.4 %
Honeyoye loam (101B)	_____	23.0 %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ +/-3 feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ 69.6 % of site  
 Moderately Well Drained: \_\_\_\_\_ 30.3 % of site  
 Poorly Drained \_\_\_\_\_ % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: \_\_\_\_\_ 90 % of site  
 10-15%: \_\_\_\_\_ 10 % of site  
 15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
If Yes, describe: \_\_\_\_\_  
\_\_\_\_\_

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No  
If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name 898-222 Classification C
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name Federal Waters, Federal Waters, Federal Waters,... Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_  
\_\_\_\_\_

---

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100-year Floodplain?  Yes  No

k. Is the project site in the 500-year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
If Yes:  
i. Name of aquifer: \_\_\_\_\_

m. Identify the predominant wildlife species that occupy or use the project site: _____	
Deer _____	Birds _____
Fox _____	Insects _____
Rabbits _____	Small Rodents _____
n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
If Yes:	
i. Describe the habitat/community (composition, function, and basis for designation): _____	
ii. Source(s) of description or evaluation: _____	
iii. Extent of community/habitat:	
• Currently: _____ acres	
• Following completion of project as proposed: _____ acres	
• Gain or loss (indicate + or -): _____ acres	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
If Yes:	
i. Species and listing (endangered or threatened): _____	
_____	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
If Yes:	
i. Species and listing: _____	
_____	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>	
If yes, give a brief description of how the proposed action may affect that use: _____	
Fishing and recreational activities will not be disturbed as a result of this project	
<b>E.3. Designated Public Resources On or Near Project Site</b>	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>	
If Yes, provide county plus district name/number: <u>ONTAc01</u>	
b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
i. If Yes: acreage(s) on project site? _____	
ii. Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
If Yes:	
i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature	
ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____	
_____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
If Yes:	
i. CEA name: _____	
ii. Basis for designation: _____	
iii. Designating agency and date: _____	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes:	
<i>i.</i> Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input checked="" type="checkbox"/> Historic Building or District	
<i>ii.</i> Name: Eligible property: Lake Residence, Eligible property: Onanda Park	
<i>iii.</i> Brief description of attributes on which listing is based: _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	
If Yes:	
<i>i.</i> Describe possible resource(s): _____	
<i>ii.</i> Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
If Yes:	
<i>i.</i> Identify resource: <u>Canandaigua Lake</u>	
<i>ii.</i> Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): <u>Finger Lake</u>	
<i>iii.</i> Distance between project and resource: _____ .01 miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
If Yes:	
<i>i.</i> Identify the name of the river and its designation: _____	
<i>ii.</i> Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.

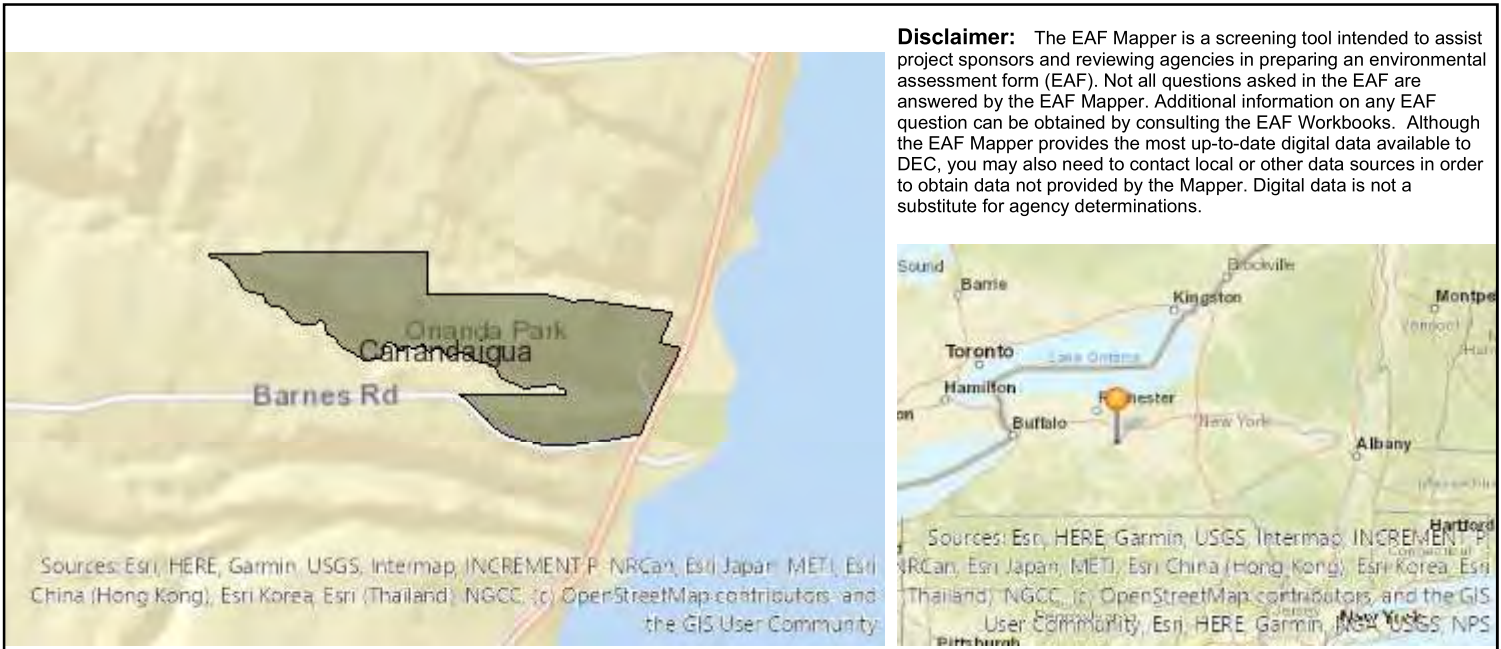
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Town of Canandaigua Town Board      Date October 28, 2024

Signature \_\_\_\_\_      Title Town Supervisor



**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Stream Name]	898-222
E.2.h.iv [Surface Water Features - Stream Classification]	C
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.2.j. [100 Year Floodplain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.



E.2.k. [500 Year Floodplain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	Yes
E.3.a. [Agricultural District]	ONTAc01
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Yes - Digital mapping data for archaeological site boundaries are not available. Refer to EAF Workbook.
E.3.e.ii [National or State Register of Historic Places or State Eligible Sites - Name]	Eligible property:Lake Residence, Eligible property:Onanda Park
E.3.f. [Archeological Sites]	No
E.3.i. [Designated River Corridor]	No

# **ATTACHMENT 9**

**TOWN OF CANANDAIGUA  
ADMINISTRATION & OPERATION AGREEMENT  
FOR SPECIAL DISTRICT WATER SERVICES**

- I. **INTRODUCTION.** This Agreement is entered into by and between the Canandaigua Consolidated Water District (hereinafter referred to as "CCWD") and the following water districts (hereinafter referred to as "water districts"):

McIntyre Road Water District (S.2458)  
Canandaigua Bristol Water District (S.246A)  
County Road 30 Water District (S.2478)  
Hopkins Grimble Water District (S.248A)  
Hickox Road Water District (S.248D)  
Nott Road Water District, Ext#40 (S.249A)  
County Road #32, Ext#41 (S.2498).

- II. **ADMINISTRATION.** CCWD shall provide any and all required administrative services to the water districts for all billing, finance, budget, management, planning, and accounting purposes. The water districts hereby authorize CCWD to provide said administrative services.
- III. **OPERATIONS.** CCWD shall manage and be responsible for all operations of the water districts, including the provision of water, maintenance and repair of the property and equipment of the water districts, and the administrative services described above. The water districts hereby authorize CCWD to provide said operational management.
- IV. **PERSONNEL.** CCWD shall use its personnel to conduct the administration, maintenance, repair, and operation of the water districts. CCWD shall be paid for administration services as further described below. CCWD shall track the hours spent by its personnel on the any maintenance, or repair of any facility in the water districts and shall charge the water districts an hourly rate for said personnel as further described below.
- V. **COSTS.**
- A. **Administrative Fees.** In exchange for administrative services described above, CCWD shall charge the water districts 60% of the Operation and Maintenance fees collected by the water districts per year. The remaining 40% of the Operation and Maintenance fees collected by the water districts shall remain with each water district for future maintenance needs. The Budget Officer of the Town of Canandaigua shall cause to be collected the O&M rate for each district, and shall further be directed to transfer 60% of the collected O&M rate from the water districts to CCWD upon the enactment of each fiscal budget.
- B. **Repairs and Maintenance Fees.** CCWD shall charge the water districts the actual hourly rate paid to its employees for the hours CCWD's employees spend on repair, operations, and maintenance of the water districts.
- VI. **LIABILITY.** CCWD assumes no liability for dangerous conditions existing prior to, caused, or created as a result of this Agreement. The water districts agree to indemnify and defend CCWD against any and all damages for work related to this Agreement.

VII. **TERM OF AGREEMENT**, The term of this Agreement shall be five (5) years, unless terminated earlier by the Town Board commencing with the 2025 Town of Canandaigua Fiscal Budget and each fiscal budget thereafter, for the period between January 1, 2025 through December 31, 2029.

**WATER DISTRICTS:**

McIntyre Road Water District (S.245B)  
Canandaigua Bristol Water District (S.246A)  
County Road 30 Water District (S.247B)  
Hopkins Grimble Water District (S.248A)  
Hickox Road Water District (S.248D)  
Nott Road Water District, Ext#40 (S.249A)  
County Road #32, Ext#41 (S.249B).

CANANDAIGUA CONSOLIDATED WATER DISTRICT (S.247)

Acting on behalf of the Canandaigua Consolidated Water District and the "Water Districts", the Town Board of the Town of Canandaigua, hereby authorizes this agreement dated October 28<sup>th</sup>, 2024.

By: \_\_\_\_\_  
Jared Simpson, Town Supervisor

\_\_\_\_\_  
Adeline Rudolph, Deputy Town Supervisor

\_\_\_\_\_  
Terrence Fennelly, Town Board Member

\_\_\_\_\_  
John Casey, Town Board Member

\_\_\_\_\_  
David Sauter, Town Board Member

# **ATTACHMENT 10**

## REDUCE MINIMUM SQUARE FOOTAGE TO 720 SF

§ 220-9. Regulations applicable to all districts. [Amended 2-13-2012 by L.L. No. 1-2012; 4-8-2013 by L.L. No. 2-2013; 2-10-2014 by L.L. No. 1-2014; 10-17-2016 by L.L. No. 9-2016]

S. Placement of manufactured housing within the Town of Canandaigua.

~~(1) The siting of single-wide manufactured homes shall be permitted only in manufactured home parks within the Town of Canandaigua.~~

~~(2)~~(1) A single-wide manufactured home sited under the provisions of this section shall offer no less than 720 square feet of living area, excluding decks, porches and other structures which are either attached or placed immediately adjacent to the single-wide manufactured home.

~~(3)~~(2) ~~Double-wide~~M-manufactured homes are permitted in all residential zoning districts, except the Residential Lake District, provided that the ~~double-wide~~ manufactured home shall offer no less than ~~1,100~~720 square feet of living space, excluding decks, porches and other structures which are either attached or placed immediately adjacent to the ~~double-wide~~ manufactured home, and further provided that the ~~double-wide~~ home shall be no less than 20 feet wide.

~~(4)~~(3) All ~~double-wide~~ manufactured homes located outside of a manufactured home park shall be sited on a full perimeter foundation with concrete or concrete block foundation walls extended below the frost line and must be affixed to the foundation in accordance with the manufacturer's specifications.

~~(5)~~(4) All manufactured homes to be sited within the Town of Canandaigua shall comply with all applicable federal, state and/or local laws at the time of application.

~~(6)~~(5) A permit must be obtained from the Code Enforcement Officer of the Town of Canandaigua prior to the siting of any manufactured home within the Town of Canandaigua.

T. All single-family dwelling units, except senior living facilities ~~and single-wide manufactured homes~~, constructed and/or located within the Town of Canandaigua shall offer no less than ~~1,100~~720 square feet of living area excluding decks, porches, and other structures which are either attached or placed immediately adjacent to the dwelling unit, ~~and provided further that the dwelling unit shall be no less than 20 feet wide~~. This shall not apply to multiple-family dwellings.

**§ 220-20. MR Multiple-Residence District. [Amended 3-16-2015 by L.L. No. 3-2015]**

D. Dimensional requirements and design standards. The dimensional requirements for this district are specified in Schedule I of this chapter. In addition to the dimensional requirements set forth in Schedule I, the following site design standards shall be applicable to all townhouse dwelling unit and multiple-family dwelling unit developments:

(1) Townhouse development site design standards.

- (a) The minimum area lot size for a townhouse development shall not be less than three acres.
- (b) Density. Overall site density shall not exceed eight dwelling units per gross acre, and not more than eight dwelling units shall be allowed on any one acre of land.
- (c) Individual dwelling unit lot criteria.

[1] The minimum lot area for each townhouse dwelling unit shall be 3,500 square feet.

[2] The minimum front setback shall be 25 feet.

[3] The minimum lot width at the front building line shall be 25 feet for a two-story townhouse unit.

[4] The minimum lot width at the front building line shall be 35 feet for a single-story townhouse unit.

[5] The minimum rear setback shall be 25 feet.

[6] The maximum lot coverage shall be 65%.

[7] The minimum lot depth shall be 140 feet.

[8] There shall be no accessory structures allowed.

[9] Common off-street parking areas may be allowed. **[Amended 11-16-2020 by L.L. No. 3-2020]**

[10] (Reserved)<sup>1</sup>

[11] Where garages are accessed from the rear portion of the structure, the front building line shall continue to be the portion facing the street. In these instances, the minimum front setback shall be 10 feet.

[12] (Reserved)<sup>2</sup>

[13] There shall be an adequately sized bulk storage area provided for each townhouse unit. The minimum size for such bulk storage area shall be determined by the Planning Board as part of site plan approval. In the event a bulk storage area is not found to be adequately sized, the landowner or homeowners association shall be responsible for providing additional area to meet need.

- (d) Minimum habitable floor area per dwelling unit shall be 720 square feet. :
- ~~[1]—Townhouse unit, three bedrooms: 1,000 square feet.~~
- ~~[2]—Townhouse unit, two bedrooms: 850 square feet.~~
- (e) No exterior wall shall exceed 50 feet in length unless there is a lateral offset of at least four feet in its alignment not less frequently than along each 50 feet of length of such exterior wall.
- (f) Each townhouse building shall contain not more than eight dwelling units.
- (g) Parking requirements. Requirements for off-street parking as provided in Article VIII of this chapter shall be met, except that the location of off-street parking lots may be modified to conform with the approved site plan, provided that such lots shall not be located within the front yard or the required side yard setback. Paved pedestrian walkways, with appropriate lighting, shall be provided from off-street parking areas to all dwelling units each parking area is intended to serve. In addition to the standards required in Article VIII, the following standards shall be met:
- [1] (Reserved)<sup>3</sup>
- [2] Appropriate screening shall be provided as to prevent glare from headlights.
- (h) Each townhouse development shall have adequate pedestrian-separated facilities (sidewalks) connecting all townhouse dwelling units in the development.
- (i) Each townhouse dwelling unit lot shall have a minimum of two trees to be planted prior to the issuance of a certificate of occupancy, or due to seasonal conditions, said trees are to be planted within six months of the issuance of a temporary certificate of occupancy.
- (j) Each on-site stormwater facility shall be adequately landscaped.
- (k) Each townhouse development shall either have mailboxes attached to the front of each structure, or a common mailbox area with adequate pull-off for both postal delivery vehicles and private vehicles. There shall otherwise be no mailboxes allowed along the side of a street.
- (l) Each townhouse development shall contain streetlighting spaced at each intersection, at any cul-de-sac or dead-end street and any common parking area. Streetlighting shall be dark sky compliant as further regulated in § 220-77 of the Town Code.
- (m) Each townhouse development street name shall be in compliance with the Ontario County 911 Street Naming Regulations.
- (n) Where a townhouse development does not have public streets serving the townhouse dwelling units, then provisions shall be made with the local school district for the use of an acceptable off-street area to be used for the loading and unloading of school children. Each such area shall have a well-designed all-weather structure for use by students awaiting pickup or dropoff. Each such area shall be adequately illuminated in accordance with Town lighting standards.



## (2) Apartments and condominium site design standards.

- (a) The minimum lot size for apartment building developments shall not be less than three acres.
- (b) Density. Density shall not exceed eight dwelling units per gross acre.
- (c) Floor areas. Minimum floor areas, exclusive of common areas such as halls, foyers and basement utility areas, shall be as follows:
  - [1] Apartment unit, efficiency: 450 square feet
  - [2] Apartment unit, one-bedroom: 550 square feet.
  - [3] Apartment unit, two-bedroom: 700 square feet.
  - [4] Apartment unit, three-bedroom: ~~800~~720 square feet.
  - [5] Apartment unit, four-bedroom: ~~900~~720 square feet.
- (d) Open space. There shall be at least 400 square feet of common open space exclusive of the required setback areas, buffer strips and parking areas which shall be designated for recreation, active and/or passive, for each apartment building.
- (e) Unit distribution.
  - [1] No more than 30% of the total units within an apartment building development shall be efficiency units.
  - [2] No more than 40% of the total units within an apartment building development shall be three or more bedroom units.
- (f) Apartment building development design standards. Each apartment building development site shall be regulated as follows:
  - [1] Minimum distance between buildings shall be 50 feet.
  - [2] Direct line of sight visibility, from front to rear, from one building to another shall not be less than 100 feet.
  - [3] Every building shall have a minimum setback of 25 feet from all interior roads, driveways and parking areas.
  - [4] A strip of land around each apartment building, at least six feet in width, shall be kept completely open except for foundation plantings of less than six feet in height.
  - [5] Courtyards bounded on three sides by the wings of a single building, or by the walls of separate buildings, shall have a minimum court width of two feet for each one foot in height of the tallest adjacent building.
  - [6] No exterior wall shall exceed 100 feet in length unless there is a lateral offset of at least eight feet in its alignment not less frequently than along each 100 feet of length of such exterior wall.
  - [7] All stairways to the second floor or higher shall be located inside the building.

## (g) Access to public roads.

- [1] All apartment building developments shall have direct access to a public road.
- [2] Where there are 12 or more dwelling units in an apartment building development, access from the common parking area(s) to the public road must be provided by either a private driveway or a road dedicated to the Town by the developer.
- [3] Where there are 50 or more dwelling units in an apartment building development, the Town Planning Board may require an additional access, to that required above, to a public road as a condition of site plan approval.
- [4] In no event shall the Town Planning Board allow more than 150 units to be served by one access to a public road.

## (h) Services.

- [1] Each dwelling unit shall contain complete kitchen facilities, toilet, bathing and sleeping facilities.
- [2] There shall be a minimum common storage area in each building for bicycles and similar types of equipment of 40 square feet in area, a minimum of five feet in height and not less than four feet in width per each dwelling unit.
- [3] Within each building there shall be sufficient laundry, drying and other utility areas.
- [4] Garbage storage areas shall be provided for each building. Such facilities shall be located with a view both to convenience and to minimizing the detrimental effect on the aesthetic character of the building(s) and shall be enclosed and shielded from view by fencing, walls or shrubbery of at least six feet in height around the perimeter. Fencing and walls shall be not more than 50% open on the vertical surface.
- [5] There shall be an adequately sized bulk storage area provided for each apartment building. The minimum size for such bulk storage area shall be determined by the Planning Board as part of site plan approval. In the event a bulk storage area is not found to be adequately sized, the landowner shall be responsible for providing additional area to meet need.

## (i) Utilities.

- [1] All public utilities, electric, gas, cable television and telephone lines shall be installed underground.
- [2] An adequate supply of public water shall be provided to all dwelling units.
- [3] All dwelling units shall be connected to public sewers.

E. Special permitted uses. The following uses may be permitted consistent with the provisions of Article VI, provided that a special use permit is issued by the Town Planning Board:

- (1) Essential services, public utilities substations and uses, excluding power plants or repair

yards and warehouses or uses similar in nature.

(2) Public uses.

## **ELIMINATE MINIMUM SIZE REQUIREMENT**

### **§ 134-5. Lot and setback requirements.**

Each manufactured home lot located within a manufactured home park shall have corner pins which are clearly marked and shall contain a minimum of 7,200 square feet, with a minimum lot width of 60 feet and shall have such shape that each manufactured home is placed on the lot so as to meet the following setback requirements:

- A. Front yard setback. There shall be a minimum of 25 feet from the edge of road pavement to the front portion of a manufactured home. On a corner lot, there shall only be one front setback, which shall be measured from the driveway side of the manufactured home lot.
- B. Side yard setback. There shall be a side yard setback of 10 feet separating all structures on each lot.
- C. Rear yard setback. There shall be a setback of 10 feet from the rear lot line to any structure located on said lot.

~~D. Minimum size of individual manufactured home. The minimum size of any individual manufactured home in a manufactured home park shall be 720 square feet.~~

E.D. Accessory buildings on individual lots. One accessory building not to exceed 144 square feet in area and 10 feet in height shall be permitted for each manufactured home lot. The accessory structure shall be separated from any manufactured home either on the subject lot or an adjacent lot by 10 feet.

F.E. Skirts. Each manufactured home shall be required to fully enclose the bottom portion of the dwelling, with material which shall be uniform in appearance, design and type as the manufactured home dwelling, within 30 days after arrival in the manufactured home park and placement on a lot therein.

G.F. Parking areas and/or driveways. Two off-road parking spaces must be provided for each manufactured home lot. The parking space shall be not less than 15 feet wide by 20 feet long. Said parking areas and/or driveways shall be constructed of concrete or bituminous asphalt or equivalent, at least a minimum of four inches of compacted gravel base with three inches of asphalt topping. The parking spaces may be grouped for each two manufactured homes. Such grouping shall provide a parking area of not less than 36 feet in width by 20 feet in depth.

H.G. Vehicle storage. Common storage space shall be provided by the owner of the manufactured home park to all tenants. No travel trailer, camper, boat, snowmobile or similar auxiliary vehicle or conveyance shall be stored on any manufactured home lot within a manufactured home park. A supplemental park storage area shall be provided within a screened open area provided for the storage of all auxiliary vehicles. No unlicensed or unregistered vehicle shall be permitted within a manufactured home park.

**§ 220-9. Regulations applicable to all districts. [Amended 2-13-2012 by L.L. No. 1-2012; 4-8-2013 by L.L. No. 2-2013; 2-10-2014 by L.L. No. 1-2014; 10-17-2016 by L.L. No. 9-2016]**

S. Placement of manufactured housing within the Town of Canandaigua.

(1) The siting of single-wide manufactured homes shall be permitted only in manufactured home parks within the Town of Canandaigua.

~~(2) A single wide manufactured home sited under the provisions of this section shall offer no less than 720 square feet of living area, excluding decks, porches and other structures which are either attached or placed immediately adjacent to the single wide manufactured home.~~

~~(3)(2) Double-wide manufactured homes are permitted in all residential zoning districts, except the Residential Lake District, provided that the double wide manufactured home shall offer no less than 1,100 square feet of living space, excluding decks, porches and other structures which are either attached or placed immediately adjacent to the double wide manufactured home, and further provided that the double wide shall be no less than 20 feet wide.~~

~~(4)(3) All double-wide manufactured homes located outside of a manufactured home park shall be sited on a full perimeter foundation with concrete or concrete block foundation walls extended below the frost line and must be affixed to the foundation in accordance with the manufacturer's specifications.~~

~~(5)(4) All manufactured homes to be sited within the Town of Canandaigua shall comply with all applicable federal, state and/or local laws at the time of application.~~

~~(6)(5) A permit must be obtained from the Code Enforcement Officer of the Town of Canandaigua prior to the siting of any manufactured home within the Town of Canandaigua.~~

~~T. All single family dwelling units, except senior living facilities and single wide manufactured homes, constructed and/or located within the Town of Canandaigua shall offer no less than 1,100 square feet of living area excluding decks, porches, and other structures which are either attached or placed immediately adjacent to the dwelling unit, and provided further that the dwelling unit shall be no less than 20 feet wide. This shall not apply to multiple family dwellings.~~

**§ 220-20. MR Multiple-Residence District. [Amended 3-16-2015 by L.L. No. 3-2015]**

D. Dimensional requirements and design standards. The dimensional requirements for this district are specified in Schedule I of this chapter. In addition to the dimensional requirements set forth in Schedule I, the following site design standards shall be applicable to all townhouse dwelling unit and multiple-family dwelling unit developments:

- (1) Townhouse development site design standards.
  - (a) The minimum area lot size for a townhouse development shall not be less than three acres.
  - (b) Density. Overall site density shall not exceed eight dwelling units per gross acre, and not more than eight dwelling units shall be allowed on any one acre of land.
  - (c) Individual dwelling unit lot criteria.
    - [1] The minimum lot area for each townhouse dwelling unit shall be 3,500 square feet.
    - [2] The minimum front setback shall be 25 feet.
    - [3] The minimum lot width at the front building line shall be 25 feet for a two-story townhouse unit.
    - [4] The minimum lot width at the front building line shall be 35 feet for a single-story townhouse unit.
    - [5] The minimum rear setback shall be 25 feet.
    - [6] The maximum lot coverage shall be 65%.
    - [7] The minimum lot depth shall be 140 feet.
    - [8] There shall be no accessory structures allowed.
    - [9] Common off-street parking areas may be allowed. **[Amended 11-16-2020 by L.L. No. 3-2020]**
    - [10] (Reserved)<sup>1</sup>
    - [11] Where garages are accessed from the rear portion of the structure, the front building line shall continue to be the portion facing the street. In these instances, the minimum front setback shall be 10 feet.
    - [12] (Reserved)<sup>2</sup>
    - [13] There shall be an adequately sized bulk storage area provided for each townhouse unit. The minimum size for such bulk storage area shall be determined by the Planning Board as part of site plan approval. In the event a bulk storage area is not found to be adequately sized, the landowner or homeowners association shall be responsible for providing additional area to meet need.

~~(d)~~ ~~Minimum habitable floor area per dwelling unit shall be:~~

~~[1] Townhouse unit, three bedrooms: 1,000 square feet.~~

~~[2] Townhouse unit, two bedrooms: 850 square feet.~~

~~(e)~~(d) No exterior wall shall exceed 50 feet in length unless there is a lateral offset of at least four feet in its alignment not less frequently than along each 50 feet of length of such exterior wall.

~~(f)~~(e) Each townhouse building shall contain not more than eight dwelling units.

~~(g)~~(f) Parking requirements. Requirements for off-street parking as provided in Article VIII of this chapter shall be met, except that the location of off-street parking lots may be modified to conform with the approved site plan, provided that such lots shall not be located within the front yard or the required side yard setback. Paved pedestrian walkways, with appropriate lighting, shall be provided from off-street parking areas to all dwelling units each parking area is intended to serve. In addition to the standards required in Article VIII, the following standards shall be met:

[1] (Reserved)<sup>3</sup>

[2] Appropriate screening shall be provided as to prevent glare from headlights.

~~(h)~~(g) Each townhouse development shall have adequate pedestrian-separated facilities (sidewalks) connecting all townhouse dwelling units in the development.

~~(i)~~(h) Each townhouse dwelling unit lot shall have a minimum of two trees to be planted prior to the issuance of a certificate of occupancy, or due to seasonal conditions, said trees are to be planted within six months of the issuance of a temporary certificate of occupancy.

~~(j)~~(i) Each on-site stormwater facility shall be adequately landscaped.

~~(k)~~(j) Each townhouse development shall either have mailboxes attached to the front of each structure, or a common mailbox area with adequate pull-off for both postal delivery vehicles and private vehicles. There shall otherwise be no mailboxes allowed along the side of a street.

~~(l)~~(k) Each townhouse development shall contain streetlighting spaced at each intersection, at any cul-de-sac or dead-end street and any common parking area. Streetlighting shall be dark sky compliant as further regulated in § 220-77 of the Town Code.

~~(m)~~(l) Each townhouse development street name shall be in compliance with the Ontario County 911 Street Naming Regulations.

~~(n)~~(m) Where a townhouse development does not have public streets serving the townhouse dwelling units, then provisions shall be made with the local school district for the use of an acceptable off-street area to be used for the loading and unloading of school children. Each such area shall have a well-designed all-weather structure for use by students awaiting pickup or dropoff. Each such area shall be adequately illuminated in accordance with Town lighting standards.

(2) Apartments and condominium site design standards.

- (a) The minimum lot size for apartment building developments shall not be less than three acres.
- (b) Density. Density shall not exceed eight dwelling units per gross acre.

~~(c) Floor areas. Minimum floor areas, exclusive of common areas such as halls, foyers and basement utility areas, shall be as follows:~~

~~[1] Apartment unit, efficiency: 450 square feet.~~

~~[2] Apartment unit, one bedroom: 550 square feet.~~

~~[3] Apartment unit, two bedroom: 700 square feet.~~

~~[4] Apartment unit, three bedroom: 800 square feet.~~

~~[5] Apartment unit, four bedroom: 900 square feet.~~

~~(d)~~(c) Open space. There shall be at least 400 square feet of common open space exclusive of the required setback areas, buffer strips and parking areas which shall be designated for recreation, active and/or passive, for each apartment building.

~~(e)~~(d) Unit distribution.

- [1] No more than 30% of the total units within an apartment building development shall be efficiency units.
- [2] No more than 40% of the total units within an apartment building development shall be three or more bedroom units.

~~(f)~~(e) Apartment building development design standards. Each apartment building development site shall be regulated as follows:

- [1] Minimum distance between buildings shall be 50 feet.
- [2] Direct line of sight visibility, from front to rear, from one building to another shall not be less than 100 feet.
- [3] Every building shall have a minimum setback of 25 feet from all interior roads, driveways and parking areas.
- [4] A strip of land around each apartment building, at least six feet in width, shall be kept completely open except for foundation plantings of less than six feet in height.
- [5] Courtyards bounded on three sides by the wings of a single building, or by the walls of separate buildings, shall have a minimum court width of two feet for each one foot in height of the tallest adjacent building.
- [6] No exterior wall shall exceed 100 feet in length unless there is a lateral offset of at least eight feet in its alignment not less frequently than along each 100 feet of length of such exterior wall.
- [7] All stairways to the second floor or higher shall be located inside the building.

~~(g)~~(f) Access to public roads.



- [1] All apartment building developments shall have direct access to a public road.
- [2] Where there are 12 or more dwelling units in an apartment building development, access from the common parking area(s) to the public road must be provided by either a private driveway or a road dedicated to the Town by the developer
- [3] Where there are 50 or more dwelling units in an apartment building development, the Town Planning Board may require an additional access, to that required above, to a public road as a condition of site plan approval.
- [4] In no event shall the Town Planning Board allow more than 150 units to be served by one access to a public road.

~~(h)~~(g) Services.

- [1] Each dwelling unit shall contain complete kitchen facilities, toilet, bathing and sleeping facilities.
- [2] There shall be a minimum common storage area in each building for bicycles and similar types of equipment of 40 square feet in area, a minimum of five feet in height and not less than four feet in width per each dwelling unit.
- [3] Within each building there shall be sufficient laundry, drying and other utility areas.
- [4] Garbage storage areas shall be provided for each building. Such facilities shall be located with a view both to convenience and to minimizing the detrimental effect on the aesthetic character of the building(s) and shall be enclosed and shielded from view by fencing, walls or shrubbery of at least six feet in height around the perimeter. Fencing and walls shall be not more than 50% open on the vertical surface.
- [5] There shall be an adequately sized bulk storage area provided for each apartment building. The minimum size for such bulk storage area shall be determined by the Planning Board as part of site plan approval. In the event a bulk storage area is not found to be adequately sized, the landowner shall be responsible for providing additional area to meet need.

~~(i)~~(h) Utilities.

- [1] All public utilities, electric, gas, cable television and telephone lines shall be installed underground.
- [2] An adequate supply of public water shall be provided to all dwelling units.
- [3] All dwelling units shall be connected to public sewers.

E. Special permitted uses. The following uses may be permitted consistent with the provisions of Article VI, provided that a special use permit is issued by the Town Planning Board:

- (1) Essential services, public utilities substations and uses, excluding power plants or repair yards and warehouses or uses similar in nature.
- (2) Public uses.

**Full Environmental Assessment Form**  
**Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project: Adoption of a Local Law to reduce the required minimum square footage for dwelling units		
Project Location (describe, and attach a general location map): Town of Canandaigua		
Brief Description of Proposed Action (include purpose or need): Adoption of a Local Law to reduce the required minimum square footage for dwelling units to 720 square feet.		
Name of Applicant/Sponsor: Town Board		Telephone: 585-394-1120
		E-Mail: sreynolds@townofcanandaigua.org
Address: 5440 Routes 5 & 20 West		
City/PO: Canandaigua	State: NY	Zip Code: 14424
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address: 5440 Routes 5 & 20 West		
City/PO: Canandaigua	State: NY	Zip Code:
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address: 5440 Routes 5 & 20 West		
City/PO: Canandaigua	State: NY	Zip Code: 14424

**B. Government Approvals**

**B. Government Approvals, Funding, or Sponsorship.** (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Council, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Town Board	
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input type="checkbox"/> No	Town Board	
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No	Town Board	
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No	Town Board	
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No	Town Board	
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No	Town Board	
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No	Town Board	
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No	Town Board	
<p>i. Coastal Resources.</p> <p><i>i.</i> Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p><i>ii.</i> Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p><i>iii.</i> Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>		

**C. Planning and Zoning**

**C.1. Planning and zoning actions.**

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?  Yes  No

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

**C.2. Adopted land use plans.**

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?  Yes  No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?  Yes  No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)  Yes  No

If Yes, identify the plan(s):  
 Proposed action is town-wide so all districts and plans apply.  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?  Yes  No

If Yes, identify the plan(s):  
 Proposed action is town-wide so all districts and plans apply.  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?  
Proposed action is town-wide so all districts apply. \_\_\_\_\_

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No

If Yes,  
i. What is the proposed new zoning for the site? No

**C.4. Existing community services.**

a. In what school district is the project site located? Canandaigua, Naples, Bloomfield, Bristol

b. What police or other public protection forces serve the project site?  
Sheriff

c. Which fire protection and emergency medical services serve the project site?  
Canandaigua Emergency Squad and Multiple fire departments

d. What parks serve the project site?  
All townparks

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?  
\_\_\_\_\_

b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ acres  
b. Total acreage to be physically disturbed? \_\_\_\_\_ acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No

If Yes,  
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)  
\_\_\_\_\_

ii. Is a cluster/conservation layout proposed?  Yes  No

iii. Number of lots proposed? \_\_\_\_\_

iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will the proposed action be constructed in multiple phases?  Yes  No

i. If No, anticipated period of construction: \_\_\_\_\_ months

ii. If Yes:

- Total number of phases anticipated \_\_\_\_\_
- Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year
- Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_

f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,

i. Total number of structures \_\_\_\_\_

ii. Dimensions (in feet) of largest proposed structure: \_\_\_\_\_ height; \_\_\_\_\_ width; and \_\_\_\_\_ length

iii. Approximate extent of building space to be heated or cooled: \_\_\_\_\_ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,

i. Purpose of the impoundment: \_\_\_\_\_

ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_

iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_

iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres

v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  
 If Yes:

i. What is the purpose of the excavation or dredging? \_\_\_\_\_

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): \_\_\_\_\_
- Over what duration of time? \_\_\_\_\_

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_

iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_

v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres

vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres

vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet

viii. Will the excavation require blasting?  Yes  No

ix. Summarize site reclamation goals and plan: \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments?  Yes  No

If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No

If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No

If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes:

- Name of district or service area: \_\_\_\_\_
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

• Do existing sewer lines serve the project site?  Yes  No  
 • Will a line extension within an existing district be necessary to serve the project?  Yes  No  
 If Yes:  
 • Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:  
 • Applicant/sponsor for new district: \_\_\_\_\_  
 • Date application submitted or anticipated: \_\_\_\_\_  
 • What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:  
 i. How much impervious surface will the project create in relation to total size of project parcel?  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (impervious surface)  
 \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (parcel size)  
 ii. Describe types of new point sources. \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
 \_\_\_\_\_  
 \_\_\_\_\_  
 • If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

• Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:  
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
 \_\_\_\_\_  
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 \_\_\_\_\_  
 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
 \_\_\_\_\_  
 \_\_\_\_\_

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:  
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No  
 ii. In addition to emissions as calculated in the application, the project will generate:  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)  
 • \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

---

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

---

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_

---

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

---

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_

---

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_

---

iii. Will the proposed action require a new, or an upgrade, to an existing substation?  Yes  No

---

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____</li> <li>• Saturday: _____</li> <li>• Sunday: _____</li> <li>• Holidays: _____</li> </ul>
--	---



m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No  
 If yes:  
 i. Provide details including sources, time of day and duration:  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

---

n. Will the proposed action have outdoor lighting?  Yes  No  
 If yes:  
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

---

o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

---

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No  
 If Yes:  
 i. Product(s) to be stored \_\_\_\_\_  
 ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)  
 iii. Generally, describe the proposed storage facilities: \_\_\_\_\_  
 \_\_\_\_\_

---

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No  
 If Yes:  
 i. Describe proposed treatment(s):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

---

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No  
 If Yes:  
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:  
 • Construction: \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 • Operation : \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:  
 • Construction: \_\_\_\_\_  
 \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_

iii. Proposed disposal methods/facilities for solid waste generated on-site:  
 • Construction: \_\_\_\_\_  
 \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No  
 If Yes:  
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_  
 ii. Anticipated rate of disposal/processing:  
 • \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or  
 • \_\_\_\_\_ Tons/hour, if combustion or thermal treatment  
 iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No  
 If Yes:  
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_  
 \_\_\_\_\_  
 ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month  
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No  
 If Yes: provide name and location of facility: \_\_\_\_\_  
 \_\_\_\_\_  
 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:  
 \_\_\_\_\_  
 \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.  
 i. Check all uses that occur on, adjoining and near the project site.  
 Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)  
 Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_  
 ii. If mix of uses, generally describe:  
 \_\_\_\_\_  
 \_\_\_\_\_

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____ _____			

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities:  
\_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection:  
\_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:  
\_\_\_\_\_  
iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:  
\_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): \_\_\_\_\_  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s): \_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

---

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site: \_\_\_\_\_ %  
 \_\_\_\_\_ %  
 \_\_\_\_\_ %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ % of site  
 Moderately Well Drained: \_\_\_\_\_ % of site  
 Poorly Drained \_\_\_\_\_ % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: \_\_\_\_\_ % of site  
 10-15%: \_\_\_\_\_ % of site  
 15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_  
 \_\_\_\_\_

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No  
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_  
 \_\_\_\_\_

---

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100-year Floodplain?  Yes  No

k. Is the project site in the 500-year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: \_\_\_\_\_

m. Identify the predominant wildlife species that occupy or use the project site: _____ _____ _____	
n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: <i>i.</i> Describe the habitat/community (composition, function, and basis for designation): _____ _____ <i>ii.</i> Source(s) of description or evaluation: _____ <i>iii.</i> Extent of community/habitat: <ul style="list-style-type: none"> <li>• Currently: _____ acres</li> <li>• Following completion of project as proposed: _____ acres</li> <li>• Gain or loss (indicate + or -): _____ acres</li> </ul>	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: <i>i.</i> Species and listing (endangered or threatened): _____ _____ _____	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: <i>i.</i> Species and listing: _____ _____	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If yes, give a brief description of how the proposed action may affect that use: _____ _____	
<b>E.3. Designated Public Resources On or Near Project Site</b>	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> <i>i.</i> If Yes: acreage(s) on project site? _____ <i>ii.</i> Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: <i>i.</i> Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature <i>ii.</i> Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: <i>i.</i> CEA name: _____ <i>ii.</i> Basis for designation: _____ <i>iii.</i> Designating agency and date: _____	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?	<input type="checkbox"/> Yes <input type="checkbox"/> No
If Yes:	
<i>i.</i> Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District	
<i>ii.</i> Name: _____	
<i>iii.</i> Brief description of attributes on which listing is based: _____	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input type="checkbox"/> Yes <input type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site?	
If Yes:	
<i>i.</i> Describe possible resource(s): _____	
<i>ii.</i> Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?	<input type="checkbox"/> Yes <input type="checkbox"/> No
If Yes:	
<i>i.</i> Identify resource: _____	
<i>ii.</i> Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____	
<i>iii.</i> Distance between project and resource: _____ miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?	<input type="checkbox"/> Yes <input type="checkbox"/> No
If Yes:	
<i>i.</i> Identify the name of the river and its designation: _____	
<i>ii.</i> Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	
<input type="checkbox"/> Yes <input type="checkbox"/> No	

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.

If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Town Board Date \_\_\_\_\_

Signature \_\_\_\_\_ Title \_\_\_\_\_

# **ATTACHMENT 11**

R/R to:  
Nathan E. Vander Wal, Esq.  
DiMarco Group LLC  
1950 Brighton Henrietta Town Line Rd.  
Rochester, New York 14623

### DRAINAGE EASEMENT

THIS DRAINAGE EASEMENT (this "Easement") is made as of September 27, 2024 (the "Effective Date") by and between **CGA CR10, LLC**, with an address of 1950 Brighton Henrietta Townline Road, Rochester, New York 14623 ("Grantor") and the **TOWN OF CANANDAIGUA**, a municipal corporation with its principal office at 5440 Route 5 & 20 West, Canandaigua, New York 14424 ("Grantee").

### WITNESSETH:

**WHEREAS**, Grantor is the owner of certain real property known and described as Creekview Apartments at Woodland Park Phase II, consisting of approximately 18.379 acres located on Woodland Park Circle in the Town of Canandaigua, County of Ontario, and State of New York, with Tax ID # 84.00-1-44.300 as more particularly shown on shown on a map made by BME Associates updated April 29, 2024, a copy of which is attached hereto and specifically incorporated herein by reference ("Premises"); and

**WHEREAS**, Grantee is a municipal corporation which has determined that it is necessary for Town of Canandaigua purposes to obtain this easement over a portion of the Premises.

The Grantor, in consideration of One Dollar (\$1.00) lawful money of the United States and other good and valuable consideration paid by the Grantee, does hereby grant and release unto the Grantee, its successors and assigns, forever, perpetual easements for drainage, storm water sewer and outfall, flood control purposes, over, under and across that portion of the Premises that is particularly described in the attached **SCHEDULE A**, which is attached hereto and made a part herein ("Easement Area")

Without limiting the generality of the above-stated purposes of the easement, this grant shall include the right and easement to clean, shape, enlarge and relocate ditches, trees and vegetation; to construct, reconstruct and maintain storm sewers, drainage ditches, drain pipes, drains and tiles, and other flood control structures and to enter on said lands and re-enter from time to time, with men, machinery and materials for the said purposes; to plan and maintain seeding and plantings in order to control erosion, to remove excess earth and debris, to fill in bed of relocated streams.

The Grantee shall have the right and privilege at any time to enter upon and temporarily use an additional strip of land ten (10) feet in width immediately adjacent to each side of the permanent easement granted herein. At the termination of a temporary occupancy hereby authorized, the Grantee will restore, at its expense, the lawn and shrubbery of the Easement Area and the area of the Premises so temporarily used only to as reasonably good condition as before



insofar as it is feasible or reasonable to make such restoration.

The Grantor hereby release the Grantee, its agents, servants and contractors, from any right to compensation by reason of the granting of this easement and also any claims relating to the property subject to this easement, hereinafter described, by reason of the taking and removal of trees, brush, vegetation, soil and structures or otherwise, both upon original entry and upon future re-entries, and the Grantor accepts the consideration paid for this easement in full settlement of any such claims; however, this grant is made and accepted upon the express condition that Grantee shall indemnify and hold harmless Grantor, their successors and assigns, from any and all damages whatsoever (other than those hereinabove released) caused by Grantee, its agents, servants, employees and contractors in the exercise of Grantee's rights pursuant to this easement. Further, Grantor reserves the right to use the stream, ditch or surface of the soil for any use, which, is not inconsistent with the use and enjoyment of said easement.

Grantor warrants that it has good and marketable title to the Premises, free from all liens or encumbrances that would impair its ability to grant this easement. The Grantor hereby convey all of their right, title and interest in and to any and all improvements granted by the Grantor, their successors and assigns, in the easement area hereinafter described including, but not limited to, pipes and piping and casings. The Grantor further grant to the Grantee the right to tie-in and connect by such means as will reasonably be appropriate the easements herein granted with other storm sewer systems.

This grant and easement shall at all times be deemed to be and shall be a continuing and permanent easement and covenant running with the land and binding upon the Grantors, their heirs, successors and/or assigns.

The Grantee further covenants and agrees to restore the Easement Area back to its original condition, after completion of the necessary construction, by using so much top soil, seeding and fertilizing as required to accomplish same.

IN WITNESS WHEREOF, the Grantor has set its hands and seals and signed these presents the day and day first above written.

GRANTOR:

CGA CR10 LLC

By: TEN D's LLC, its Member

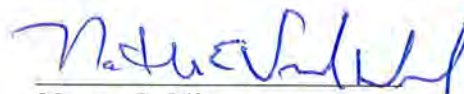
By:   
Name: John L. DiMarco II  
Its: Member

ACKNOWLEDGEMENTS

UNIFORM NOTARY ACKNOWLEDGEMENT

STATE OF NEW YORK     )  
COUNTY OF MONROE    )     ss.:

On the day of September 27, in the year 2024, before me, the undersigned, a notary public in and for said state, personally appeared **JOHN L. DIMARCO II**, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that she executed the same in her capacity, and that by her signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.



Notary Public

NATHAN E. VANDER WAL  
Notary Public, State of New York  
Reg. No. 02VA6342979  
Qualified in Monroe County  
Commission Expires 05/31/2028

## SCHEDULE "A"

2490B  
JTG  
4/29/24  
Revised

Proposed Description of  
a Stormwater Management Facility Easement (DE-2)  
to the Town of Canandaigua  
through Lots 3

ALL THAT TRACT OR PARCEL OF LAND containing 4.351 acres more or less, situate in the Phelps and Gorham Purchase, Township 10, Range 3, Town Lots 17 & 18, Town of Canandaigua, County of Ontario, and State of New York, as shown on the drawing entitled "Creek View Apartments Easement Plan DE-2," prepared by BME Associates, having drawing numbers 2490B-18A & 2490B-18B, last revised April 29, 2024, being more particularly bounded and described as follows:

Commencing at the intersection of the southerly line of Lot 3, as shown on a plan entitled "Creekview Apartments at Woodland Park, Lot Line Adjustment Plat," as filed in the Ontario County Clerk's Office at Map Number 35394, with the westerly right-of-way line of Woodland Park Circle (60' Right-of-Way); thence

A. N 38°48'54" W, along a tie line, through a portion of said Lot 3, a distance of 483.47 feet to the Point of Beginning; thence

*The following two (2) courses are through said lot 3;*

1. N 29°18'51" W, a distance of 263.48 feet to a point; thence
2. N 68°01'45" E, a distance of 418.50 feet to a point on the southerly right-of-way line of County Road 46 (Right-of-Way Width Varies); thence
3. S 79°47'23" E, along said southerly right-of-way line, a distance of 152.74 feet to a point; thence
4. S 69°38'29" E, continuing along said southerly right-of-way line, a distance of 102.18 feet to a point; thence

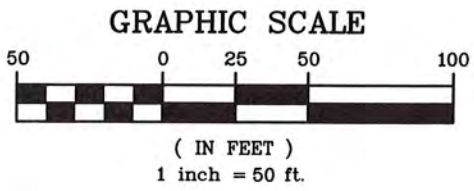
*The following five (5) courses are through aforementioned Lot 3;*

5. S 14°17'03" W, a distance of 190.05 feet to a point; thence
6. S 57°13'23" E, a distance of 140.75 feet to a point; thence

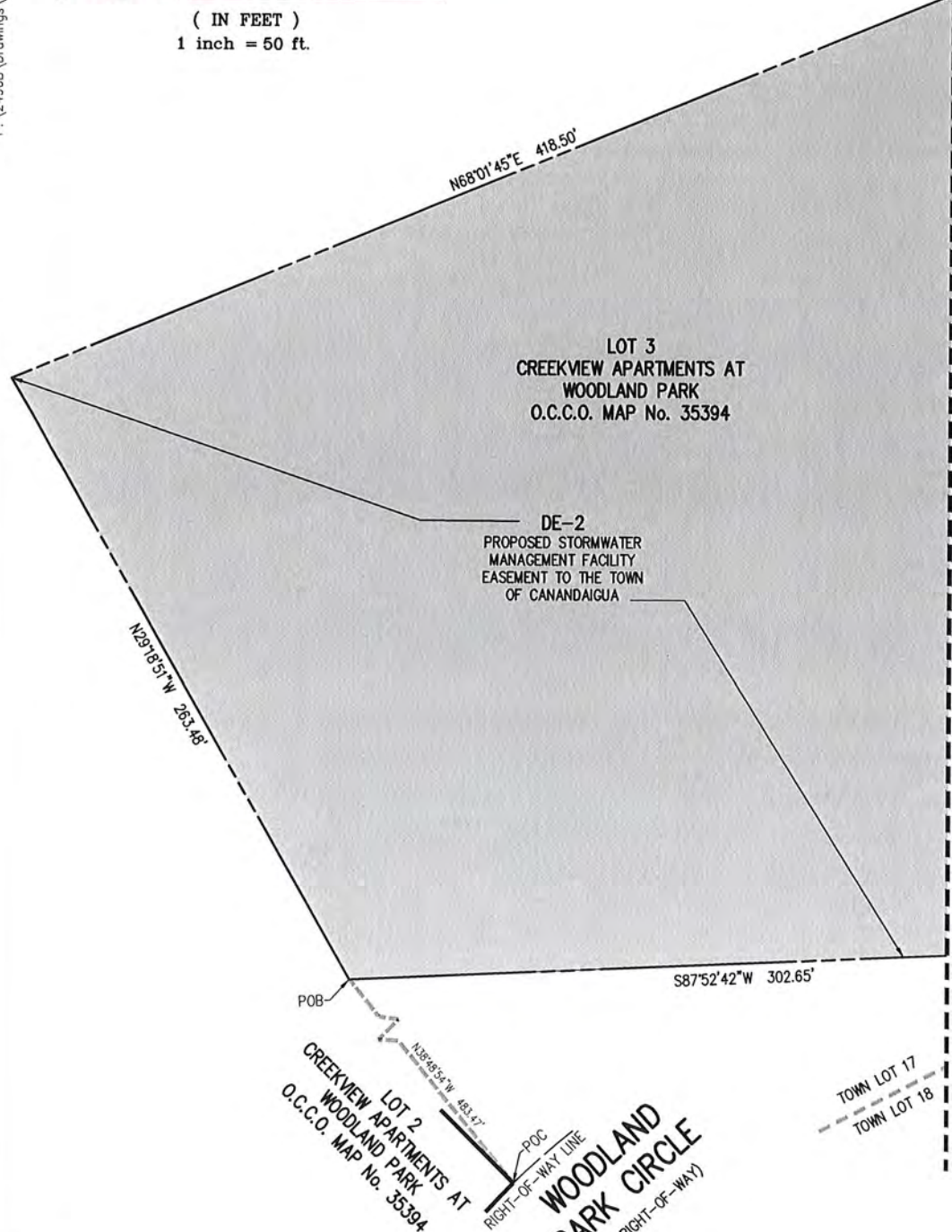
7. S 52°08'42" W, a distance of 107.04 feet to a point; thence
8. N 85°54'28" W, a distance of 190.19 feet to a point; thence
9. S 87°52'42" W, a distance of 302.65 feet to the Point of Beginning.

EASEMENT PLAN (DE-2)

COUNTY ROAD 46  
 RIGHT-OF-WAY LINE (RIGHT-OF-WAY WIDTH VARIES)



P:\2490B\Drawings\Final\2490B Layout Base.dwg



MATCH LINE SEE DRAWING 2490B-18B (SHEET 2 OF 2)

\*UPDATED PER REVISED STORMWATER MANAGEMENT FACILITY PLAN. - JTG - 4/29/24

REFERENCES:

1. A PLAN ENTITLED "CREEKVIEW APARTMENTS AT WOODLAND PARK, LOT LINE ADJUSTMENT PLAT," AS FILED IN THE ONTARIO COUNTY CLERK'S OFFICE AT MAP NUMBER 35394.
2. A PLAN ENTITLED "CREEKVIEW APARTMENTS AT WOODLAND PARK, PHASE 2 FINAL, STORMWATER MANAGEMENT FACILITY PLAN," PREPARED BY BME ASSOCIATES, HAVING DRAWING NUMBER 2490B-05, LAST REVISED APRIL 21, 2024.

PHELPS & GORHAM PURCHASE, TOWNSHIP 10, RANGE 3, TOWN LOT 17 & 18  
 COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S ORIGINAL INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.  
 \*UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209, OF THE NEW YORK STATE EDUCATION LAW.\*

**BME ASSOCIATES**  
 ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

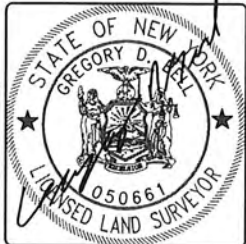
10 LIFTBRIDGE LANE EAST  
 FAIRPORT, NEW YORK 14450  
 PHONE: 585-377-7360

COPYRIGHT © 2024  
 BME Associates  
 WWW.BMEPC.COM

CREEK VIEW APARTMENTS EASEMENT PLAN DE-2  
 TOWN OF CANANDAIGUA ONTARIO COUNTY NEW YORK

DRAWN BY: JTG  
 DATE: 03-17-21

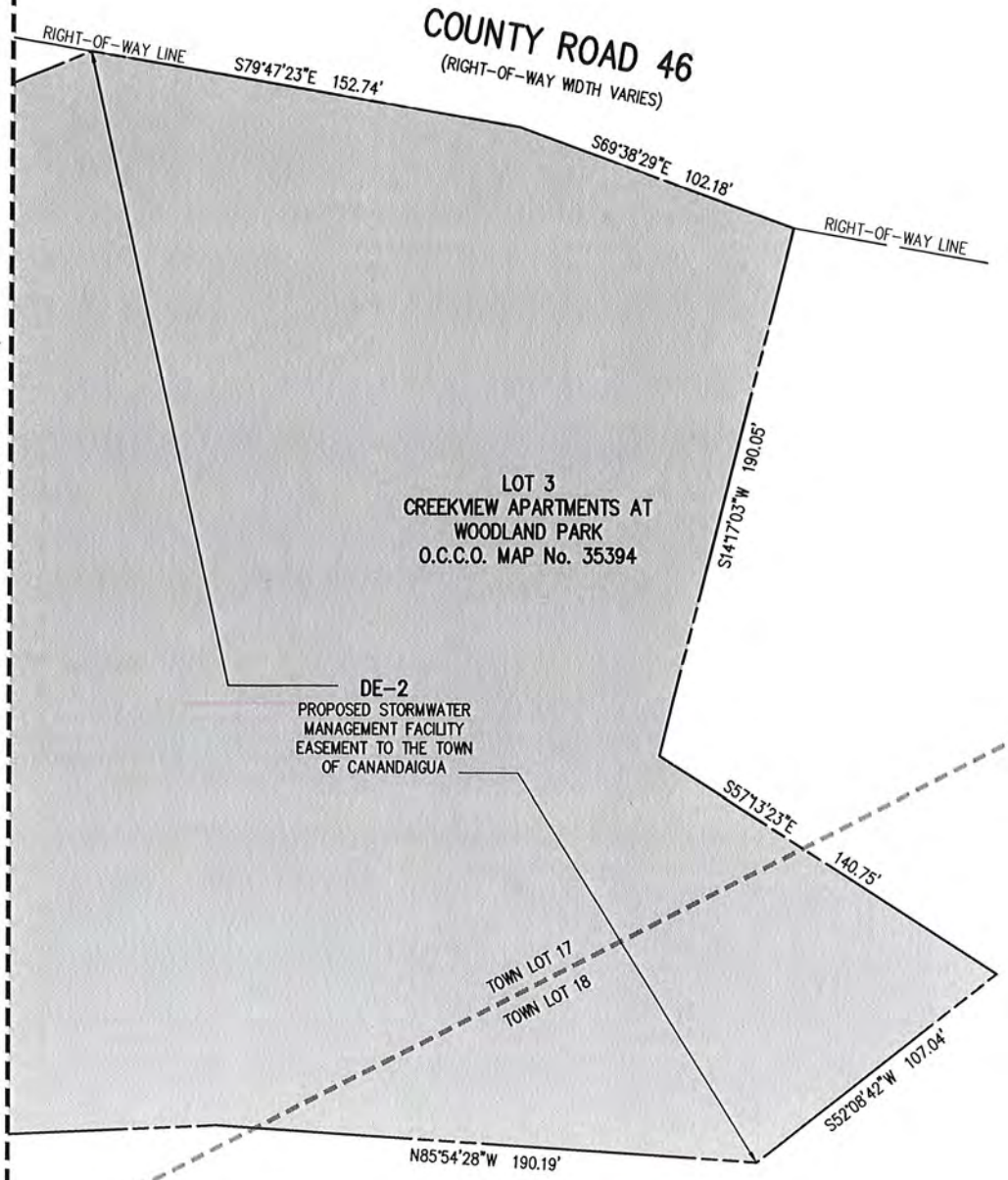
SCALE: 1"=50'  
 DWG NO: 2490B-18A  
 (SHEET 1 OF 2)



EASEMENT PLAN (DE-2)

P:\2490B\Drawings\Final\2490B Layout Base.dwg

MATCH LINE SEE DRAWING 2490B-18A (SHEET 1 OF 2)

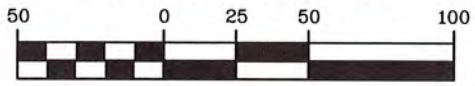


LOT 3  
CREEKVIEW APARTMENTS AT  
WOODLAND PARK  
O.C.C.O. MAP No. 35394

DE-2  
PROPOSED STORMWATER  
MANAGEMENT FACILITY  
EASEMENT TO THE TOWN  
OF CANANDAIGUA

TOWN LOT 17  
TOWN LOT 18

GRAPHIC SCALE



( IN FEET )  
1 inch = 50 ft.

REFERENCES:

1. A PLAN ENTITLED "CREEKVIEW APARTMENTS AT WOODLAND PARK, LOT LINE ADJUSTMENT PLAT," AS FILED IN THE ONTARIO COUNTY CLERK'S OFFICE AT MAP NUMBER 35394.
2. A PLAN ENTITLED "CREEKVIEW APARTMENTS AT WOODLAND PARK, PHASE 2 FINAL, STORMWATER MANAGEMENT FACILITY PLAN," PREPARED BY BME ASSOCIATES, HAVING DRAWING NUMBER 2490B-05, LAST REVISED APRIL 21, 2024.

PHELPS & GORHAM PURCHASE, TOWNSHIP 10, RANGE 3, TOWN LOT 17 & 18

COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S ORIGINAL INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.  
"UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209, OF THE NEW YORK STATE EDUCATION LAW."

**BME ASSOCIATES**  
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

10 LITFBRIDGE LANE EAST  
FAIRPORT, NEW YORK 14450  
PHONE: 585-377-7360

COPYRIGHT © 2024  
BME Associates  
WWW.BMEPC.COM

CREEK VIEW APARTMENTS EASEMENT PLAN DE-2  
TOWN OF CANANDAIGUA ONTARIO COUNTY NEW YORK

DRAWN BY: JTG  
DATE: 03-17-21

SCALE: 1"=50'  
DWG NO: 2490B-18B  
(SHEET 2 OF 2)



UPDATED PER REVISED STORMWATER MANAGEMENT FACILITY PLAN. - JTG - 4/29/24

R/R to:

Nathan E. Vander Wal, Esq.  
DiMarco Group LLC  
1950 Brighton Henrietta Town Line Rd.  
Rochester, New York 14623

WATER MAIN EASEMENT  
WME-1

This Grant of Easement made this 27<sup>th</sup> day of September 2024 (the "Effective Date"), between **CGA CR10 LLC**, with an address of 1950 Brighton Henrietta Townline Road, Rochester, New York 14623 ("Grantor") and **TOWN OF CANANDAIGUA**, a municipal corporation, with its principal office at 5440 Route 5 & 20 West, Canandaigua, NY 14424 ("Grantee").

WITNESSETH:

**WHEREAS**, Grantor is the owner of a certain parcel of real property, with buildings and improvements thereon, located in the Town of Canandaigua, County of Ontario and State of New York, more particularly described in and shown on a map made by BME Associates updated April 29, 2024, a copy of which is attached hereto as Schedule "A" and specifically incorporated herein by reference and made a part hereof (hereinafter called "Grantor's Parcel");

**WHEREAS**, the physical address of Grantor's Parcel is CO RD 10, Canandaigua NY 14424, Tax ID. No. 84.00-1-44.200 & 84.00-1-44.300;

**WHEREAS**, Grantee is a municipal corporation which has determined that it is necessary for Town of Canandaigua purposes to obtain the easement contained herein;

**WHEREAS**, Grantor desires to grant Grantee the permanent right to install, operate, maintain, remove, replace, and repair a water main or mains with such fixtures and appurtenances, including meters, as are from time to time necessary or useful for the supply of water, all under, over and across portions of Grantor's land as identified on Schedule A ("Water Main Easement").

**NOW, THEREFORE**, in consideration of the mutual agreements herein contained, and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the parties agree as follows:

Grantor grants to Grantee the Water Main Easement which shall be ten (10) foot wide strips of land, the centerline of said strips being defined as extending a distance of five (5) feet on each side of (a) the centerline of the water main, (b) the centerline of all service lines from the water main to and including the shut off curb, and (c) the centerline of all hydrant laterals to and including the hydrant as installed on said land running through and under, all as particularly described on Schedule A.

Together with all other rights necessary or convenient for the full enjoyment and use of the easement rights herein granted, including (without limitation) the rights at all times to trim, cut down and remove bushes, trees, and other vegetation growing on the easement area to such extent as in the judgment of Grantee is necessary for any of the above purposes; to use the soil in the easement property to such extent as may be necessary to embank said water main and appurtenances; and to enter upon the easement property at any and all times for any of the foregoing purposes.

Reserving to Grantor, its successors and assigns, agents, tenants, guests, and invitees, the use and enjoyment of the Easement Property for such purposes only as will in no way interfere with the perpetual use of the easements rights herein set forth by Grantee, its successors and assigns; provided that no permanent structure shall be erected on the Easement Property by Grantor, its successors and assigns.

The easement herein granted is transferable, and may be sold, leased, assigned, pledged, and mortgaged by Grantee, and shall be perpetual and permanent, and shall run with the land for the benefit of Grantee and shall be binding upon an inure to the benefit of the parties hereto, their respective heirs, successors and assigns.

TO HAVE AND TO HOLD the said granted and bargained easement, privilege, and right-of-way and its appurtenances to the said Grantee and to its successors and assigns forever, to its and their own proper use.

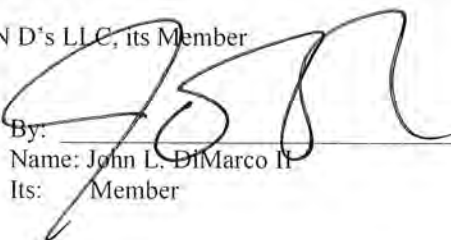
And the Grantor covenants with the said Grantee, its successors and assigns, that he is well seized in fee of the premises, that they are free of all encumbrances and that he has good right to bargain and sell the same in manner and form as is above written. Furthermore, the Grantor does by these presents bind himself, his heirs and assigns forever to WARRANT AND DEFEND the above-granted premises to the Grantee, its successors and assigns against all claims and demands whatsoever.

IN WITNESS WHEREOF, each party has executed this Agreement as of the Effective Date.

GRANTOR:

CGA CRI0 LLC

By: TEN D's LLC, its Member

By:   
Name: John L. DiMarco II  
Its: Member



ACKNOWLEDGEMENTS

UNIFORM NOTARY ACKNOWLEDGEMENT

STATE OF NEW YORK     )  
COUNTY OF MONROE    )     ss.:

On the day of September 27, in the year 2024, before me, the undersigned, a notary public in and for said state, personally appeared **JOHN L. DIMARCO II**, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that she executed the same in her capacity, and that by her signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

  
\_\_\_\_\_  
Notary Public

NATHAN E. VANDER WAL  
Notary Public, State of New York  
Reg. No. 02VA6342979  
Qualified in Monroe County  
Commission Expires 05/31/2028

SCHEDULE "A"

2490B  
JTG  
4/29/24  
Revised

Proposed Description of  
a Watermain Easement (WE-1)  
to the Town of Canandaigua  
through Lots 2 & 3

ALL THAT TRACT OR PARCEL OF LAND containing 0.405 acres more or less, situate in the Phelps and Gorham Purchase, Township 10, Range 3, Town Lot 18, Town of Canandaigua, County of Ontario, and State of New York, as shown on the drawing entitled "Creek View Apartments Easement Plan WE-1," prepared by BME Associates, having drawing numbers 2490B-16A & 2490B-16B, last revised April 29, 2024, being more particularly bounded and described as follows:

Beginning at the intersection of the northerly line of Lot 2, as shown on a plan entitled "Creekview Apartments at Woodland Park, Lot Line Adjustment Plat," as filed in the Ontario County Clerk's Office at Map Number 35394, with the westerly right-of-way line of Woodland Park Circle (60' Right-of-Way); thence

1. Southwesterly, along said westerly right-of-way line, along a non-tangent curve to the left, having a radius of 255.00 feet and a chord bearing of S 43°44'01" W, a distance of 15.33 feet a point; thence

*The following six (6) courses are through aforementioned Lot 2;*

2. N 47°42'01" W, a distance of 8.07 feet to a point; thence
3. S 39°26'15" W, a distance of 121.67 feet to a point; thence
4. N 89°45'48" W, a distance of 315.48 feet to a point; thence
5. S 00°14'12" W, a distance of 235.77 feet to a point; thence
6. N 89°45'48" W, a distance of 20.00 feet to a point; thence
7. N 00°14'12" E, through a portion of lot 3, a distance of 430.07 feet to a point; thence
8. S 89°45'48" E, continuing through a portion of said Lot 3, a distance of 20.00 feet to a point;

thence

9. S 00°14'12" W, continuing through said Lot 3 and through a portion of aforesaid Lot 2, a distance of 174.30 feet to a point; thence
10. S 89°45'48" E, continuing through a portion of said Lot 2, a distance of 305.98 feet to a point; thence
11. N 39°26'15" E, continuing through said Lot 2, a distance of 130.13 feet to a point on the aforementioned northerly boundary line of Lot 2; thence
12. S 44°32'39" E, along said northerly boundary line of Lot 2, a distance of 29.37 feet to the Point of Beginning.

P:\2490B\Drawings\Final\2490B Layout\_Base.dwg

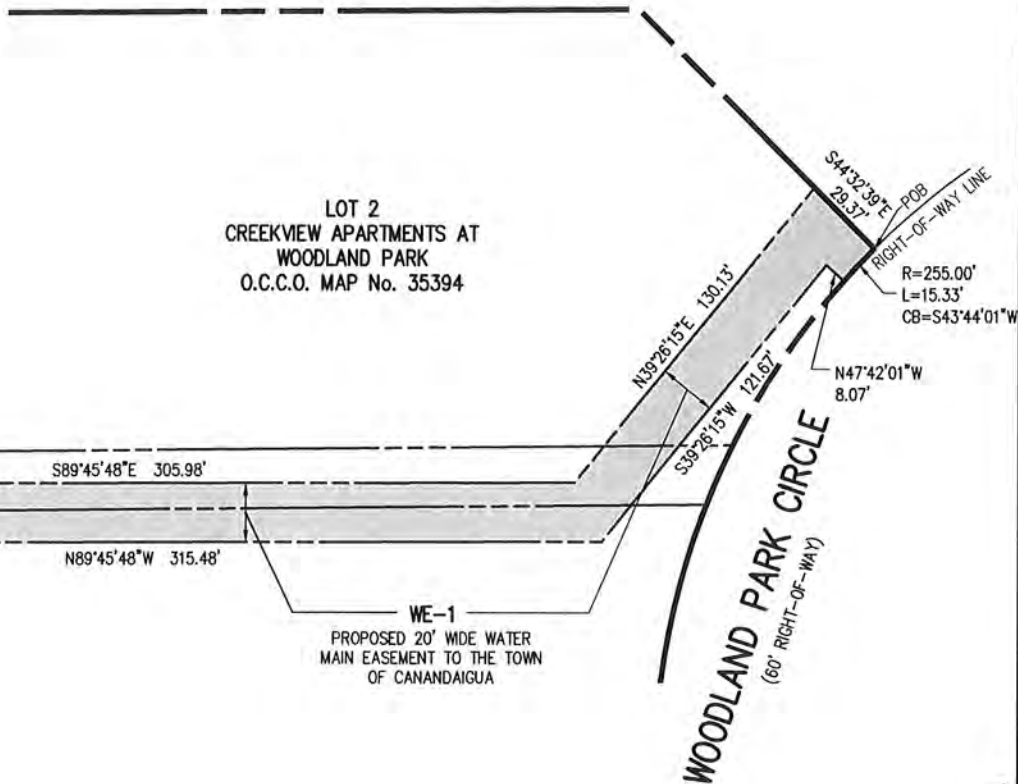
# EASEMENT PLAN (WE-1)



LOT 3  
CREEKVIEW APARTMENTS AT  
WOODLAND PARK  
O.C.C.O. MAP No. 35394

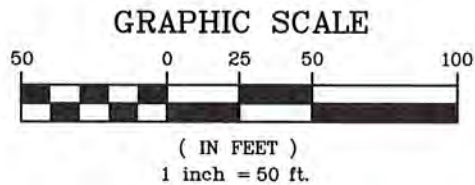
LOT 2  
CREEKVIEW APARTMENTS AT  
WOODLAND PARK  
O.C.C.O. MAP No. 35394

MATCH LINE SEE DRAWING  
2490B-16B (SHEET 2 OF 2)



### REFERENCES:

1. A PLAN ENTITLED "CREEKVIEW APARTMENTS AT WOODLAND PARK, LOT LINE ADJUSTMENT PLAT," AS FILED IN THE ONTARIO COUNTY CLERK'S OFFICE AT MAP NUMBER 35394.
2. A PLAN ENTITLED "CREEKVIEW APARTMENTS AT WOODLAND PARK, PHASE 2 FINAL, SITE PLAN," PREPARED BY BME ASSOCIATES, HAVING DRAWING NUMBER 2490B-02, LAST REVISED APRIL 21, 2024.



UPDATED PER REVISED SITE PLAN. - JTG - 4/29/24

PHELPS & GORHAM PURCHASE, TOWNSHIP 10, RANGE 3, TOWN LOT 18

COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S ORIGINAL INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.  
"UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209, OF THE NEW YORK STATE EDUCATION LAW."

## BME ASSOCIATES

ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

10 LIFTBRIDGE LANE EAST  
FAIRPORT, NEW YORK 14450  
PHONE: 585-377-7360

COPYRIGHT © 2024  
BME Associates  
WWW.BMEPC.COM

CREEK VIEW APARTMENTS EASEMENT PLAN WE-1  
TOWN OF CANANDAIGUA ONTARIO COUNTY NEW YORK

DRAWN BY: JTG  
DATE: 03-17-21

SCALE: 1"=50'  
DWG NO: 2490B-16A  
(SHEET 1 OF 2)



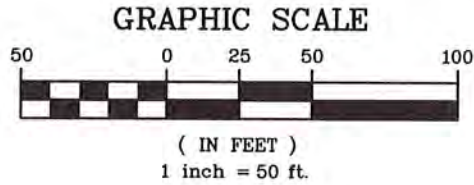
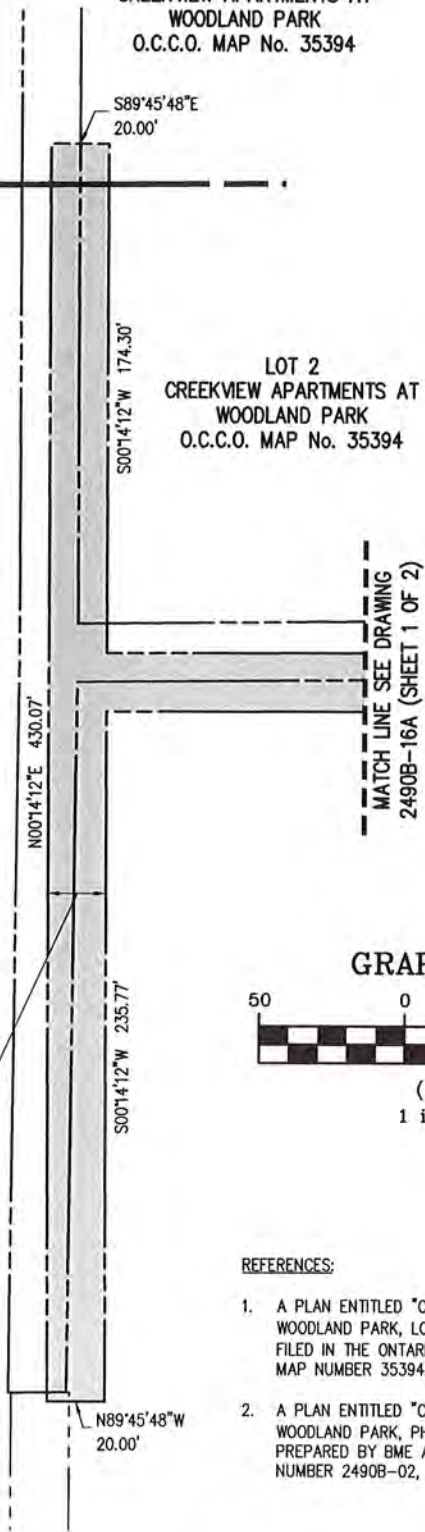
P:\2490B\Drawings\Final\2490B Layout\_Boss.dwg

# EASEMENT PLAN (WE-1)

LOT 3  
CREEKVIEW APARTMENTS AT  
WOODLAND PARK  
O.C.C.O. MAP No. 35394

LOT 2  
CREEKVIEW APARTMENTS AT  
WOODLAND PARK  
O.C.C.O. MAP No. 35394

WE-1  
PROPOSED 20' WIDE WATER  
MAIN EASEMENT TO THE TOWN  
OF CANANDAIGUA



- REFERENCES:**
1. A PLAN ENTITLED "CREEKVIEW APARTMENTS AT WOODLAND PARK, LOT LINE ADJUSTMENT PLAT," AS FILED IN THE ONTARIO COUNTY CLERK'S OFFICE AT MAP NUMBER 35394.
  2. A PLAN ENTITLED "CREEKVIEW APARTMENTS AT WOODLAND PARK, PHASE 2 FINAL, SITE PLAN," PREPARED BY BME ASSOCIATES, HAVING DRAWING NUMBER 2490B-02, LAST REVISED APRIL 21, 2024.

UPDATED PER REVISED SITE PLAN - JTG - 4/29/24

PHELPS & GORHAM PURCHASE, TOWNSHIP 10, RANGE 3, TOWN LOT 18  
 COPIES OF THIS SURVEY MAP NOT BEARING THE LAND SURVEYOR'S ORIGINAL INKED SEAL OR EMBOSSED SEAL SHALL NOT BE CONSIDERED TO BE A VALID TRUE COPY.  
 UNAUTHORIZED ALTERATION OR ADDITION TO THIS SURVEY MAP IS A VIOLATION OF SECTION 7209, OF THE NEW YORK STATE EDUCATION LAW.

<b>BME ASSOCIATES</b> ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS 10 LITFBRIDGE LANE EAST FAIRPORT, NEW YORK 14450 PHONE: 585-377-7360	COPYRIGHT © 2024 BME Associates WWW.BMEPC.COM	DRAWN BY: JTG DATE: 03-17-21	SCALE: 1"=50' DWG NO: 2490B-16B (SHEET 2 OF 2)
		<b>CREEK VIEW APARTMENTS EASEMENT PLAN WE-1</b> <b>TOWN OF CANANDAIGUA ONTARIO COUNTY NEW YORK</b>	



# **ATTACHMENT 12**

# Town of Canandaigua

5440 Routes 5 & 20 West • Canandaigua, NY 14424 • (585) 394-1120

September 10<sup>th</sup>, 2024

John Falbo, Town Manager  
Town of Canandaigua  
5440 Routes 5 & 20 West  
Canandaigua, New York 14424

**RE: Foster Road Housing Track**  
**5200 FOSTER ROAD**  
**TAX MAP NO. 126.00-1-46.410**  
**FIRM: MCMAHON LARUE ASSOCIATE.**  
**CPN's 2024-103, 2024-102, 2024-081, 2024-080, 2023-111, 2023-022.**



Dear Mr. Falbo,

Please be advised that I have completed a review of the submitted Soil and Erosion Control Surety Estimate dated September 10<sup>th</sup>, 2024, prepared by Greg McMahon for the above referenced project.

Based on our review of the submitted estimate we recommend that a Soil and Erosion Surety be approved in the amount of **\$19,778.00 (Nineteen Thousand Seven Hundred Seventy-Eighty Dollars and Zero Cents)**. The breakdown of this amount is on the attached estimate.

Surety must be paid by cash or check to Town Clerk prior to issuance of building permits.

Any questions and/or comments you may have in this regard, please feel free to contact me at your earliest convenience.

Sincerely,

A large, stylized handwritten signature in black ink, appearing to read "Michael Murphy".

Michael Murphy  
Town of Canandaigua – Lead Code Enforcement Officer

cc: Crystelyn Laske - Town Clerk  
Property File  
Parcel Owner

APPROVED

John Falbo Town Manager
9/25/24
Date

SUMMARY - 5200 FOSTER ROAD

	TOTAL ESTIMATED VALUE	TOTAL ELIGIBLE VALUE TO DATE	TOTAL RETAINAGE HELD TO DATE	TOTAL AUTHORIZED TO DATE
SECTION C - EROSION CONTROL	17,050.00	0.00	0.00	0.00
SECTION F - TOWN GUARANTEES	2,728.00	0.00	0.00	0.00
<b>TOTAL:</b>	<b>19,778.00</b>	<b>0.00</b>	<b>0.00</b>	<b>0.00</b>

ORIGINAL L.O.C.:  
LESS TOTAL AUTHORIZED:

19,778.00  
0.00

L.O.C. BALANCE:

19,778.00

TOTAL AUTHORIZED: 0.00  
LESS PREVIOUS RELEASES: 0.00

THIS STATEMENT: 0.00

APPROVALS:

*Gregory W. McMahon* 9/10/24  
MCMAHON LARUE ASSOCIATES



GERBER HOMES AND ADDITIONS, LLC

TOWN OF CANANDAIGUA



MCMAHON LARUE ASSOCIATE.

PROJECT: 5200 FOSTER ROAD  
 OWNER: GERBER HOMES AND ADDITIONS, LLC  
 LOCATION: TOWN OF CANANDAIGUA, NY

PROJECT NO:  
 DATE: 9/10/24  
 LETTER OF CREDIT RELEASE NO.

ITEM NO.	DESCRIPTION	ESTIMATED QUANTITY	UNIT	UNIT PRICE	ESTIMATED QUANTITY X UNIT PRICE	TO DATE		THIS STATEMENT		TOTAL ELIGIBLE TO THIS STATEMENT	
						QUANTITY INSTALLED	QUANTITY ELIGIBLE FOR RELEASE	QUANTITY INSTALLED	QUANTITY ELIGIBLE FOR RELEASE		
1	TOWN GUARANTEES CONTINGENCIES - SECTIONS C (10 % OF CONSTRUCTION)	1	LS	1,705.00	1,705.00	0.00	0.00	0.00	0.00	0.00	
4	CONSTRUCTION OBSERVATION (6%)	1	LS	1,023.00	1,023.00	0.0	0.0	0.0	0.0	0.00	
SECTION F TOTAL						2,728.00	STATEMENT SUBTOTAL - SECTION D:		0.00	0.00	0.00
							RETAINAGE (0%):		0.00	0.00	0.00
							STATEMENT SUBTOTAL - SECTION F (LESS RETAINAGE):		0.00	0.00	0.00

MCMAHON LARUE ASSOCIATE.

PROJECT: 5200 FOSTER ROAD  
 OWNER: GERBER HOMES AND ADDITIONS, LLC  
 LOCATION: TOWN OF CANANDAIGUA, NY

PROJECT NO:  
 DATE: 9/10/24  
 LETTER OF CREDIT RELEASE NO.

ITEM NO.	DESCRIPTION	ESTIMATED QUANTITY	UNIT	UNIT PRICE	ESTIMATED QUANTITY X UNIT PRICE	TO DATE		THIS STATEMENT		TOTAL ELIGIBLE TO THIS STATEMENT
						QUANTITY INSTALLED	QUANTITY ELIGIBLE FOR RELEASE	QUANTITY INSTALLED	QUANTITY ELIGIBLE FOR RELEASE	
1	CONSTRUCTION ENTRANCE	1	LS	1,500.00	1,500.00	0.0	0.0	0.0	0.0	0.00
2	SILT FENCE INSTALLATION AND MAINTENANCE	1250	LF	2.00	2,500.00	0.0	0.0	0.0	0.0	0.00
3	TEMPORARY SEEDING AND MULCHING AS REQUIRED	25000	SY	0.45	11,250.00	0.0	0.0	0.0	0.0	0.00
4	STONE CHECK DAMS	12	EA	150.00	1,800.00	0.0	0.0	0.0	0.0	0.00
<b>SECTION C TOTAL</b>					<b>17,050.00</b>			<b>STATEMENT SUBTOTAL - SECTION C:</b>		<b>0.00</b>
								<b>RETAINAGE (10%):</b>		<b>0.00</b>

# Town of Canandaigua

5440 Routes 5 & 20 West • Canandaigua, NY 14424 • (585) 394-1120

August 14<sup>th</sup>, 2024

John Falbo, Town Manager  
Town of Canandaigua  
5440 Routes 5 & 20 West  
Canandaigua, New York 14424



**RE: SHULMAN & LIBENSON GARAGE ADDITION AND SITE WORK**  
**3485 LAKEVIEW LANE**  
**TAX MAP No. 98.13-1-24.000**  
**FIRM: MARKS ENGINEERING**  
**CPN 2023-141**

Dear Mr. Falbo,

Please be advised that I have completed a review of the submitted Erosion Control Surety Estimate dated February 27<sup>th</sup>, 2024 prepared by Brennan Marks for the above referenced project.

Based on our review of the submitted estimate we recommend that an Erosion Control Surety be approved in the amount of **\$811.14 (Eight Hundred Eleven Dollars and Fourteen Cents)**. The breakdown of this amount is on the attached estimate.

Surety must be paid by cash or check to Town Clerk prior to issuance of building permits.

Any questions and/or comments you may have in this regard, please feel free to contact me at your earliest convenience.

Sincerely,



Michael Murphy  
Town of Canandaigua – Lead Code Enforcement Officer

cc: Crystelyn Laske - Town Clerk  
Property File  
Parcel Owner

APPROVED

John Falbo Town Manager
<u>10/11/24</u>
Date



# Marks Engineering

4303 Routes 5 & 20  
Canandaigua, NY 14424

Date 2/27/24

Brett Shulman & Amy Libenson  
3485 Lakeview Lane  
Canandaigua, NY 14424

Project: New garage and Sun Room Addition

## Engineer's Opinion of Probable Cost

### Erosion & Sediment Control

	Quantity	Unit	Unit Cost	Sub Total
Silt Fence Material	113	ft	\$ 3.00	\$ 339.00
Check Dams	0	ea	\$ 100.00	\$ -
Stabilized Entrance	0	ea	\$ 500.00	\$ -
Outlet Protection	0	cy	\$ 100.00	\$ -
Final Stabilization	3984	sf	\$ 0.10	\$ 398.40
Contingency	1	ea	\$ 73.74	\$ 73.74
			Total	\$ 811.14

Total Surety Amount \$ 811.14



# **ATTACHMENT 13**

TOWN OF CANANDAIGUA  
STATE OF NEW YORK COUNTY OF ONTARIO

In the Matter of the Dedication of

Woodland Park Circle

BILL OF SALE

to the Town of Canandaigua

by CGA CR10 LLC

in the Creekview Apartments at Woodlawn Park

KNOW ALL MEN BY THESE PRESENTS,

THAT CGA CR10 LLC, having an office at 1950 Brighton Henrietta Town Line Road, Rochester, NY 14623, party of the first part, for and in consideration of sum of ONE DOLLARS (\$1.00), lawful money of the United States to it in hand paid, at or before the unsealing and delivery of these presents by the TOWN OF CANANDAIGUA, 5440 Routes 5 & 20; Canandaigua, NY 14424 1000, party of the second part, the receipt whereof is hereby acknowledged, has bargained and sold, and by these presents does grant and convey unto the said party of the second part, its successors and assigns thereof:

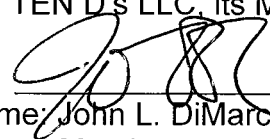
All monuments, sewer lines, water lines, pumps and other appurtenances and any other improvements included within the real estate described on the attached Schedule A.

TO HAVE AND TO HOLD the same unto the said party of the second part, its successors and assigns forever. AND it does for its successors and assigns, covenant and agree to and with the said party of the second part, to warrant and defend the sale of the aforesaid items hereby sold unto the said party of the second part, its successors and assigns, against all and every person and persons whomever.

IN WITNESS WHEREOF, the party of the first part has caused these presents to be signed by its proper individual, this 17<sup>th</sup> day of October 2024.

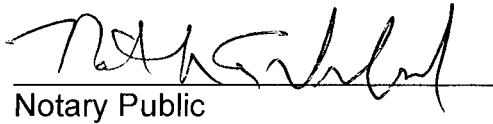
CGA CR10 LLC

By: TEN D's LLC, its Member

By:   
Name: John L. DiMarco II  
Its: Member

STATE OF NEW YORK }  
COUNTY OF MONROE } ss.:

On the 17<sup>th</sup> day of October in the year 2024 before me, the undersigned a notary public in and for the State of New York, personally appeared **John L. DiMarco, II**, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

  
Notary Public

NATHAN E. VANDER WAL  
Notary Public, State of New York  
Reg. No. 02VA6342979  
Qualified in Monroe County  
Commission Expires 05/31/2028

SCHEDULE A



Proposed Description of  
Road 'A'  
to be Dedicated to  
the Town of Canandaigua

ALL THAT TRACT OR PARCEL OF LAND containing 2.926 acres more or less, situate in the Phelps and Gorham Purchase, Township 10, Range 3, Town Lots 18 & 19, Town of Canandaigua, County of Ontario, and State of New York, as shown on the drawing entitled "Creekview Apartments at Woodland Park, Lot Line Adjustment Plat," prepared by BME Associates, as filed in the Ontario County Clerk's Office at map number 35394, being more particularly bounded and described as follows:

Commencing at a point, said point being the intersection of the northerly boundary line of lands now or formerly of David Hersch (TA No. 84.00-1-20.21), with the westerly right-of-way line of Town Line Road - County Road 10 (Right-of-Way width varies); thence

- A. N 00°16'13" E, along said right-of-way, a distance of 28.57 feet to the Point of Beginning; thence
  1. Westerly, along the arc of a curve to the left, having a radius of 30.00 feet, a distance of 47.09 feet to a point; thence
  2. N 89°40'21" W, a distance of 258.46 feet to a point; thence
  3. Southerly, along the arc of a curve to the left, having a radius of 195.00 feet, a distance of 306.61 feet to a point; thence
  4. S 00°14'12" W, a distance of 827.92 feet to a point; thence
  5. Easterly, along the arc of a curve to the left, having a radius of 195.00 feet, a distance of 307.58 feet to a point; thence
  6. N 89°51'42" E, a distance of 256.97 feet to a point; thence
  7. Northerly, along the arc of a curve to the left, having a radius of 30.00 feet, a distance of 46.91 feet to a point; thence
  8. S 00°16'13" W, a distance of 120.00 feet to a point; thence
  9. Northerly, along the arc of a curve to the left, having a radius of 30.00 feet, a

- distance of 47.34 feet to a point; thence
10. S 89°51'42" W, a distance of 256.12 feet to a point; thence
  11. Northerly, along the arc of a curve to the right, having a radius of 255.00 feet, a distance of 402.22 feet to a point; thence
  12. N 00°14'12" E, a distance of 827.92 feet to a point; thence
  13. Easterly, along the arc of a curve to the right, having a radius of 255.00 feet, a distance of 400.96 feet to a point; thence
  14. S 89°40'21" E, a distance of 258.34 feet to a point; thence
  15. Northerly, along the arc of a curve to the left, having a radius of 30.00 feet, a distance of 47.15 feet to a point on the aforementioned westerly right-of-way of Town Line Road; thence
  16. S 00°16'13" W, a distance of 120.00 feet to the Point of Beginning.

# Town of Canandaigua

5440 Route 5 & 20 West  
Canandaigua, NY 14424  
(585) 394-1120  
Fax (585) 394-9476  
Established 1789

APPENDIX: **G - 8.0**

DATE: 2018

SCALE: N.T.S.

**MRB** | group

## DEDICATION FORM

DATE: 5/5/23

RE: Creekview Apartments Phase 1  
(PROJECT NAME)

THE TOWN OFFICIALS LISTED BELOW, AS MAY BE APPROPRIATE, HAVE COMPLETED A FINAL INSPECTION OF THE ABOVE REFERENCED PROJECT AND RECOMMEND THE TOWN BOARD TAKE ACTION TO ACCEPT FOR DEDICATION THE BELOW DESCRIBED COMPONENTS.

- |   |   |
|---|---|
| <input checked="" type="checkbox"/> PUBLIC STREET(S)                      | <input type="checkbox"/> DRAINAGE FACILITIES/GREEN INFRASTRUCTURE |
| <input checked="" type="checkbox"/> PUBLIC WATERMAIN AND/OR FIRE HYDRANTS | <input checked="" type="checkbox"/> SIDEWALKS                     |
| <input checked="" type="checkbox"/> STORM SEWERS                          | <input type="checkbox"/> PARKLAND/OPEN SPACE AREA                 |
| <input type="checkbox"/> LANDSCAPING                                      | <input type="checkbox"/> OTHER (SPECIFY) _____                    |
| <input type="checkbox"/> STREET LIGHTS                                    |   |

THIS RECOMMENDATION IS BASED UPON OUR UNDERSTANDING THAT THE FOLLOWING HAVE BEEN PROVIDED:

- A FINAL INSPECTION WAS COMPLETED AND THE TOWN OF CANANDAIGUA FINAL INSPECTION FORM (APPENDIX G-7.0) WAS COMPLETED AND SIGNED.
- ALL R.O.W. DESCRIPTIONS, EASEMENT(S) AND DEED(S), BILLS OF SALE, AND MAPS HAVE BEEN REVIEWED AND APPROVED BY THE ATTORNEY FOR THE TOWN AND PROVIDED TO THE TOWN BOARD.
- RECORD MAPS HAVE BEEN REVIEWED AND ACCEPTED BY THE HIGHWAY & WATER SUPERINTENDENT, CODE ENFORCEMENT OFFICER, AND TOWN ENGINEER.
- THE GIS DATA AS SPECIFIED WITHIN THE TOWN OF CANANDAIGUA SITE DESIGN AND DEVELOPMENT CRITERIA MANUAL HAS BEEN PROVIDED TO THE TOWN OF CANANDAIGUA AND TOWN ENGINEER.
- THE MAINTENANCE GUARANTEE HAS BEEN REVIEWED AND APPROVED BY THE ATTORNEY FOR THE TOWN AND BY THE TOWN ENGINEER AND HAS BEEN ACCEPTED BY THE TOWN BOARD. ~ N/A
- PAYMENT OF ALL FEES HAS BEEN PROVIDED TO THE TOWN BY THE APPLICANT.

  
HIGHWAY & WATER SUPERINTENDENT

10/18/29  
DATE

  
CODE ENFORCEMENT OFFICER

10/18/29  
DATE

  
TOWN ENGINEER

5/5/23  
DATE

# Town of Canandaigua

5440 Route 5 & 20 West  
Canandaigua, NY 14424  
(585) 394-1120  
Fax (585) 394-9476  
*Established 1789*

APPENDIX: **G - 7.0**

DATE: 2018

SCALE: N.T.S.

**MRB** | group

## INSPECTION FORM

DATE: 5/5/23

NAME: Creekview Apartments Ph. 1

- NO DEFICIENCIES WERE FOUND DURING THIS FINAL INSPECTION AND IT IS RECOMMENDED THAT THE TOWN BOARD TAKE DEDICATION OF THE ITEMS IDENTIFIED WITHIN THE TOWN OF CANANDAIGUA DEDICATION FORM AND THE DEDICATION PACKAGE PROVIDED BY THE TOWN ATTORNEY.
- DEFICIENCIES WERE FOUND DURING THE FINAL INSPECTION AND IT IS RECOMMENDED THAT THE TOWN BOARD NOT TAKE DEDICATION AT THIS TIME UNTIL THE ITEMS IDENTIFIED BELOW HAVE BEEN ADDRESSED TO THE SATISFACTION OF THE TOWN.
- DEFICIENCIES WERE FOUND DURING THE FINAL INSPECTION AND IT IS RECOMMENDED THAT THE TOWN BOARD DIRECT THESE DEFICIENCIES TO BE CORRECTED WITHIN THE NEXT THIRTY (30) DAYS AND/OR REQUIRE THAT THERE BE A ONE-YEAR EXTENSION TO THE EXPIRING SURETY.

NOTES: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

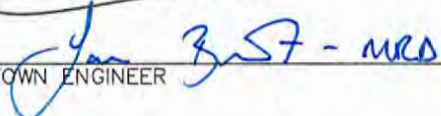
PICTURES

  
HIGHWAY & WATER SUPERINTENDENT

10/18/24  
DATE

  
CODE ENFORCEMENT OFFICER

10/18/24  
DATE

 J. B. ST - MRO  
TOWN ENGINEER

5/5/23  
DATE

TOWN OF CANANDAIGUA  
STATE OF NEW YORK COUNTY OF ONTARIO

In the Matter of the Dedication of

Woodland Park Circle  
to the Town of Canandaigua

HOLD HARMLESS  
AND  
INDEMNITY  
AGREEMENT

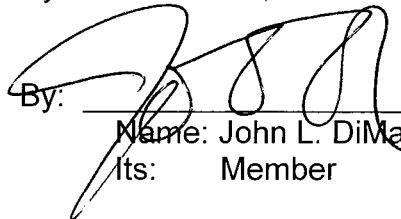
by CGA CR10 LLC

in the Creekview Apartments at Woodlawn Park

To the fullest extent provided by law, the undersigned and all of its employees, agents, and assigns agree to indemnify and hold harmless the Town of Canandaigua, a New York State municipal corporation, from and against any and all liability, loss, or damage from any claims, demands, payments, suits, actions, recoveries and judgments of any nature and description brought or recovered against it, including reasonable attorney's fees by reason of any act or conduct, including negligence, omission, tortious act, willful conduct or otherwise of CGA CR10 LLC, its agents or representatives, arising out of the construction, engineering, or dedication related to the above-referenced project.

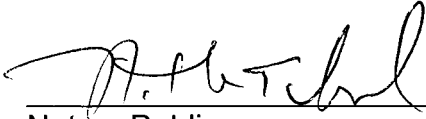
CGA CR10 LLC

By: TEN D's LLC, its Member

By:   
Name: John L. DiMarco II  
Its: Member

STATE OF NEW YORK }  
COUNTY OF MONROE } ss.:

On the 17<sup>th</sup> day of October in the year 2024 before me, the undersigned a notary public in and for the State of New York, personally appeared **John L. DiMarco, II**, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

  
\_\_\_\_\_  
Notary Public

NATHAN E. VANDER WAL  
Notary Public, State of New York  
Reg. No. 02VA6342979  
Qualified in Monroe County  
Commission Expires 05/31/2028

TOWN OF CANANDAIGUA  
STATE OF NEW YORK COUNTY OF ONTARIO

In the Matter of the Dedication of

Woodland Park Circle

OFFER OF  
CESSION

to the Town of Canandaigua

by CGA CR10 LLC

in the Creekview Apartments at Woodlawn Park

THIS IRREVOCABLE OFFER OF CESSION, made this 17<sup>th</sup> day of October 2024 is made by CGA CR10 LLC, whose principal place of business is located at 1950 Brighton Henrietta Town Line Road, Rochester, NY 14623, hereinafter referred to as "Developer," to the Town of Canandaigua, a municipal corporation whose principal place of business is located at 5440 Routes 5 & 20, Canandaigua, NY 14424, hereinafter referred to as "Canandaigua."

WHEREAS, Developer is the owner of certain lands located within the Town of Canandaigua, County of Ontario, State of New York, which are shown on the attached map entitled "Creekview Apartments at Woodland Park, Lot Line Adjustment Plat," prepared by BME Associates, and filed in the Ontario County Clerk's Office on August 9, 2017 at Map No. 35394, and being further bounded and described as follows: SEE SCHEDULE A ATTACHED HERETO AND MADE A PART HEREIN.

WHEREAS, the Town of Canandaigua, as a condition for the dedication to and acceptance of the roads, utilities, public improvements, and easements required by the Town Highway and Water Superintendent and the Town Planning Board has required

Developer to file with the Town a formal irrevocable offer of cession of the proposed subdivision roadways, utilities, public improvements, and easements.

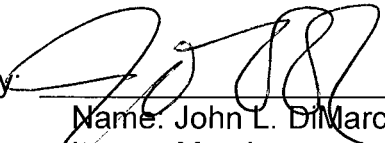
NOW THEREFORE, Developer hereby irrevocably offers to grant, cede, and convey to Canandaigua all that tract, piece or parcel of land as is more particularly described in Schedule A annexed hereto, said property to be used for public purposes all as shown on the aforementioned map(s).

This irrevocable offer of cession shall continue indefinitely and may be accepted by the Town of Canandaigua at any time, it being the intent that this offer will be accepted at the discretion of the Town Board. It is expressly understood that the receipt of this offer of cession by the Town of Canandaigua, and/or the recording hereof, does not constitute any actual acceptance of the offer herein contained.

IN WITNESS WHEREOF, Developer has executed this irrevocable Offer of Cession as of the day and year first written above.

CGA CR10 LLC

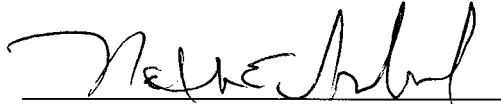
By: TEN D's LLC, its Member

By:   
Name: John L. DiMarco II  
Its: Member



STATE OF NEW YORK }  
COUNTY OF MONROE } ss.:

On the 17<sup>th</sup> day of October in the year 2024 before me, the undersigned a notary public in and for the State of New York, personally appeared **John L. DiMarco, II**, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

  
\_\_\_\_\_  
Notary Public

NATHAN E. VANDER WAL  
Notary Public, State of New York  
Reg. No. 02VA6342979  
Qualified in Monroe County  
Commission Expires 05/31/2028

SCHEDULE A



My Map



**NOTES:**

Placeholder for map notes.



Map Created: 2/20/2023

This map and information is provided. AS IS and Ontario County makes no warranties or guarantees, expressed or implied, including warranties of title, non-infringement, particular purpose, or fitness for a particular purpose. User assumes all risk and responsibility for determining whether this map is sufficient for purposes intended.

2490A  
DNZ  
REVISED  
9/18/17

Proposed Description of  
Road 'A'  
to be Dedicated to  
the Town of Canandaigua

ALL THAT TRACT OR PARCEL OF LAND containing 2.926 acres more or less, situate in the Phelps and Gorham Purchase, Township 10, Range 3, Town Lots 18 & 19, Town of Canandaigua, County of Ontario, and State of New York, as shown on the drawing entitled "Creekview Apartments at Woodland Park, Lot Line Adjustment Plat," prepared by BME Associates, as filed in the Ontario County Clerk's Office at map number 35394, being more particularly bounded and described as follows:

Commencing at a point, said point being the intersection of the northerly boundary line of lands now or formerly of David Hersch (TA No. 84.00-1-20.21), with the westerly right-of-way line of Town Line Road - County Road 10 (Right-of-Way width varies); thence

- A. N 00°16'13" E, along said right-of-way, a distance of 28.57 feet to the Point of Beginning; thence
  1. Westerly, along the arc of a curve to the left, having a radius of 30.00 feet, a distance of 47.09 feet to a point; thence
  2. N 89°40'21" W, a distance of 258.46 feet to a point; thence
  3. Southerly, along the arc of a curve to the left, having a radius of 195.00 feet, a distance of 306.61 feet to a point; thence
  4. S 00°14'12" W, a distance of 827.92 feet to a point; thence
  5. Easterly, along the arc of a curve to the left, having a radius of 195.00 feet, a distance of 307.58 feet to a point; thence
  6. N 89°51'42" E, a distance of 256.97 feet to a point; thence
  7. Northerly, along the arc of a curve to the left, having a radius of 30.00 feet, a distance of 46.91 feet to a point; thence
  8. S 00°16'13" W, a distance of 120.00 feet to a point; thence
  9. Northerly, along the arc of a curve to the left, having a radius of 30.00 feet, a

- distance of 47.34 feet to a point; thence
10. S  $89^{\circ}51'42''$  W, a distance of 256.12 feet to a point; thence
  11. Northerly, along the arc of a curve to the right, having a radius of 255.00 feet, a distance of 402.22 feet to a point; thence
  12. N  $00^{\circ}14'12''$  E, a distance of 827.92 feet to a point; thence
  13. Easterly, along the arc of a curve to the right, having a radius of 255.00 feet, a distance of 400.96 feet to a point; thence
  14. S  $89^{\circ}40'21''$  E, a distance of 258.34 feet to a point; thence
  15. Northerly, along the arc of a curve to the left, having a radius of 30.00 feet, a distance of 47.15 feet to a point on the aforementioned westerly right-of-way of Town Line Road; thence
  16. S  $00^{\circ}16'13''$  W, a distance of 120.00 feet to the Point of Beginning.

TOWN OF CANANDAIGUA  
STATE OF NEW YORK COUNTY OF ONTARIO

In the Matter of the Dedication of

Woodland Park Circle

RELEASE

to the Town of Canandaigua

by CGA CR10 LLC

in the Creekview Apartments at Woodlawn Park

IN CONSIDERATION of the acceptance by the Town of Canandaigua of the dedication of the premises in the above-captioned matter, the undersigned, CGA CR10 LLC, having an office at 1950 Brighton Henrietta Town Line Road, Rochester, NY 14623, ("Developer"), consents to the laying out of these highways and releases said Town of Canandaigua, its Town Superintendent of Highways, the County of Ontario, all State and Federal Agents and/or other officials, together with the workmen and employees thereof from any and all damages arising by reason of the work performed by or at the direction of the Developer or its agents in the construction, reconstruction, laying out and improvements of said premises as public highways.

IN WITNESS WHEREOF, the Developer has signed these presents this 17<sup>th</sup> day of October 2024.

CGA CR10 LLC

By: TEN D's LLC, its Member

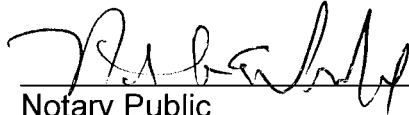
By: 

Name: John L. DiMarco II

Its: Member

STATE OF NEW YORK }  
COUNTY OF MONROE } ss.:

On the 17<sup>th</sup> day of October in the year 2024 before me, the undersigned a notary public in and for the State of New York, personally appeared **John L. DiMarco, II**, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

  
\_\_\_\_\_  
Notary Public

NATHAN E. VANDER WAL  
Notary Public, State of New York  
Reg. No. 02VA6342979  
Qualified in Monroe County  
Commission Expires 05/31/2028

TOWN OF CANANDAIGUA  
STATE OF NEW YORK COUNTY OF ONTARIO

In the Matter of the Dedication of

Woodland Park Circle

to the Town of Canandaigua

by CGA CR10 LLC

in the Creekview Apartments at Woodlawn Park

WARRANTY DEED

DEDICATION  
APPLICATION

RELEASE OF  
DAMAGES

THIS INDENTURE, made this 17<sup>th</sup> day of October 2024, between CGA CR10 LLC, having an office at 1950 Brighton Henrietta Town Line Road, Rochester, NY 14623, hereinafter referred to as "Grantor," and the Town of Canandaigua, a municipal corporation having its principal place of business at 5440 Routes 5 & 20; Canandaigua, NY 14424, hereinafter referred to as "Grantee."

WITNESSETH, that the Grantor, in consideration of \$1.00 lawful money of the United States paid by the Grantee, does hereby grant and release unto the Grantee, its successors and/or assigns forever,

ALL THAT TRACT OR PARCEL OF LAND, situate in the Town of Canandaigua, County of Ontario, and State of New York, more particularly described in SCHEDULE A which is attached hereto and made a part herein.

Together with the appurtenances and all of the estate rights of the Grantor in and to the said premises. To have and to hold unto the Grantee, its successors and assigns forever.

The Grantor hereby covenants that nothing has been done or suffered whereby said premises have been encumbered in any way whatever and that the Grantee shall quietly enjoy the said premises and further that the Grantor will forever WARRANT the title to said premises as to interest in said premises as of the date of this conveyance.

The Grantor hereby dedicates, releases and conveys the above-described lands to the Grantee for highway and other municipal purposes.

The Grantor hereby applies to the Town Superintendent of Highways to make an order laying out a highway over and on the lands hereinbefore described and dedicated above and further requests the Town Board of the Town of Canandaigua consent thereof.

The Grantor hereby releases the Grantee from any and all damages that it may suffer, directly or indirectly, by reason of the laying out and opening of said highway.



Together with all monuments, water lines, hydrants, culverts, sanitary and storm sewer lines or mains lying within said highways and above described premises are dedicated, released, and conveyed to the Grantee for highway purposes and all other public uses, including the right to construct and maintain underground conduits for water, gas, sewers, electric and other necessary lines, pipes, mints, conduits or wires for public benefit.

Grantor agrees that it will assume full responsibility and liability for any and all claims against the Grantee arising out of the construction of said streets, and it will hold and save harmless the Grantee, its successors, assigns and special improvement districts, for any and all claims by it, its assigns, grantees, invitees or the general public incurred on said streets or easements during that period.

IN WITNESS WHEREOF, the Grantor has signed these presents this 17<sup>th</sup> day of October 2024.

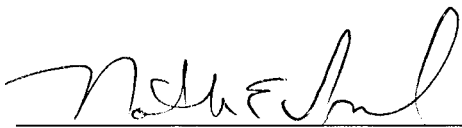
CGA CR10 LLC

By: TEN D's LLC, its Member

By:   
Name: John L. DiMarco II  
Its: Member

STATE OF NEW YORK }  
COUNTY OF MONROE } ss.:

On the 17<sup>th</sup> day of October in the year 2024 before me, the undersigned a notary public in and for the State of New York, personally appeared **John L. DiMarco, II**, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

  
\_\_\_\_\_  
Notary Public

NATHAN E. VANDER WAL  
Notary Public, State of New York  
Reg. No. 02VA6342979  
Qualified in Monroe County  
Commission Expires 05/31/2028

## SCHEDULE A

Proposed Description of  
Road 'A'  
to be Dedicated to  
the Town of Canandaigua

ALL THAT TRACT OR PARCEL OF LAND containing 2.926 acres more or less, situate in the Phelps and Gorham Purchase, Township 10, Range 3, Town Lots 18 & 19, Town of Canandaigua, County of Ontario, and State of New York, as shown on the drawing entitled "Creekview Apartments at Woodland Park, Lot Line Adjustment Plat," prepared by BME Associates, as filed in the Ontario County Clerk's Office at map number 35394, being more particularly bounded and described as follows:

Commencing at a point, said point being the intersection of the northerly boundary line of lands now or formerly of David Hersch (TA No. 84.00-1-20.21), with the westerly right-of-way line of Town Line Road - County Road 10 (Right-of-Way width varies); thence

- A. N 00°16'13" E, along said right-of-way, a distance of 28.57 feet to the Point of Beginning; thence
  - 1. Westerly, along the arc of a curve to the left, having a radius of 30.00 feet, a distance of 47.09 feet to a point; thence
  - 2. N 89°40'21" W, a distance of 258.46 feet to a point; thence
  - 3. Southerly, along the arc of a curve to the left, having a radius of 195.00 feet, a distance of 306.61 feet to a point; thence
  - 4. S 00°14'12" W, a distance of 827.92 feet to a point; thence
  - 5. Easterly, along the arc of a curve to the left, having a radius of 195.00 feet, a distance of 307.58 feet to a point; thence
  - 6. N 89°51'42" E, a distance of 256.97 feet to a point; thence
  - 7. Northerly, along the arc of a curve to the left, having a radius of 30.00 feet, a distance of 46.91 feet to a point; thence
  - 8. S 00°16'13" W, a distance of 120.00 feet to a point; thence
  - 9. Northerly, along the arc of a curve to the left, having a radius of 30.00 feet, a

- distance of 47.34 feet to a point; thence
10. S 89°51'42" W, a distance of 256.12 feet to a point; thence
  11. Northerly, along the arc of a curve to the right, having a radius of 255.00 feet, a distance of 402.22 feet to a point; thence
  12. N 00°14'12" E, a distance of 827.92 feet to a point; thence
  13. Easterly, along the arc of a curve to the right, having a radius of 255.00 feet, a distance of 400.96 feet to a point; thence
  14. S 89°40'21" E, a distance of 258.34 feet to a point; thence
  15. Northerly, along the arc of a curve to the left, having a radius of 30.00 feet, a distance of 47.15 feet to a point on the aforementioned westerly right-of-way of Town Line Road; thence
  16. S 00°16'13" W, a distance of 120.00 feet to the Point of Beginning.

---

Record and return to: Christian M. Nadler, Esq.  
LAW OFFICES OF CHRISTIAN M NADLER  
9 Mima Circle  
Fairport, NY 14450

---

## Crystelyn Laske

---

**From:** CHRIS NADLER <cnadler@cnadlerlaw.com>  
**Sent:** Friday, October 18, 2024 8:13 AM  
**To:** Crystelyn Laske  
**Cc:** lance.brabant@mrbgroup.com  
**Subject:** Re: Creekview -Phase 1 Roadway Dedication to Town of Canandaigua- Woodland Park Circle

Crystelyn,

Resolution and dedication documents look good, and are hereby approved.

---

Chris  
LAW OFFICES OF  
CHRISTIAN M. NADLER  
9 Mima Circle  
Fairport, NY 14450  
Phone # 585-315-4767



----- Original Message -----

**Subject:**RE: Creekview -Phase 1 Roadway Dedication to Town of Canandaigua- Woodland Park Circle  
**Date:**2024-10-17 14:57  
**From:**Crystelyn Laske <claske@townofcanandaigua.org>  
**To:**"cnadler@cnadlerlaw.com" <cnadler@cnadlerlaw.com>, "lance.brabant@mrbgroup.com" <lance.brabant@mrbgroup.com>

Chris

Please approve the legal language documents and map attached prior to NOON tomorrow. Also please review and approve the attached resolution so that this can go on this month's agenda.

*Crystelyn Laske  
Town Clerk-Receiver of Taxes  
Town of Canandaigua  
5440 Route 5 & 20 West  
Canandaigua NY 14424  
Office: 585-394-1120 Ext 2258*

# **ATTACHMENT 14**

---

## Ontario County HMAP - Adoption Required

---

**From** Stevie-Ann O'Donnell <sodonnell@h2opartnersusa.com>

**Date** Fri 9/27/2024 11:28 AM

**To** Phillips, Linda <Linda.Phillips@ontariocountyny.gov>; Harvey, Thomas P <Thomas.Harvey@ontariocountyny.gov>; John D. Goodwin <John.Goodwin@canandaiguaneconomy.gov>; james.sprague@canandaiguaneconomy.gov <james.sprague@canandaiguaneconomy.gov>; jps@canandaiguaneconomy.gov <jps@canandaiguaneconomy.gov>; Amie Hendrix <ahendrix@geneva.ny.us>; Town Supervisor <supervisor@townofbristol.org>; Town Clerk <Townclerk@townofbristol.org>; Peter Ingalsbe <pingalsbe@farmingtonny.org>; Ingalsbe, Peter V <Peter.Ingalsbe@ontariocountyny.gov>; townclerk@farmingtonny.org <townclerk@farmingtonny.org>; Fred Wille <supervisorfville@townofeastbloomfield.org>; Tamara Hicks <tamara@naplesny.us>; Town Clerk <clerk@naplesny.us>; super@phelpsnyc.com <super@phelpsnyc.com>; tclerk@phelpsnyc.com <tclerk@phelpsnyc.com>; Mark Venuti <supervisor@townofgeneva.com>; tbookie@phelpsnyc.com <tbookie@phelpsnyc.com>; Richmond Town Supervisor <supervisor@townofrichmond.org>; Daryl.Marshall@ontariocountyny.gov <Daryl.Marshall@ontariocountyny.gov>

**Cc** Steve DeHond <sdehond@manchesterny.org>; Marty Barnett <martybarnett@manchesterny.org>; Heather Ferrara <heather@h2opartnersusa.com>; Rhonda Murphy <rmurphy@h2opartnersusa.com>; Heidi Watson <heidi@h2opartnersusa.com>

Good Afternoon!

Congratulations! The Ontario County Hazard Mitigation Plan has been approved by DHSES and is in the final stages of review by FEMA. We have been asked by NY DHSES to provide each participating jurisdiction with a resolution to begin adopting the Ontario County Hazard Mitigation Plan.

We will need each jurisdiction to adopt the Plan by resolution. Please see the link to locate a sample resolution for your jurisdiction:

[https://www.dropbox.com/scl/fo/ca4rq4daio5px1fe9mzyt/AltZyCnarAghV\\_rtn2L1Mj0?rlkey=js0e2hw7knbm2bhpuzytqjse&st=kvmroo4&dl=0](https://www.dropbox.com/scl/fo/ca4rq4daio5px1fe9mzyt/AltZyCnarAghV_rtn2L1Mj0?rlkey=js0e2hw7knbm2bhpuzytqjse&st=kvmroo4&dl=0)

**Please provide a date in which your jurisdiction anticipates adoption of the Plan. Once the Plan is adopted and your resolution is signed, please send a copy directly to me at [sodonnell@h2opartnersusa.com](mailto:sodonnell@h2opartnersusa.com).**

I will incorporate all signed resolutions into the Plan and send a final copy to NYS and FEMA. Here is a to access the Plan: <https://www.dropbox.com/scl/fi/ech6l0qp6h1w6cv1ygwhk/Draft-Ontario-County-HMAP-Update-8.29.24.pdf?rlkey=p8vyk0wjwyytyi437m9w45n6&st=6mnx2kn6&dl=0>

If you have difficulties accessing the above link, or any questions please reach out. Have a great day and I will be touching base over the upcoming weeks to confirm receipt of this email and obtain a date in which you anticipate the resolution to be signed.

Stevie



**Stevie Ann Hodgson-O'Donnell**  
Mitigation Outreach Coordinator  
[sodonnell@h2opartnersusa.com](mailto:sodonnell@h2opartnersusa.com)  
**Personal:** 631.921.2460 | **Main:** 888.318.5112



**PROPRIETARY AND CONFIDENTIALITY NOTICE:** THIS E-MAIL AND ANY ATTACHMENTS ARE INTENDED ONLY FOR THE PERSON AND / OR ENTITY TO WHOM IT IS ADDRESSED AND WILL REMAIN THE CONFIDENTIAL AND UNPUBLISHED PROPERTY OF H2O PARTNERS, INC.

# **ATTACHMENT 15**

**Full Environmental Assessment Form  
Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project: North Road Reconstruction and New Sidewalks Project		
Project Location (describe, and attach a general location map): North Road, Town of Canandaigua, Ontario County		
Brief Description of Proposed Action (include purpose or need): This project involves the reconstruction of North Road from the intersection of CR 28 to East avenue (roughly 4,600 LF) and resurfacing of the road (roughly 350 LF) to the intersection of Sand Hill Road. Between the intersections of CR 28 and East Ave (and including the intersection of East Ave) the project involves shifting the travel lanes north 3 to 4 feet and the addition of mountable curbs and a multi-use concrete trail on the south side of the road. The typical highway section will consist of two (2) 11-foot wide travel lanes, two (2) 2-foot wide shoulders, mountable curbs and an eight-foot wide sidewalk. Improvements will include a new underdrain system, storm sewer system and the replacement of significant cross culvert near the intersection of Cayuga Road (a 43" x 60" arch pipe) with a 6-foot x 4-foot precast box culvert and other miscellaneous improvements. The project includes an extension of the sidewalk along the west side of East Street to connect to the existing sidewalk to the Canandaigua Academy High School. The project also includes a small pocket part near the intersection of CR 28 and North Road. This project will provide safe access to school by connecting the existing sidewalk near Tim Horton's along the former North Road ROW to the entrance of the school on East Avenue		
Name of Applicant/Sponsor: Town of Canandaigua Town Board	Telephone: 585-394-1120	E-Mail: claske@townofcanandaigua.org
Address: 5440 Route 5 & 20 West		
City/PO: Canandaigua	State: NY	Zip Code: 14424
Project Contact (if not same as sponsor; give name and title/role):	Telephone:	
	E-Mail:	
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):	Telephone:	
	E-Mail:	
Address:		
City/PO:	State:	Zip Code:

**B. Government Approvals**

<b>B. Government Approvals, Funding, or Sponsorship.</b> (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)		
<b>Government Entity</b>	<b>If Yes: Identify Agency and Approval(s) Required</b>	<b>Application Date (Actual or projected)</b>
a. City Counsel, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Town of Canandaigua Town Board	
b. City, Town or Village <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Planning Board or Commission		
c. City, Town or <input type="checkbox"/> Yes <input type="checkbox"/> No Village Zoning Board of Appeals		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Ontario County Public Works, Ontario County Planning Board	
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYS DAM, SHPO, NYS DEC	
h. Federal agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	USACOE	
i. Coastal Resources.		
i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iii. Is the project site within a Coastal Erosion Hazard Area?		<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

**C. Planning and Zoning**

<b>C.1. Planning and zoning actions.</b>	
Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
<ul style="list-style-type: none"> <li>• <b>If Yes</b>, complete sections C, F and G.</li> <li>• <b>If No</b>, proceed to question C.2 and complete all remaining sections and questions in Part 1</li> </ul>	
<b>C.2. Adopted land use plans.</b>	
a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes, identify the plan(s):	
Canandaigua Lake Watershed Management Plan (2014) _____	
_____	
_____	
c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes, identify the plan(s):	
_____	
_____	
_____	

**C.3. Zoning**

- a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?  
R-1-20-Residential 20,000ft, FBCD Mixed-Use Development Subarea, FBCD-Route 332 Subarea
- b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No
- c. Is a zoning change requested as part of the proposed action?  Yes  No  
If Yes,  
i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

- a. In what school district is the project site located? Canandaigua City School District
- b. What police or other public protection forces serve the project site?  
Canandaigua Police Department Ontario County Sheriff's Office, New York State Police
- c. Which fire protection and emergency medical services serve the project site?  
Town of Canandaigua Fire Protection District, Canandaigua Emergency Squad.
- d. What parks serve the project site?  
None

**D. Project Details**

**D.1. Proposed and Potential Development**

- a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? Road infrastructure-Road re-surfacing, reconstruction, and new sidewalk installation.
- b. a. Total acreage of the site of the proposed action? 8.52 acres  
b. Total acreage to be physically disturbed? 6.14 acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 8.52 acres
- c. Is the proposed action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_
- d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
If Yes,  
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)  
\_\_\_\_\_  
ii. Is a cluster/conservation layout proposed?  Yes  No  
iii. Number of lots proposed? \_\_\_\_\_  
iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_
- e. Will the proposed action be constructed in multiple phases?  Yes  No  
i. If No, anticipated period of construction: 18 months  
ii. If Yes:  
• Total number of phases anticipated \_\_\_\_\_  
• Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year  
• Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year  
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

f. Does the project include new residential uses?  Yes  No

If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No

If Yes,

i. Total number of structures \_\_\_\_\_

ii. Dimensions (in feet) of largest proposed structure: \_\_\_\_\_ height; \_\_\_\_\_ width; and \_\_\_\_\_ length

iii. Approximate extent of building space to be heated or cooled: \_\_\_\_\_ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No

If Yes,

i. Purpose of the impoundment: \_\_\_\_\_

ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_

iii. If other than water, identify the type of impounded/contained liquids and their source. \_\_\_\_\_

iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres

v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): \_\_\_\_\_

## D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
(Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)

If Yes:

i. What is the purpose of the excavation or dredging? \_\_\_\_\_

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): \_\_\_\_\_
- Over what duration of time? \_\_\_\_\_

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them. \_\_\_\_\_

iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
If yes, describe. \_\_\_\_\_

v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres

vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres

vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet

viii. Will the excavation require blasting?  Yes  No

ix. Summarize site reclamation goals and plan: \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No

If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments?  Yes  No

If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No

If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
  
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No

If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes:

- Name of district or service area: \_\_\_\_\_
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
  
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

- Do existing sewer lines serve the project site?  Yes  No
- Will a line extension within an existing district be necessary to serve the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
\_\_\_\_\_

- iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No

If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- What is the receiving water for the wastewater discharge? \_\_\_\_\_

- v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No

If Yes:

- i. How much impervious surface will the project create in relation to total size of project parcel?

\_\_\_\_\_ Square feet or \_\_\_\_\_ acres (impervious surface)

\_\_\_\_\_ Square feet or \_\_\_\_\_ acres (parcel size)

- ii. Describe types of new point sources. \_\_\_\_\_  
\_\_\_\_\_

- iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?

- If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_  
\_\_\_\_\_

- Will stormwater runoff flow to adjacent properties?  Yes  No

- iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

- f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No

If Yes, identify:

- i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

- ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

- iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

- g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No

If Yes:

- i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No

- ii. In addition to emissions as calculated in the application, the project will generate:

- \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)
- \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)
- \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)
- \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)
- \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
- \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)



h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No

If Yes:

i. Estimate methane generation in tons/year (metric): \_\_\_\_\_

ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

---

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

---

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.

ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_

iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_

iii. Will the proposed action require a new, or an upgrade, to an existing substation?  Yes  No

---

l. Hours of operation. Answer all items which apply.

<p>i. During Construction:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ 7AM-4PM</li> <li>• Saturday: _____ 7AM-4PM</li> <li>• Sunday: _____ As Needed</li> <li>• Holidays: _____ N/A</li> </ul>	<p>ii. During Operations:</p> <ul style="list-style-type: none"> <li>• Monday - Friday: _____ N/A</li> <li>• Saturday: _____ N/A</li> <li>• Sunday: _____ N/A</li> <li>• Holidays: _____ N/A</li> </ul>
--	---

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No  
 If yes:  
 i. Provide details including sources, time of day and duration:  
 Temporary during construction only. \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

---

n. Will the proposed action have outdoor lighting?  Yes  No  
 If yes:  
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

---

o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

---

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No  
 If Yes:  
 i. Product(s) to be stored \_\_\_\_\_  
 ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)  
 iii. Generally, describe the proposed storage facilities: \_\_\_\_\_  
 \_\_\_\_\_

---

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No  
 If Yes:  
 i. Describe proposed treatment(s):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

---

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No  
 If Yes:  
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:  
 • Construction: \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 • Operation : \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:  
 • Construction: \_\_\_\_\_  
 \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Proposed disposal methods/facilities for solid waste generated on-site:  
 • Construction: \_\_\_\_\_  
 \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_

ii. Anticipated rate of disposal/processing:

- \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
- \_\_\_\_\_ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: \_\_\_\_\_ years

---

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_

ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_

iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)

Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_

ii. If mix of uses, generally describe:

Residential, mixed-use.

---

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	4.67	4.67	No Change
• Forested			No Change
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			No Change
• Agricultural (includes active orchards, field, greenhouse etc.)			No Change
• Surface water features (lakes, ponds, streams, rivers, etc.)			No Change
• Wetlands (freshwater or tidal)			No Change
• Non-vegetated (bare rock, earth or fill)			No Change
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities:  
Canandaigua Academy (within 500 ft of project site on East Street)  
\_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection:  
\_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:  
\_\_\_\_\_  
\_\_\_\_\_  
iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:  
\_\_\_\_\_  
\_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
\_\_\_\_\_  
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): 835010  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):  
\_\_\_\_\_  
\_\_\_\_\_

v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_  
\_\_\_\_\_

---

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ +/-6 feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site:

Odessa silt loam	_____	40.9 %
Lima loam	_____	20 %
Cayuga silt loam	_____	19.7 %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ +/-3 feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ 15.4 % of site  
 Moderately Well Drained: \_\_\_\_\_ 39.7 % of site  
 Poorly Drained \_\_\_\_\_ 44.9 % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: \_\_\_\_\_ 100 % of site  
 10-15%: \_\_\_\_\_ % of site  
 15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
If Yes, describe: \_\_\_\_\_  
\_\_\_\_\_

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No  
If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name 898-194 Classification C
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name Federal Waters, Federal Waters, Federal Waters,... Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_  
\_\_\_\_\_

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100-year Floodplain?  Yes  No

k. Is the project site in the 500-year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
If Yes:  
i. Name of aquifer: \_\_\_\_\_

m. Identify the predominant wildlife species that occupy or use the project site: _____	
Deer _____	Fox _____
Birds _____	Rabbits _____
Insects _____	Small Rodents _____
n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
If Yes:	
i. Describe the habitat/community (composition, function, and basis for designation): _____	
ii. Source(s) of description or evaluation: _____	
iii. Extent of community/habitat:	
• Currently: _____ acres	
• Following completion of project as proposed: _____ acres	
• Gain or loss (indicate + or -): _____ acres	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
If Yes:	
i. Species and listing (endangered or threatened): _____	
_____	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
If Yes:	
i. Species and listing: _____	
_____	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span>	
If yes, give a brief description of how the proposed action may affect that use: _____	
_____	
<b>E.3. Designated Public Resources On or Near Project Site</b>	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</span>	
If Yes, provide county plus district name/number: <u>ONTAc01</u>	
b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
i. If Yes: acreage(s) on project site? _____	
ii. Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
If Yes:	
i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature	
ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____	
_____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</span>	
If Yes:	
i. CEA name: _____	
ii. Basis for designation: _____	
iii. Designating agency and date: _____	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? If Yes: <i>i.</i> Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input checked="" type="checkbox"/> Historic Building or District <i>ii.</i> Name: Eligible property: Residence <i>iii.</i> Brief description of attributes on which listing is based: 4980 North Rd, Canandaigua NY 14424 - Status undetermined per SHPO CRIS system.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
g. Have additional archaeological or historic site(s) or resources been identified on the project site? If Yes: <i>i.</i> Describe possible resource(s): _____ <i>ii.</i> Basis for identification: _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? If Yes: <i>i.</i> Identify resource: Canandaigua Lake State Marine Park, Kershaw Park <i>ii.</i> Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): State Park, Town Park <i>iii.</i> Distance between project and resource: _____ 2.5 miles.	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? If Yes: <i>i.</i> Identify the name of the river and its designation: _____ <i>ii.</i> Is the activity consistent with development restrictions contained in 6NYCRR Part 666?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No  <input type="checkbox"/> Yes <input type="checkbox"/> No

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.

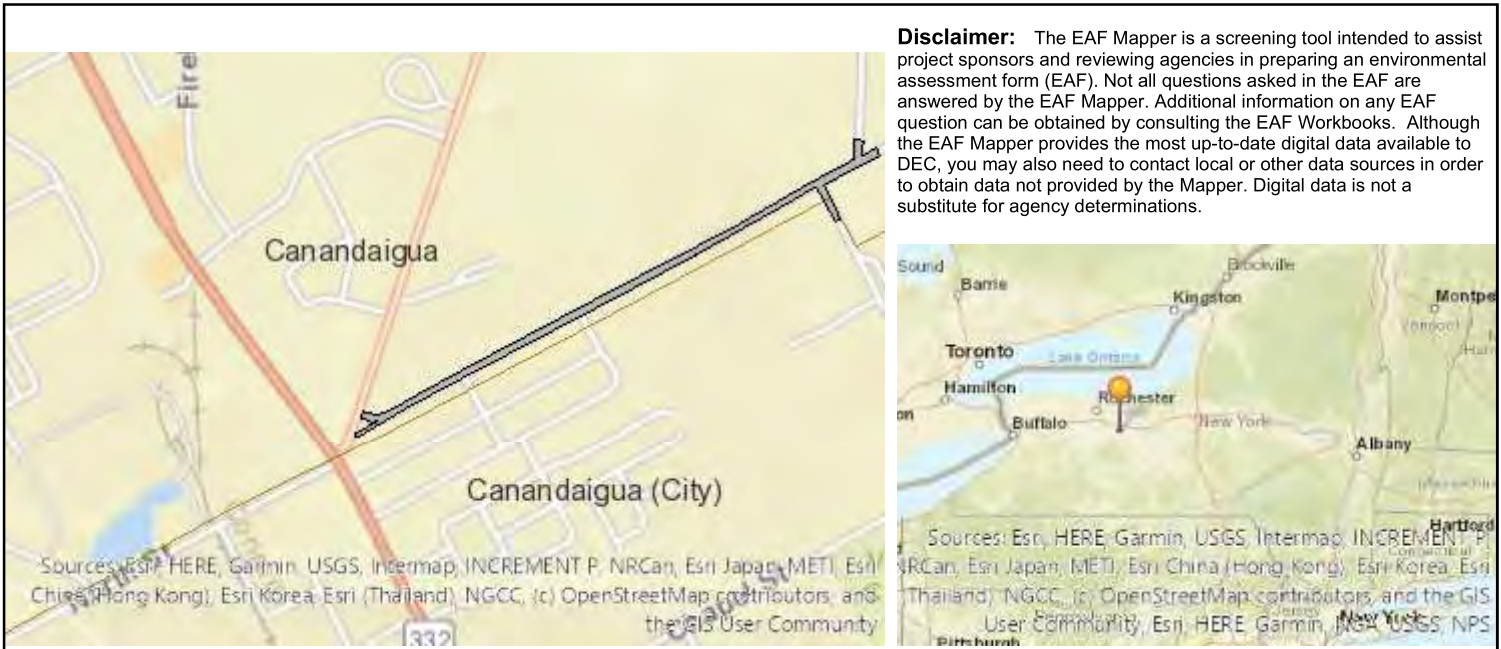
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name Town of Canandaigua Town Board Date October 28, 2024

Signature \_\_\_\_\_ Title Town Supervisor



**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	835010
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Stream Name]	898-194
E.2.h.iv [Surface Water Features - Stream Classification]	C
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.



E.2.j. [100 Year Floodplain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.2.k. [500 Year Floodplain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	Yes
E.3.a. [Agricultural District]	ONTAc01
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Yes - Digital mapping data for archaeological site boundaries are not available. Refer to EAF Workbook.
E.3.e.ii [National or State Register of Historic Places or State Eligible Sites - Name]	Eligible property:Residence
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No

# **ATTACHMENT 16**

# *Town of Canandaigua*

5440 Routes 5 & 20 West • Canandaigua, NY 14424 • (585) 394-1120

## **STORMWATER CONTROL FACILITIES MAINTENANCE AGREEMENT**

WHEREAS, the Town of Canandaigua, having an address of 5440 Routes 5 & 20 West, Canandaigua, New York 14424 (“Municipality”), and CGA CR10 LLC, having an address of 1950 Brighton Henrietta Town Line Road, Rochester, NY 14623 (“Facility Owner”), want to enter into an agreement (this “Agreement”) to provide for the long term maintenance and continuation of permanent stormwater control measures approved by the Municipality for the below named project, and

WHEREAS, the Municipality and the Facility Owner desire that the permanent stormwater control measures, as detailed on the approved Phase 2 project plans entitled “**Creekview Apartments at Woodland Park Phase 2 Final Plans**”, having drawing number(s) **2490B-01 to 2490B-15**, prepared by BME Associates and last revised **July 15, 2024** (the “Plans”), be built in accordance with the Plans and thereafter be maintained, cleaned, repaired, replaced, and continued in perpetuity in order to ensure optimum performance of the components. Reduced size versions of the Plans are attached hereto as Exhibit A.

Therefore, the Municipality and the Facility Owner agree as follows:

1. This Agreement binds the Municipality and the Facility Owner, its successors and assigns, to maintain the permanent stormwater control measures depicted in the Plans (as same may be amended), which are attached as Exhibit A of this Agreement.
2. The Facility Owner shall maintain, clean, repair, replace and continue the stormwater control measures depicted on the Plans as necessary to ensure optimum performance of the measures to design specifications. If identified on the plans, the stormwater control measures shall include, but shall not be limited to, the following: drainage ditches, swales, dry wells, infiltrators, drop inlets, pipes, culverts, soil absorption devices, and retention ponds (collectively, the “Control Measures”).
3. The Facility Owner shall be responsible for all expenses related to the maintenance of the Control Measures.
4. The Facility Owner shall provide for the periodic inspection of the Control Measures, not less than once in every five (5) year period, to determine the condition and integrity of the Control Measures. The Facility Owner’s obligations to inspect the Control Measures under this Section 4 shall commence upon the issuance of the first certificate of occupancy for the project depicted on the Plans. Each inspection shall be performed by a Professional Engineer, at the Facility Owner’s choosing, so long as such Professional Engineer is licensed by the State of New York (the “Inspecting Engineer”). The Inspecting Engineer shall prepare and submit to the Municipality within thirty (30) days of each inspection, a written report of the findings of his/her inspection including any recommendations necessary for the continued maintenance or repair of the Control Measures.

5. The Facility Owner shall grant Right of Entry to duly authorized representatives of the Municipality. Upon presentation of proper credentials, duly authorized representatives of the Municipality may enter at reasonable times upon the premises to inspect the implementation, condition or operation and maintenance of the Control Measures. Facility Owner shall allow persons working on behalf of the Municipality ready access to all parts of the premises for the purposes of inspecting the Control Measures. Persons working on behalf of the Municipality shall have the right to temporarily locate, on any stormwater facility or Control Measure in the Municipality, such devices as are necessary to conduct monitoring and/or sampling of the discharges from such Control Measures.

6. Except in an emergency situation, or as permitted by Section 7 below, the Facility Owner shall not authorize, undertake, or permit any material alteration, abandonment, modification, or discontinuation of the Control Measures except in accordance with written approval of the Municipality.

7. The Facility Owner shall undertake all necessary repairs, maintenance, or replacement of the Control Measures in accordance with the recommendations of the Inspecting Engineer, except to the extent such repairs, maintenance, or replacement are made necessary by the acts or omissions of the Municipality, including without limitation offsite grading. Such repair, maintenance, or replacement shall not require the approval of the Municipality. Repairs, maintenance, or replacements made necessary by the acts or omissions of the Municipality shall be undertaken by the Municipality as its cost and expense.

8. This Agreement shall be recorded in the Office of the County Clerk, County of Ontario.

9. If ever the Municipality determines that the Facility Owner has failed to maintain, clean, repair, replace, and continue the Control Measures in accordance with the Plans or has failed to undertake necessary corrective action in accordance with Section 7 above, the Municipality shall give the Facility Owner written notice of such a default. In the event the Facility Owner fails to cure such default within thirty (30) days from its receipt of such notice, the Municipality is authorized to undertake such steps as reasonably necessary for the preservation, continuation, or maintenance of the Control Measures, to charge the Facility Owner for the reasonable expenses of such steps, and to affix such expenses as a lien against the property (including reasonable attorney fees and other administrative costs incurred in executing such a lien); provided however that if the nature of the default is such that it cannot reasonably be cured within such thirty (30) day period, then so long as the Facility Owner commences to cure such default within such thirty (30) day period, and, thereafter, diligently, in good faith and expeditiously proceeds to cure such default before the Municipality may take action under this Section 9.

10. The parties agree and acknowledge that this Agreement shall cover not only the Control Measures set forth on the Plans, but it also shall cover any alterations or modifications to the Plans that may be approved by the Municipality after the execution of this Agreement.

11. This Agreement shall be binding upon, and inure to the benefit of, the respective successors and permitted assigns of the parties. This Agreement shall not be assignable by the Municipality but may be assigned or transferred by the Facility Owner.

12. All notices required or permitted hereunder shall be in writing and shall be sent to the parties at the following addresses:

If to the Municipality: Stormwater Program Manager  
Town of Canandaigua  
5440 Routes 5 & 20 West  
Canandaigua, New York 14424

If to the Facility Owner: CGA CR10 LLC  
1950 Brighton Henrietta Town Line Road  
Rochester, NY 14623

With copies to: The DiMarco Group, LLC  
1950 Brighton Henrietta Town Line Road  
Rochester, NY 14623

Any such notices may be sent by: (a) certified mail, return receipt requested, or  
(b) a nationally recognized overnight courier

The above addresses may be changed by written notice to the other party. Any such notices shall be deemed effective upon receipts.

13. This Agreement sets forth all of the agreements, conditions, and understandings between the Municipality and the Facility Owner concerning the maintenance of the Control Measures and supersedes any and all prior agreements and understandings between the parties with respect thereto.

14. This Agreement shall be governed exclusively by the laws of the State of New York, without giving effect to choice of laws or choice of laws rules or principles.

15. Issuance of the first certificate of occupancy or certificate of compliance for the project depicted on the Plans shall be deemed an acknowledgement by the Municipality that the Control Measures have been constructed in accordance with the Plans.

16. This Agreement may be executed in several counterparts, including by facsimile, each of which shall be an original and all of which shall constitute but one and the same instrument.

17. This Agreement may not be amended, changed, modified, altered, or terminated, except by an instrument in writing, signed by the parties hereto.

18. This Agreement is effective upon full execution by both parties.

[REMAINDER OF PAGE INTENTIONALLY BLANK]


The parties have entered into this Agreement on this \_\_\_\_ day of September, 2024.

MUNICIPALITY  
TOWN OF CANANDAIGUA, NY

\_\_\_\_\_  
By:  
Title:  
Date:

FACILITY OWNER  
CGA CR10 LLC

By: TEN D's LLC, its Member

By:   
Name: John L. DiMarco  
Its: Member

[REMAINDER OF PAGE INTENTIONALLY BLANK]


State of New York )  
County of Ontario ) ss.:

On the \_\_\_\_ day of \_\_\_\_\_ in the year 2024 before me, the undersigned, personally appeared \_\_\_\_\_, personally known to me or proved to me on the basis of satisfactory evidence to be the individual(s) whose name(s) is (are) subscribed to the within instrument and acknowledge to me that he/she/they executed the same in his/her/their capacity(ies), and that by his/her/their signature(s) on the instrument, the individual(s), or the person upon behalf of which the individual(s) acted, executed the instrument.

\_\_\_\_\_  
Signature and Office of individual taking acknowledgment

State of New York )  
County of Monroe ) ss.:

On the 27<sup>th</sup> day of September in the year 2024 before me, the undersigned, personally appeared **JOHN L. DIMARCO II**, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledge to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

  
\_\_\_\_\_  
Signature and Office of individual taking acknowledgment

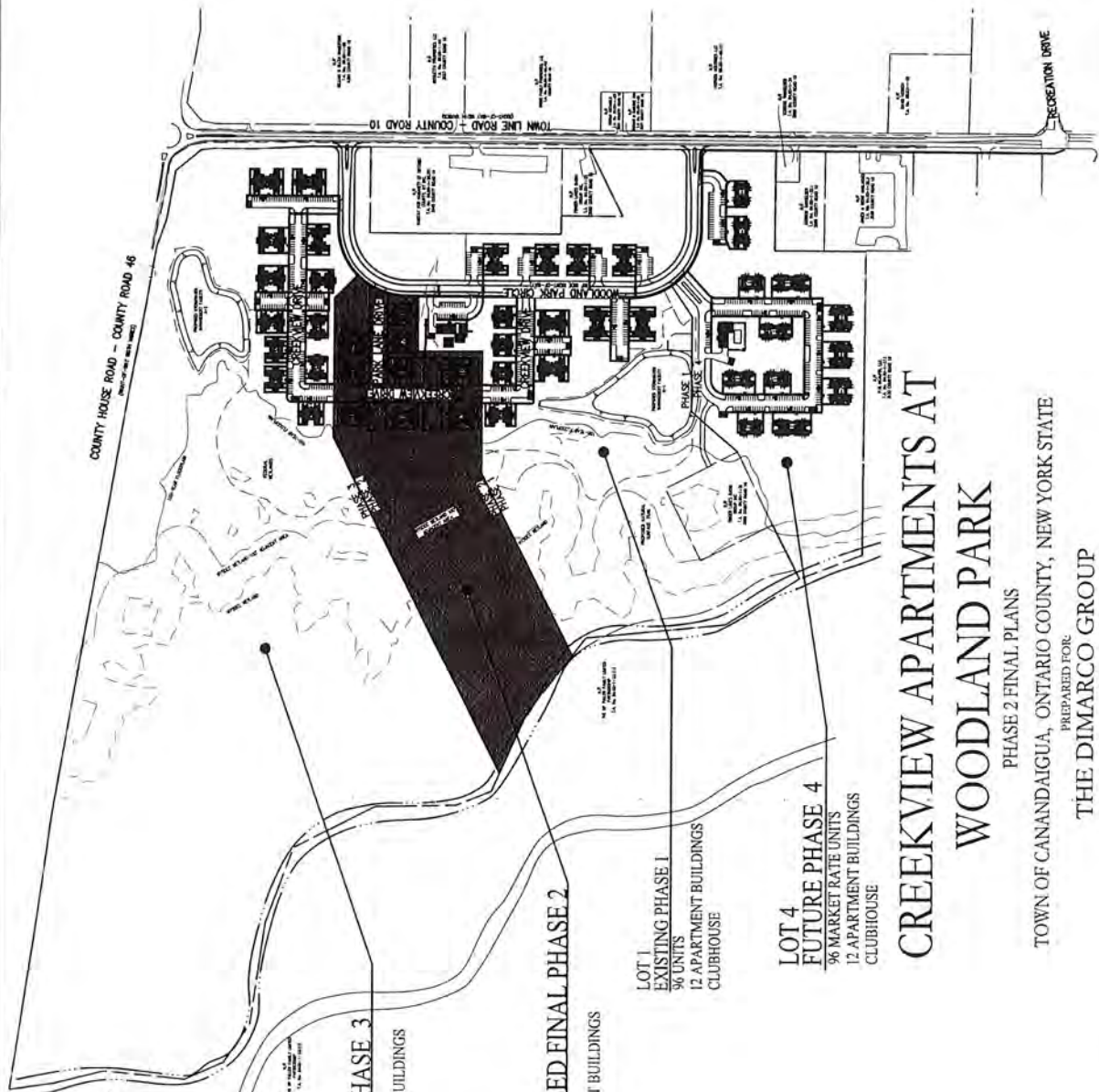
NATHAN E. VANDER WAL  
Notary Public, State of New York  
Reg. No. 02VA6342979  
Qualified in Monroe County  
Commission Expires 05/31/2028

**EXHIBIT "A"**

**Plans**

[attached]





**LOT 3**  
**FUTURE PHASE 3**  
 96 UNITS  
 12 APARTMENT BUILDINGS

**LOT 2**  
**PROPOSED FINAL PHASE 2**  
 72 UNITS  
 9 APARTMENT BUILDINGS

**LOT 1**  
**EXISTING PHASE 1**  
 96 UNITS  
 12 APARTMENT BUILDINGS  
 CLUBHOUSE

**LOT 4**  
**FUTURE PHASE 4**  
 96 MARKET RATE UNITS  
 12 APARTMENT BUILDINGS  
 CLUBHOUSE

# CREEKVIEW APARTMENTS AT WOODLAND PARK

PHASE 2 FINAL PLANS

TOWN OF CANANDAIGUA, ONTARIO COUNTY, NEW YORK STATE

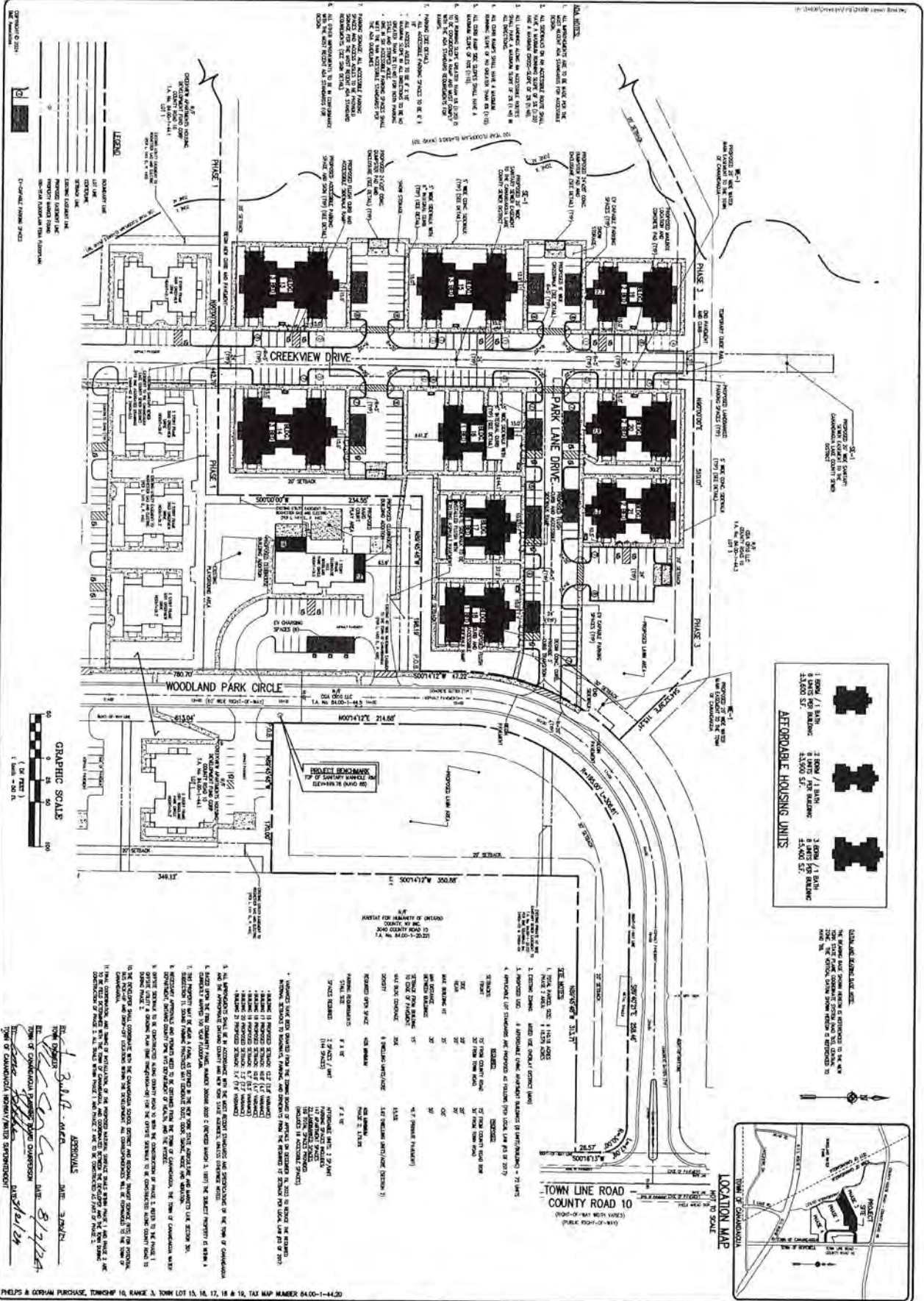
PREPARED FOR  
**THE DIMARCO GROUP**  
 1950 BRIGHTON HENRIETTA TOWNLINE ROAD  
 ROCHESTER, NEW YORK 14623

# PHASE 2 FINAL PLANS CREEKVIEW APARTMENTS AT WOODLAND PARK

DATE	TITLE
2008-01	COVER SHEET
2008-01	SITE PLAN
2008-02	UTILITY PLAN
2008-03	GRADING PLAN
2008-04	STORMWATER MANAGEMENT FACILITY PLAN
2008-05	LANDSCAPING PLAN (SHEET 1 OF 2)
2008-06	LANDSCAPING PLAN (SHEET 2 OF 2)
2008-07	LANDSCAPING PLAN (SHEET 3 OF 4)
2008-08	LANDSCAPING PLAN (SHEET 4 OF 4)
2008-09	LANDSCAPING PLAN (SHEET 5 OF 5)
2008-10	LANDSCAPING PLAN (SHEET 6 OF 6)
2008-11	LANDSCAPING PLAN (SHEET 7 OF 7)
2008-12	LANDSCAPING PLAN (SHEET 8 OF 8)
2009-01	LANDSCAPING PLAN (SHEET 9 OF 9)
2009-02	LANDSCAPING PLAN (SHEET 10 OF 10)
2009-03	LANDSCAPING PLAN (SHEET 11 OF 11)
2009-04	LANDSCAPING PLAN (SHEET 12 OF 12)
2009-05	LANDSCAPING PLAN (SHEET 13 OF 13)
2009-06	LANDSCAPING PLAN (SHEET 14 OF 14)
2009-07	LANDSCAPING PLAN (SHEET 15 OF 15)

**BME ASSOCIATES**  
 ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS  
 11111 BRIGHTON HENRIETTA TOWNLINE ROAD  
 ROCHESTER, NEW YORK 14623  
 PHONE: 585-777-2966  
 FAX: 585-777-8189  
 WWW.BMEASSOCIATES.COM

SCALE: 1"=50'  
 DRAWING NUMBER: 2408-01  
 DATED: MARCH 13, 2009  
 LOT REVISION: JULY 15, 2009



**REVISIONS**

NO.	DATE	DESCRIPTION
1	8/1/13	REVISED FOR LOTS AND COMMENTS AND UPDATED FOOTPRINTS
2	8/1/13	REVISED FOR CHANGING SPACES, REVERSE SECTORS
3	8/1/13	REVISED BUILDING FOOTPRINTS, REVERSE SECTORS
4	8/1/13	REVISED FOR CORNER COMMENTS
5	8/1/13	REVISED FOR CORNER COMMENTS
6	8/1/13	REVISED FOR CORNER COMMENTS
7	8/1/13	REVISED FOR CORNER COMMENTS
8	8/1/13	REVISED FOR CORNER COMMENTS
9	8/1/13	REVISED FOR CORNER COMMENTS
10	8/1/13	REVISED FOR CORNER COMMENTS



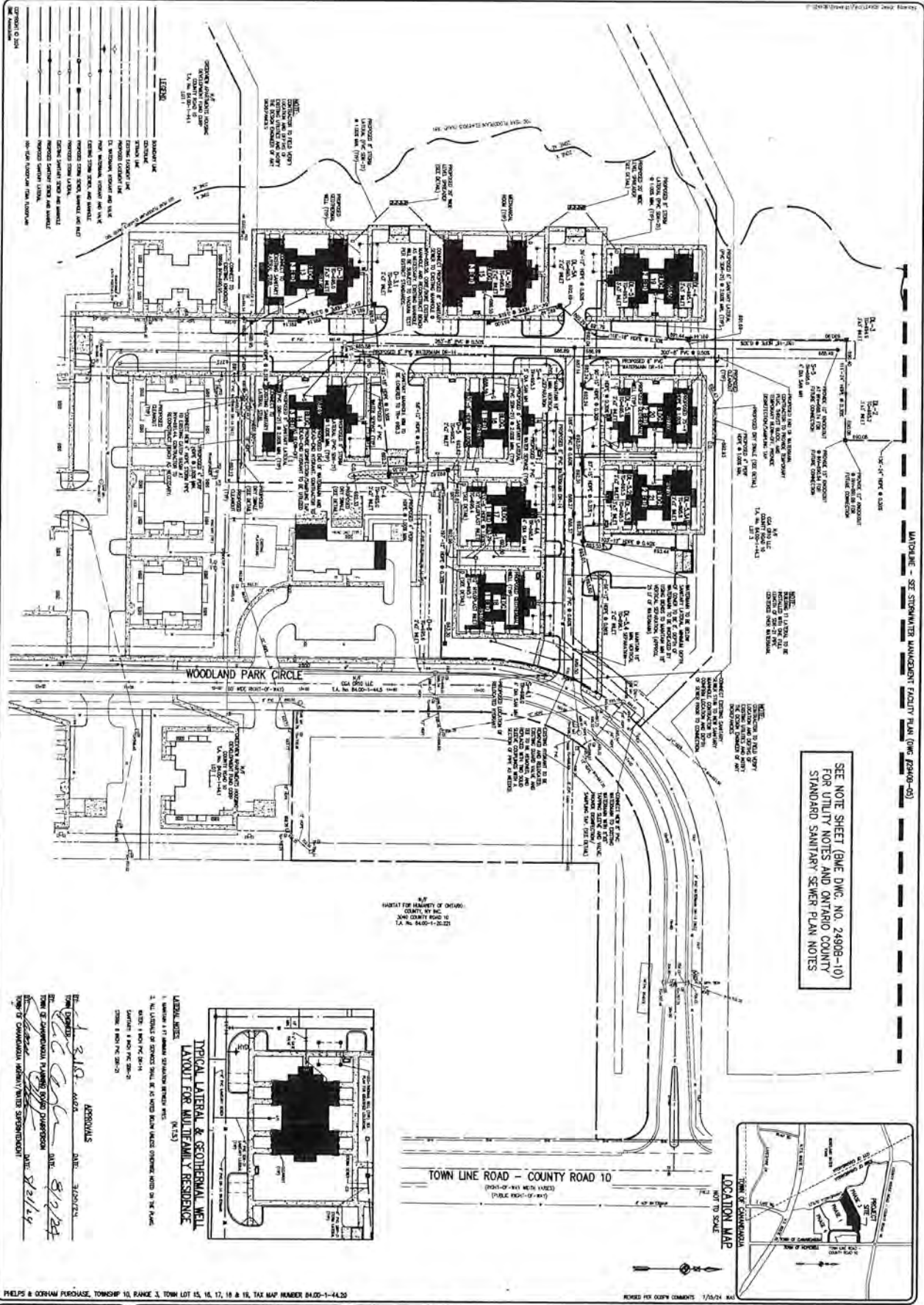
**PHASE 2 FINAL SITE PLAN**

**CREEKVIEW APARTMENTS AT WOODLAND PARK**  
 TOWN OF CUMBERLAND, CUMBERLAND COUNTY, MARYLAND  
 PROJECT NO. 24508  
 SHEET NO. 02



**BME ASSOCIATES**  
 ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS  
 1101 BEECHCREEK LANE, SUITE 100  
 P.O. BOX 100  
 CUMBERLAND, MD 21113  
 PHONE: 410-528-1100  
 FAX: 410-528-1101  
 WWW.BME-DC.COM

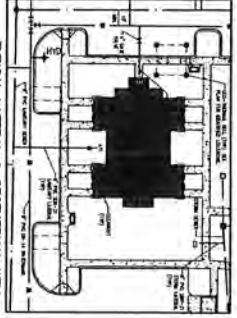
NO.	DATE	DESCRIPTION
1	8/1/13	REVISED FOR LOTS AND COMMENTS AND UPDATED FOOTPRINTS
2	8/1/13	REVISED FOR CHANGING SPACES, REVERSE SECTORS
3	8/1/13	REVISED BUILDING FOOTPRINTS, REVERSE SECTORS
4	8/1/13	REVISED FOR CORNER COMMENTS
5	8/1/13	REVISED FOR CORNER COMMENTS
6	8/1/13	REVISED FOR CORNER COMMENTS
7	8/1/13	REVISED FOR CORNER COMMENTS
8	8/1/13	REVISED FOR CORNER COMMENTS
9	8/1/13	REVISED FOR CORNER COMMENTS
10	8/1/13	REVISED FOR CORNER COMMENTS



LANDSCAPE - SEE SITEPLAN MANAGEMENT PLAN (PHASE 2) (PHASE 2)

SEE NOTE SHEET (BME DWG. NO. 24908-10) FOR UTILITY NOTES AND ONTARIO COUNTY STANDARD SANITARY SEWER PLAN NOTES

MAP FOR MUNICIPALITY OF ONTARIO COUNTY, BY 841 3000 COUNTY ROAD 10 I.A. No. 84-00-1-44-23



**LABELS:**  
 1. CASING & FITTINGS  
 2. GEOTHERMAL COILS  
 3. LATERAL CONNECTIONS  
 4. WELL HEAD  
 5. WELL HEAD COVER  
 6. WELL HEAD GASKET  
 7. WELL HEAD FLANGE  
 8. WELL HEAD NUT  
 9. WELL HEAD WASHER  
 10. WELL HEAD O-RING

**APPROVALS:**  
 DATE: 3/20/24  
 DATE: 3/22/24  
 DATE: 3/22/24  
 DATE: 3/22/24

PHASE 2 FINAL UTILITY PLAN

**CREEKVIEW APARTMENTS AT WOODLAND PARK**  
 TOWN OF CHANADOCK, ONTARIO COUNTY, NEW YORK  
 100 PROCEEDING HERRICKS TOWNLINE ROAD  
 ROCKSTER, NEW YORK 14623  
 PHASE 2 FINAL UTILITY PLAN

PROJECT NUMBER: 24908  
 CLIENT: THE CHANOCK GROUP  
 DRAWING TITLE: UTILITY PLAN

DATE: 3/22/24  
 SCALE: AS SHOWN  
 SHEET NO.: 03



**BME ASSOCIATES**  
 ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS  
 18 LITTLE WOOD LANE EAST  
 HARTFORD, NEW YORK 14450  
 WWW.BMEPC.COM

PHONE: 845-775-7746  
 FAX: 845-877-1219

NO.	REVISION	DATE	BY
7	REVISED PER OWNER COMMENTS	4/24/24	MS
6	REVISED PER OWNER COMMENTS AND UPDATED FOOTPRINTS	4/24/24	MS
5	REVISED PER TOWN & HCR REZONING ACCESS GEOTHERMAL WELLS	4/24/24	MS
4	REVISED BUILDINGS 22, 23, AND 24	4/24/24	MS
3	REVISED PER OWNER COMMENTS	3/22/24	MS
2	REVISED PER TOWN ENGINEER COMMENTS	3/22/24	MS
1	REVISED PER TOWN COMMENTS	3/22/24	MS
			MS

DATE: 5/13/24  
 DRAWN BY: S.A.S.  
 CHECKED BY: J.A.S.  
 PROJECT NO: 24908  
 SHEET NO: 04

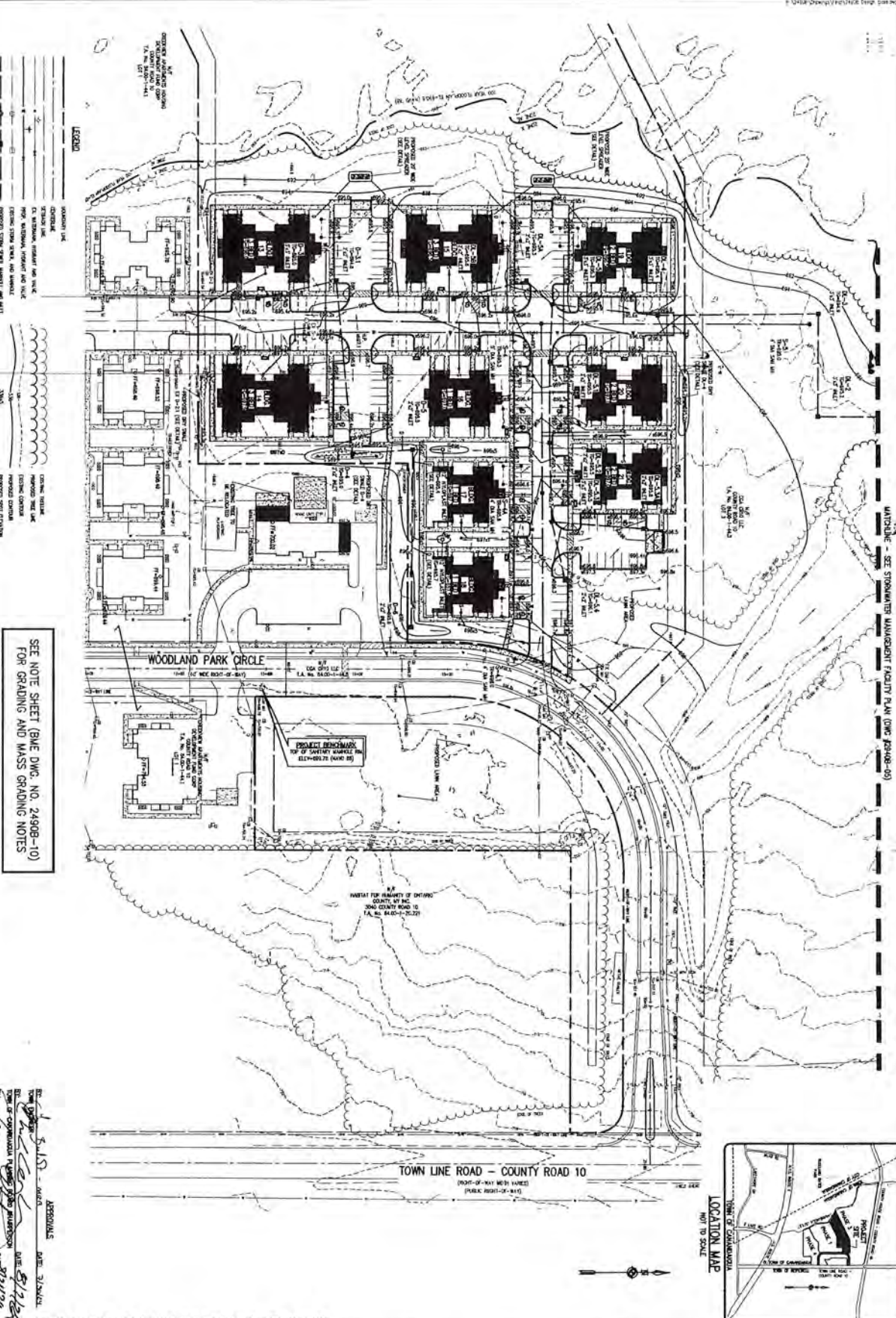
SEE NOTE SHEET (BME DWG. NO. 24908-10)  
 FOR GRADING AND MASS GRADING NOTES

PROJECT: CREEKVIEW APARTMENTS AT WOODLAND PARK  
 LOCATION: TOWN OF CARROLLTON, DEWITT COUNTY, NEW YORK  
 CLIENT: BE CLARK GROUP  
 100 BROOKS PARKWAY, WYOMING HEIGHTS, NEW YORK

PHASE 2 FINAL GRADING PLAN

DATE: 5/13/24  
 PROJECT NO: 24908  
 SHEET NO: 04

PROJECT NO: 24908  
 SHEET NO: 04



LEGEND

EXISTING BUILDING FOOTPRINT	EXISTING CONTOUR
PROPOSED BUILDING FOOTPRINT	PROPOSED CONTOUR
EXISTING DRIVEWAY	PROPOSED DRIVEWAY
EXISTING SIDEWALK	PROPOSED SIDEWALK
EXISTING CURB	PROPOSED CURB
EXISTING UTILITY	PROPOSED UTILITY
EXISTING FENCE	PROPOSED FENCE
EXISTING TREE	PROPOSED TREE
EXISTING LANDSCAPE	PROPOSED LANDSCAPE
EXISTING WATER	PROPOSED WATER
EXISTING EROSION CONTROL	PROPOSED EROSION CONTROL
EXISTING SIGNAGE	PROPOSED SIGNAGE
EXISTING LIGHTING	PROPOSED LIGHTING
EXISTING SECURITY	PROPOSED SECURITY
EXISTING UTILITIES	PROPOSED UTILITIES

PROPOSED BUILDING FOOTPRINT

PROPOSED DRIVEWAY

PROPOSED SIDEWALK

PROPOSED CURB

PROPOSED UTILITY

PROPOSED FENCE

PROPOSED TREE

PROPOSED LANDSCAPE

PROPOSED WATER

PROPOSED EROSION CONTROL

PROPOSED SIGNAGE

PROPOSED LIGHTING

PROPOSED SECURITY

PROPOSED UTILITIES

PROPOSED DRIVEWAY

PROPOSED SIDEWALK

PROPOSED CURB

PROPOSED UTILITY

PROPOSED FENCE

PROPOSED TREE

PROPOSED LANDSCAPE

PROPOSED WATER

PROPOSED EROSION CONTROL

PROPOSED SIGNAGE

PROPOSED LIGHTING

PROPOSED SECURITY

PROPOSED UTILITIES

PROPOSED UTILITY

PROPOSED FENCE

PROPOSED TREE

PROPOSED LANDSCAPE

PROPOSED WATER

PROPOSED EROSION CONTROL

PROPOSED SIGNAGE

PROPOSED LIGHTING

PROPOSED SECURITY

PROPOSED UTILITIES

PROPOSED TREE

PROPOSED LANDSCAPE

PROPOSED WATER

PROPOSED EROSION CONTROL

PROPOSED SIGNAGE

PROPOSED LIGHTING

PROPOSED SECURITY

PROPOSED UTILITIES

PROPOSED WATER

PROPOSED EROSION CONTROL

PROPOSED SIGNAGE

PROPOSED LIGHTING

PROPOSED SECURITY

PROPOSED UTILITIES

PROPOSED EROSION CONTROL

PROPOSED SIGNAGE

PROPOSED LIGHTING

PROPOSED SECURITY

PROPOSED UTILITIES

PROPOSED SIGNAGE

PROPOSED LIGHTING

PROPOSED SECURITY

PROPOSED UTILITIES

PROPOSED LIGHTING

PROPOSED SECURITY

PROPOSED UTILITIES

PROPOSED SECURITY

PROPOSED UTILITIES

PROPOSED UTILITIES



REVISIONS

NO.	DESCRIPTION	DATE	BY
1	REVISED FOR AGENCY COMMENTS AND UPDATED FOOTPRINTS	6/21/24	WAS
2	REVISED FOR TOWN & NYS DEC. ADDS ACCESS GEOTECHNICAL WELLS	1/27/24	WAS
3	ADDED GEOTECHNICAL WELL LOCATIONS	1/27/24	WAS
4	REMOVED BUILDINGS 22, 23 AND 24	10/2/23	WAS
5	REVISED FOR COPY COMMENTS	7/23/23	WCB
6	REVISED FOR TOWN ENGINEER COMMENTS	2/7/23	WAS
7	REVISED FOR TOWN COMMENTS	8/8/22	WAS
8	REVISED FOR TOWN COMMENTS	8/8/22	WAS

STATE OF NEW YORK  
 PROFESSIONAL ENGINEER  
 LICENSE NO. 11173  
 BME ASSOCIATES  
 ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS  
 50 LIFT BRIDGE LANE EAST  
 FARMING NEW YORK 11734  
 WWW.BMEPC.COM  
 PHONE 845.377.7340  
 FAX 845.377.7340

DATE: 11/11/03  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]  
 PROJECT NO. 24908

**LEGEND**

	BOUNDARY LINE
	EASEMENT
	UTILITY LINE
	PROPOSED STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED WATER MAIN
	PROPOSED GAS LINE
	PROPOSED ELECTRIC LINE
	PROPOSED TELEPHONE LINE
	PROPOSED CABLE TV LINE
	PROPOSED FIRE HYDRANT
	PROPOSED MANHOLE
	PROPOSED VALVE
	PROPOSED METER
	PROPOSED TRANSFORMER
	PROPOSED POLE
	PROPOSED STRUCTURE
	PROPOSED FOUNDATION
	PROPOSED WALL
	PROPOSED DECK
	PROPOSED STAIR
	PROPOSED RAMP
	PROPOSED DRIVEWAY
	PROPOSED WALKWAY
	PROPOSED PATHWAY
	PROPOSED FENCING
	PROPOSED GATE
	PROPOSED SIGN
	PROPOSED LIGHT
	PROPOSED PLANT
	PROPOSED TREE
	PROPOSED SHRUB
	PROPOSED FLOWER
	PROPOSED GRASS
	PROPOSED LAWN
	PROPOSED GARDEN
	PROPOSED POND
	PROPOSED STREAM
	PROPOSED LAKE
	PROPOSED BEACH
	PROPOSED PIER
	PROPOSED DOCK
	PROPOSED BOAT
	PROPOSED BOAT LIFT
	PROPOSED BOAT RAMP
	PROPOSED BOAT HOUSE
	PROPOSED BOAT STORAGE
	PROPOSED BOAT REPAIR
	PROPOSED BOAT WASH
	PROPOSED BOAT TRAILER
	PROPOSED BOAT RAMP
	PROPOSED BOAT LIFT
	PROPOSED BOAT STORAGE
	PROPOSED BOAT REPAIR
	PROPOSED BOAT WASH
	PROPOSED BOAT TRAILER

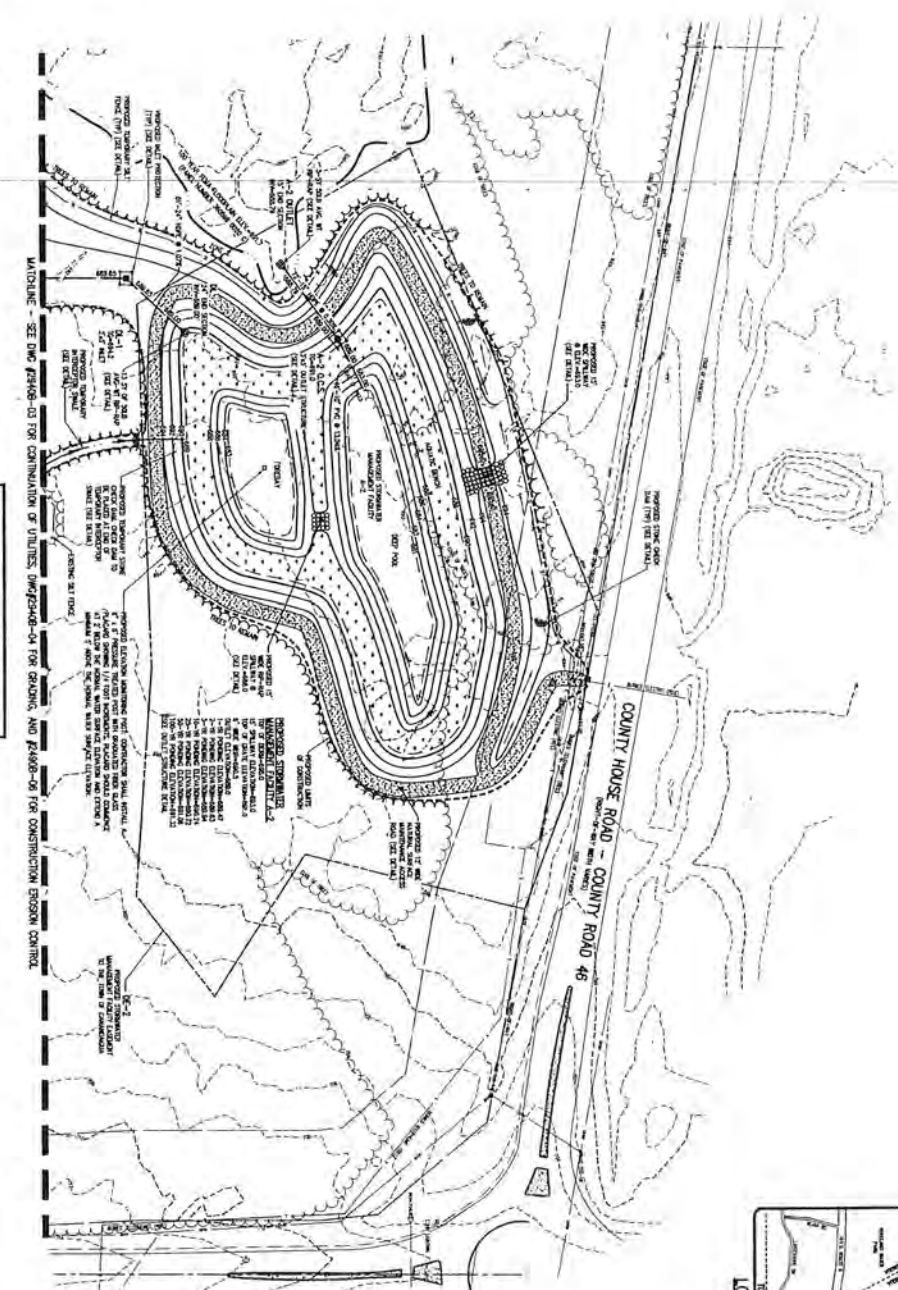
SEE NOTE SHEET (BME DWG. NO. 24908-10) FOR EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES

SEE NOTE SHEET (BME DWG. NO. 24908-08) FOR LANDSCAPING PLAN (BME DWG. NO. 24908-08) FOR POND LANDSCAPING AND LANDSCAPING NOTES

SEE NOTE SHEET (BME DWG. NO. 24908-10) FOR GRADING AND MASS GRADING NOTES

SEE NOTE SHEET (BME DWG. NO. 24908-10) FOR UTILITY NOTES

SEE NOTE SHEET (BME DWG. NO. 24908-09) FOR CONSTRUCTION EROSION CONTROL



PHILIPS & SON'S PURCHASE, TOWNSHIP 10, RANGE 3, TOWN LOT 15, 16, 17, 18 & 19, TAX MAP NUMBER 84.00-1-44.20

PROJECT NAME	CREEKVIEW APARTMENTS AT WOODLAND PARK
LOCATION	TOWN OF CANTON, OHIO COUNTY, NEW YORK
CLIENT	1950 BROOKTON NEWPORT TOWNSHIP ROAD, CANTON, NY 14020
DATE	11/11/03
PROJECT NO.	24908
DATE	11/11/03
SCALE	AS SHOWN
DRAWN BY	[Signature]
CHECKED BY	[Signature]
DATE	11/11/03
PROJECT NO.	24908
DATE	11/11/03



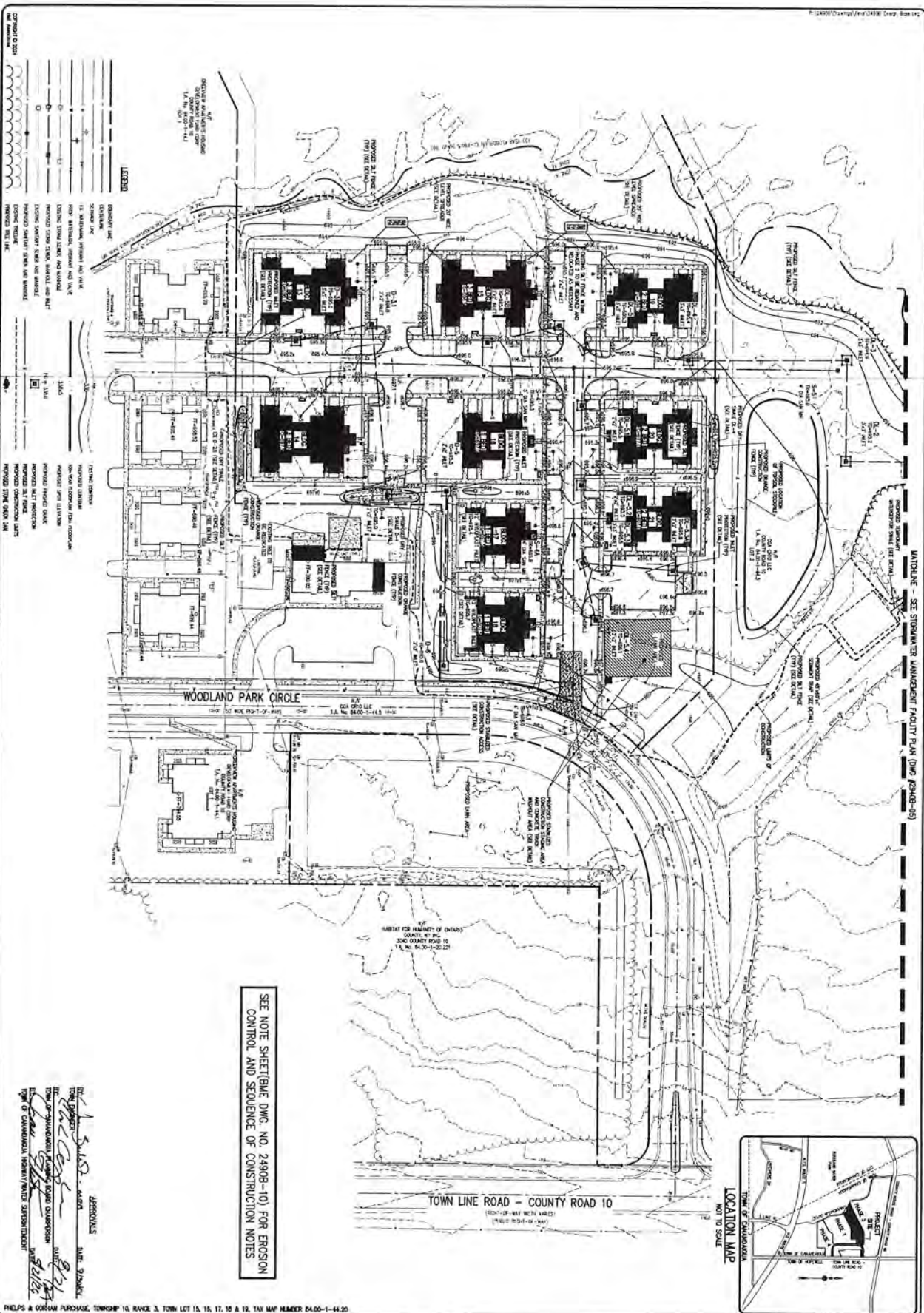
**BME ASSOCIATES**  
 ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

11 LITTLE ROCK LANE EAST  
 EASTPORT, NEW YORK 14845  
 WWW.BMEPC.COM

PHONE 800-877-7346  
 FAX 815-574-7326

1	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	8/1/04	WAS
2	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
3	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
4	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
5	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
6	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
7	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
8	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
9	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
10	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
11	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
12	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
13	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
14	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
15	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
16	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
17	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
18	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
19	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
20	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
21	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
22	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
23	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
24	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
25	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
26	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
27	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
28	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
29	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
30	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
31	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
32	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
33	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
34	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
35	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
36	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
37	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
38	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
39	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
40	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
41	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
42	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
43	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
44	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
45	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
46	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
47	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
48	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
49	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS
50	REVISED FOR M&P COMMENTS AND UPDATE FOOTPRINTS	10/1/04	WAS

DATE: 11/11/03  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]  
 PROJECT NO. 24908



- LEGEND**
- EXISTING SITE
  - PROPOSED CONCRETE CURB
  - PROPOSED ASPHALT DRIVE
  - PROPOSED GRAVEL DRIVE
  - PROPOSED 24\"/>

- NOTES**
- 1. ALL MATERIALS, SYSTEMS AND METHODS SHALL BE APPROVED BY THE LOCAL AUTHORITY.
  - 2. CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LOCAL AUTHORITY'S REQUIREMENTS.
  - 3. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
  - 4. ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION.

SEE NOTE SHEET (BUREAU DRAWING NO. 24908-10) FOR EROSION CONTROL AND SEQUENCE OF CONSTRUCTION NOTES



PHELPS & GORHAM PURCHASE, TOWNSHIP 10, RANGE 3, TOWN LOT 13, 15, 17, 19 & 21, TAX MAP NUMBER 04.00-1-44.20

**APPROVALS**

DATE: 3/21/24

DATE: 3/21/24

DATE: 3/21/24

**PROJECT**  
CREEKVIEW APARTMENTS AT WOODLAND PARK

**LOCATION**  
TOWN OF WOODLAND PARK, COLORADO

**CLIENT**  
1400 BROADWAY, WOODLAND PARK, CO 80863

**DRAWING TITLE**  
PHASE 2 FINAL CONSTRUCTION EROSION CONTROL PLAN



**BME ASSOCIATES**  
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

50 LEFT BRIDGE LANE EAST  
BARBOUR NEW YORK 14403  
WWW.BMEFIRM.COM

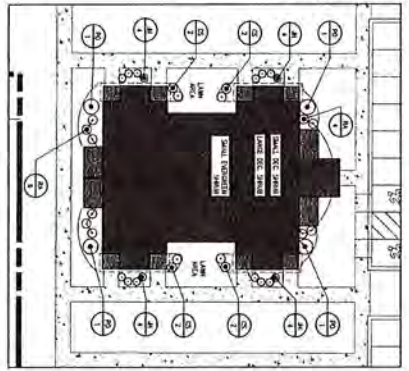
PHONE 651-277-7360  
FAX 651-277-7369

NO.	REVISION	DATE	BY
1	REVISED FOR TOWN COMMENTS AND UPDATED FOOTPRINTS	4/4/24	WAS
2	REVISED FOR TOWN & HDZ REG. AGENT (GEORGINA WELLS)	4/27/24	WAS
3	REVISED RESPONSE TO TOWN COMMENTS	10/23/24	WAS
4	REVISED FOR HDZ COMMENTS	3/23/25	WAS
5	REVISED FOR TOWN COMMENTS	1/9/25	WAS
6	REVISED FOR TOWN COMMENTS	4/9/25	WAS
7	REVISED FOR TOWN COMMENTS	8/8/25	WAS

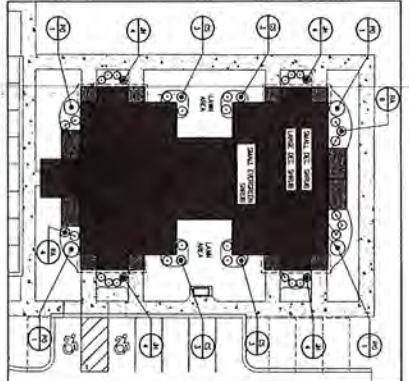
DATE: 8/8/25

BY: [Signature]

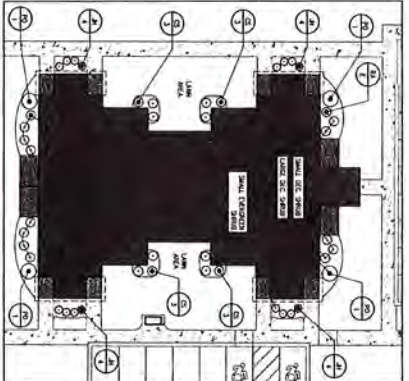




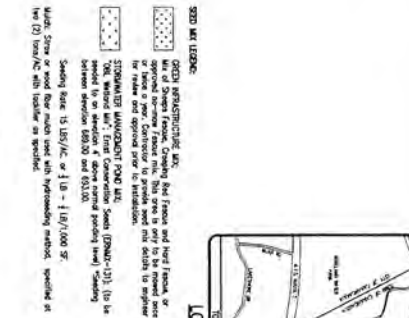
1 ROOM / 1 UNIT  
8 UNITS PER BUILDING



2 ROOM / 1 UNIT  
8 UNITS PER BUILDING



3 ROOM / 1 UNIT  
8 UNITS PER BUILDING

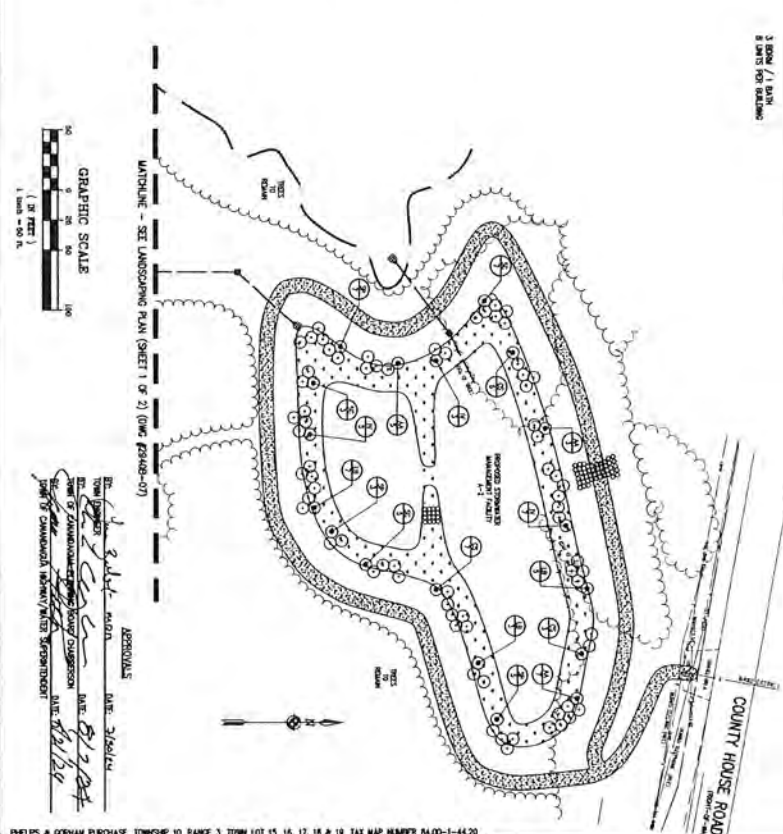
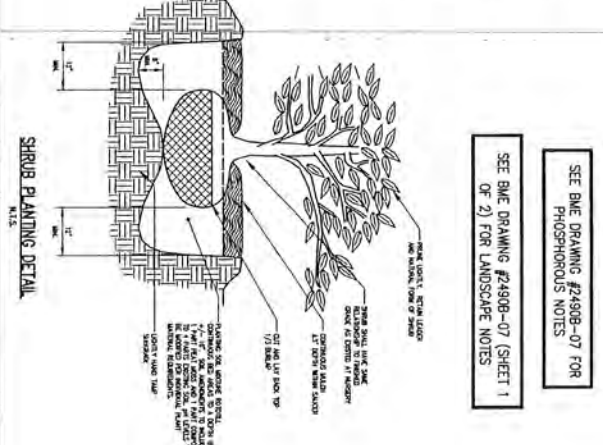
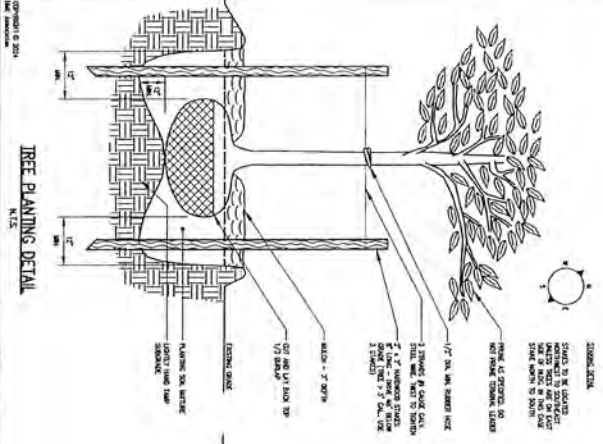


LOCATION MAP  
TOWN OF CARMEL, NY  
NOT TO SCALE

**SEED MAT LEGEND:**

- Grass seed mat
- Grass seed mat with mulch
- Grass seed mat with mulch and fertilizer
- Grass seed mat with mulch, fertilizer, and lime
- Grass seed mat with mulch, fertilizer, lime, and straw
- Grass seed mat with mulch, fertilizer, lime, straw, and topsoil
- Grass seed mat with mulch, fertilizer, lime, straw, topsoil, and compost
- Grass seed mat with mulch, fertilizer, lime, straw, topsoil, compost, and manure
- Grass seed mat with mulch, fertilizer, lime, straw, topsoil, compost, manure, and bone meal
- Grass seed mat with mulch, fertilizer, lime, straw, topsoil, compost, manure, bone meal, and fish meal
- Grass seed mat with mulch, fertilizer, lime, straw, topsoil, compost, manure, bone meal, fish meal, and kelp meal
- Grass seed mat with mulch, fertilizer, lime, straw, topsoil, compost, manure, bone meal, fish meal, kelp meal, and seaweed
- Grass seed mat with mulch, fertilizer, lime, straw, topsoil, compost, manure, bone meal, fish meal, kelp meal, seaweed, and worm castings
- Grass seed mat with mulch, fertilizer, lime, straw, topsoil, compost, manure, bone meal, fish meal, kelp meal, seaweed, worm castings, and vermiculite
- Grass seed mat with mulch, fertilizer, lime, straw, topsoil, compost, manure, bone meal, fish meal, kelp meal, seaweed, worm castings, vermiculite, and perlite
- Grass seed mat with mulch, fertilizer, lime, straw, topsoil, compost, manure, bone meal, fish meal, kelp meal, seaweed, worm castings, vermiculite, perlite, and zeolite
- Grass seed mat with mulch, fertilizer, lime, straw, topsoil, compost, manure, bone meal, fish meal, kelp meal, seaweed, worm castings, vermiculite, perlite, zeolite, and bentonite
- Grass seed mat with mulch, fertilizer, lime, straw, topsoil, compost, manure, bone meal, fish meal, kelp meal, seaweed, worm castings, vermiculite, perlite, zeolite, bentonite, and sphagnum peat moss
- Grass seed mat with mulch, fertilizer, lime, straw, topsoil, compost, manure, bone meal, fish meal, kelp meal, seaweed, worm castings, vermiculite, perlite, zeolite, bentonite, sphagnum peat moss, and coconut coir
- Grass seed mat with mulch, fertilizer, lime, straw, topsoil, compost, manure, bone meal, fish meal, kelp meal, seaweed, worm castings, vermiculite, perlite, zeolite, bentonite, sphagnum peat moss, coconut coir, and biochar
- Grass seed mat with mulch, fertilizer, lime, straw, topsoil, compost, manure, bone meal, fish meal, kelp meal, seaweed, worm castings, vermiculite, perlite, zeolite, bentonite, sphagnum peat moss, coconut coir, biochar, and mycorrhizal fungi
- Grass seed mat with mulch, fertilizer, lime, straw, topsoil, compost, manure, bone meal, fish meal, kelp meal, seaweed, worm castings, vermiculite, perlite, zeolite, bentonite, sphagnum peat moss, coconut coir, biochar, mycorrhizal fungi, and beneficial bacteria
- Grass seed mat with mulch, fertilizer, lime, straw, topsoil, compost, manure, bone meal, fish meal, kelp meal, seaweed, worm castings, vermiculite, perlite, zeolite, bentonite, sphagnum peat moss, coconut coir, biochar, mycorrhizal fungi, beneficial bacteria, and beneficial fungi
- Grass seed mat with mulch, fertilizer, lime, straw, topsoil, compost, manure, bone meal, fish meal, kelp meal, seaweed, worm castings, vermiculite, perlite, zeolite, bentonite, sphagnum peat moss, coconut coir, biochar, mycorrhizal fungi, beneficial bacteria, beneficial fungi, and beneficial insects
- Grass seed mat with mulch, fertilizer, lime, straw, topsoil, compost, manure, bone meal, fish meal, kelp meal, seaweed, worm castings, vermiculite, perlite, zeolite, bentonite, sphagnum peat moss, coconut coir, biochar, mycorrhizal fungi, beneficial bacteria, beneficial fungi, beneficial insects, and beneficial nematodes
- Grass seed mat with mulch, fertilizer, lime, straw, topsoil, compost, manure, bone meal, fish meal, kelp meal, seaweed, worm castings, vermiculite, perlite, zeolite, bentonite, sphagnum peat moss, coconut coir, biochar, mycorrhizal fungi, beneficial bacteria, beneficial fungi, beneficial insects, beneficial nematodes, and beneficial earthworms

Notes: Straw or wood fiber mulch used with hydroseeding method. Specified at 100 lbs/1000 sq ft. Seeding Rate: 15 lbs/1000 sq ft or 1 lb - 1000 sq ft.



PHILIPS & GORHAM PURCHASE, TOWNSHIP 10, RANGE 3, TOWN LOT 15, 16, 17, 18 & 19, TAX MAP NUMBER 84.00-1-4420

DATE: 08/11/2008  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
PROJECT NO.: 24908  
SHEET NO.: 08  
SHEET OF 2

**BME ASSOCIATES**  
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS  
60 LITE BRIDGE LANE EAST  
P.O. BOX 100, NEW YORK, NY 10101  
WWW.BMEPC.COM  
914.261.5400 FAX 914.261.5401  
914.261.5402 FAX 914.261.5403

NO.	REVISION	DATE	BY
1	REVISED FOR BIDDING COMMENTS AND UPDATED FOOTNOTES	8/11/08	WAS
2	ADDED CY CHANGING GRADES, HENCE SKETCH	8/11/08	WAS
3	REVISED BUILDING 21, 22, 23 AND 24	8/11/08	WAS
4	REVISED FOR 0076 COMMENTS	8/11/08	WAS
5	REVISED FOR 1006 COMMENTS	8/11/08	WAS
6	REVISED FOR 1006 COMMENTS	8/11/08	WAS
7	REVISED FOR 1006 COMMENTS	8/11/08	WAS
8	REVISED FOR 1006 COMMENTS	8/11/08	WAS
9	REVISED FOR 1006 COMMENTS	8/11/08	WAS
10	REVISED FOR 1006 COMMENTS	8/11/08	WAS

NOT TO SCALE  
DATE: 08/11/2008  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]  
PROJECT NO.: 24908  
SHEET NO.: 08  
SHEET OF 2







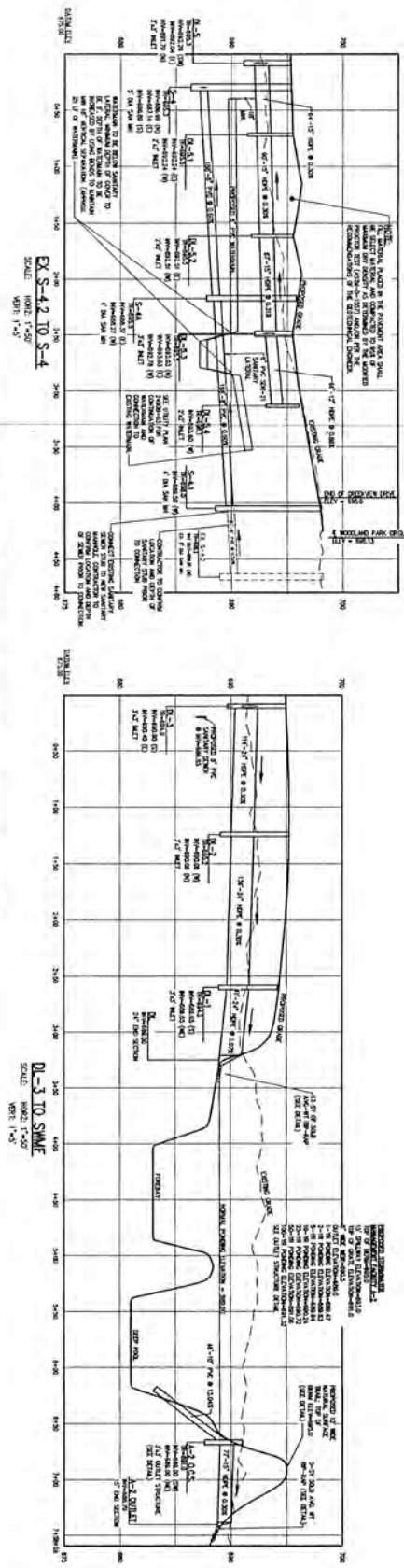
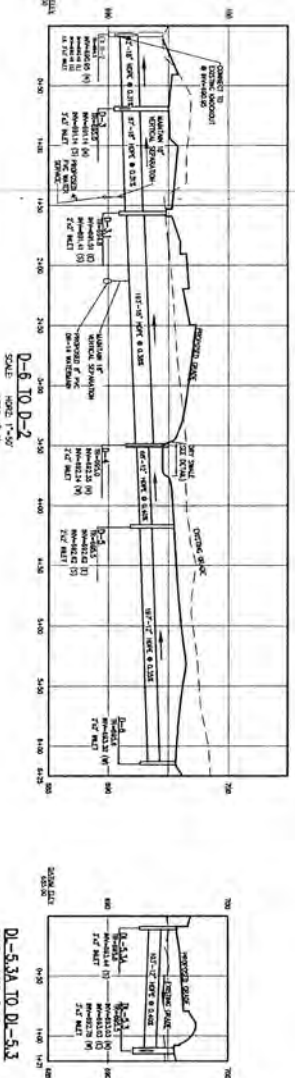
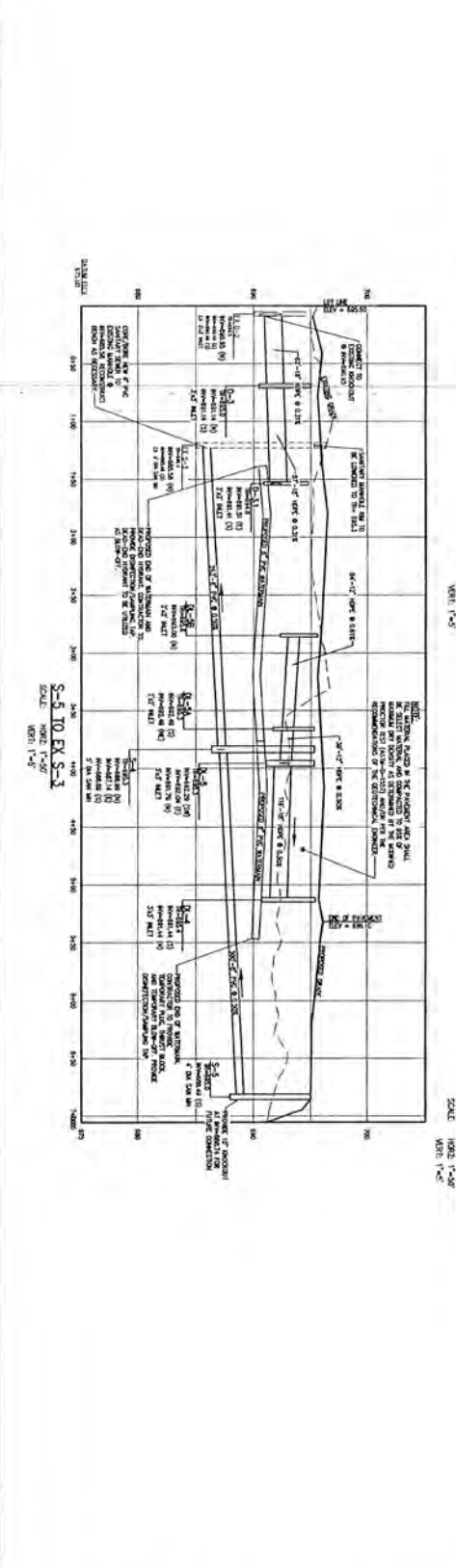
PELPS & GOSWAM PURCHASE, TOWNSHIP 10, RANGE 3, TOWN LOT 15, 16, 17, 18 & 19, TAX MAP NUMBER 86.00-1-44.20

**PROJECT:** CREEKVIEW APARTMENTS AT WOODLAND PARK  
 TOWN OF CHENANGO, CHENANGO COUNTY, NEW YORK  
 THE DUNBAR GROUP  
 1700 BROOKTON SQUARE ROAD  
 ROCHESTER, NEW YORK 14621  
**CLIENT:** THE DUNBAR GROUP  
**PHASE:** 2 FINAL  
**PROFILE SHEET**



**BME ASSOCIATES**  
 ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS  
 10 LEEF BRIDGE LANE EAST • PHONE 565-277-7200  
 PARSONS NEW YORK HEADQUARTERS • FAX 565-277-1747  
 WWW.BMEPCORP.COM

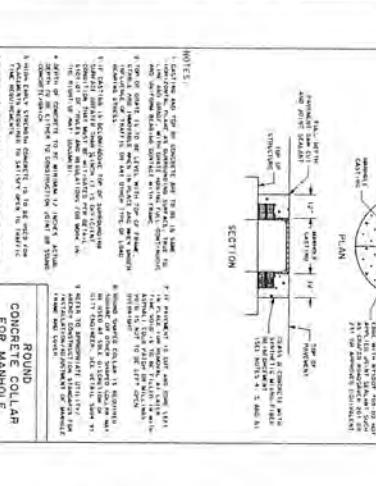
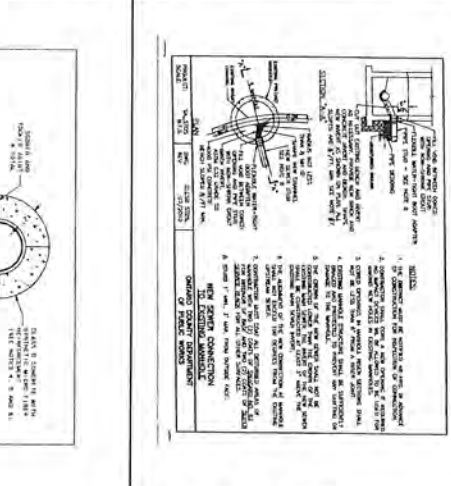
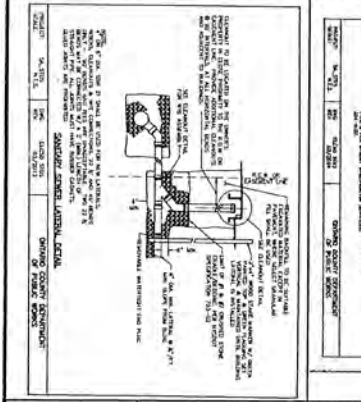
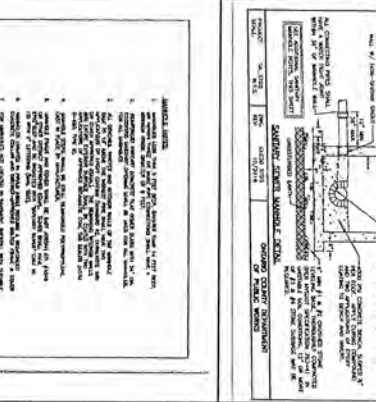
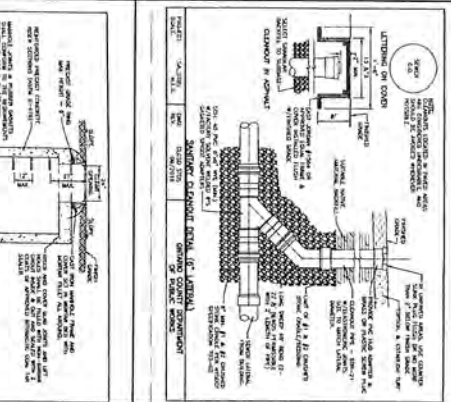
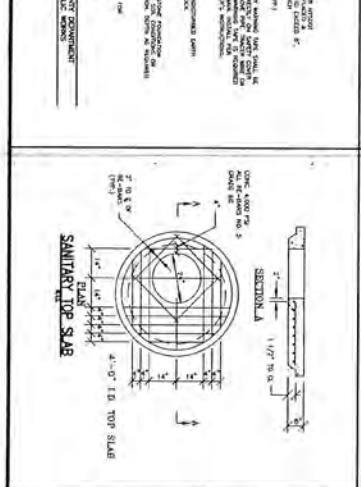
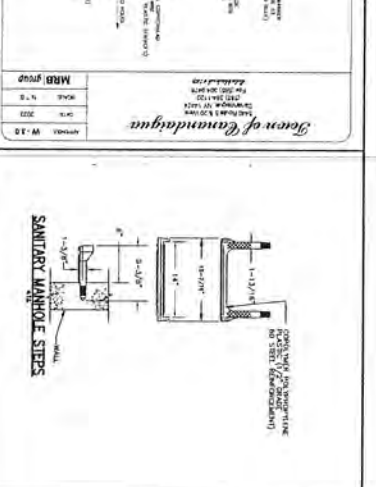
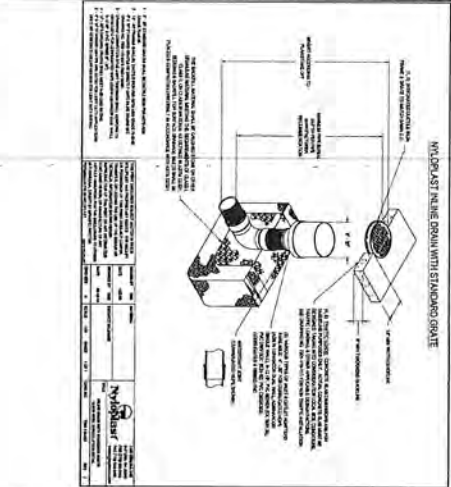
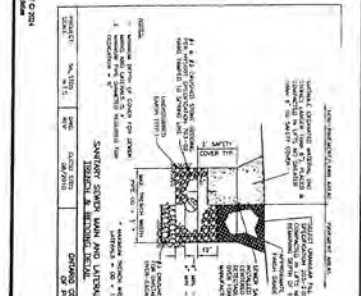
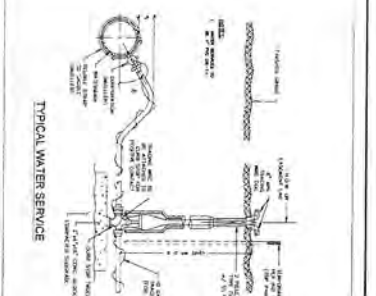
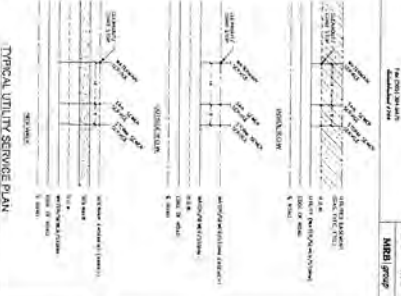
NO.	REVISION	DATE	BY
1	RECHECK FOR TOWN COMMENTS	6/8/08	WAS
2	RECHECK FOR TOWN COMMENTS	7/9/08	WAS
3	RECHECK FOR TOWN COMMENTS	7/21/08	WAS
4	RECHECK BALDWIN'S 22.11 AND 24	10/15/08	WAS
5	RECHECK FOR NEW COMMENTS AND UPDATE FOOTPRINTS	8/14/09	WAS



DATE: 10/15/08  
 DRAWN BY: [Name]



*Seam of Kamanidaguan*



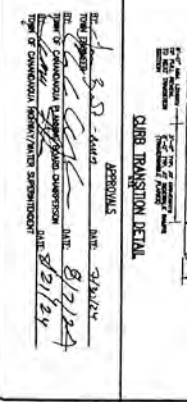
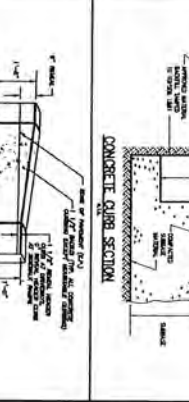
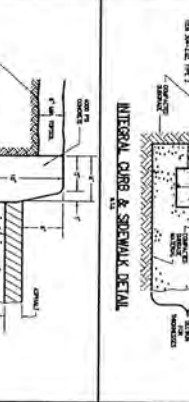
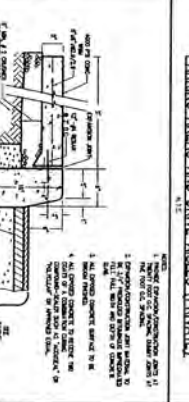
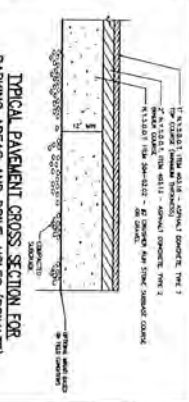
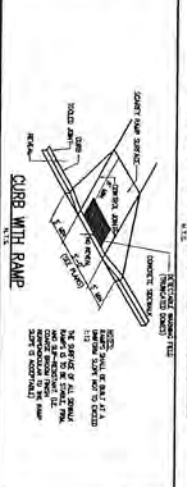
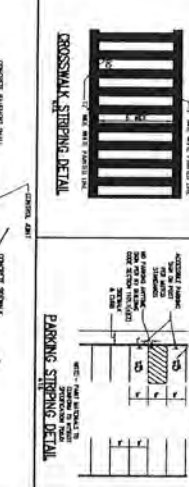
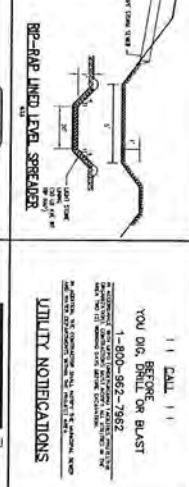
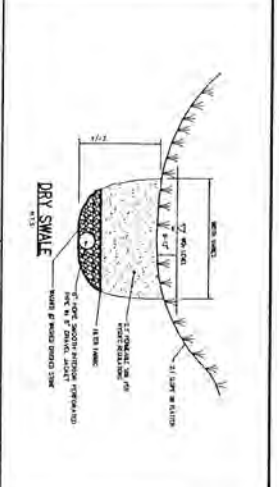
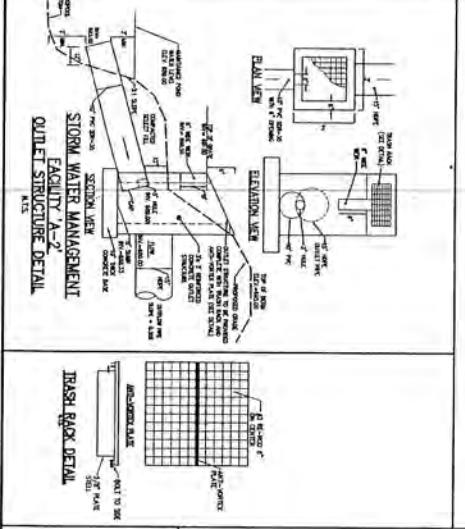
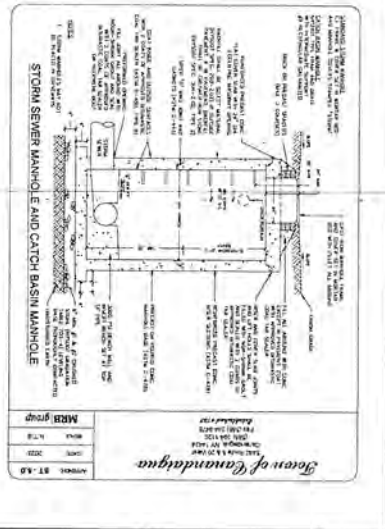
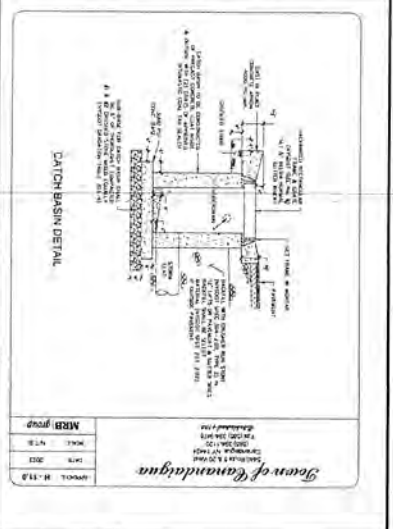
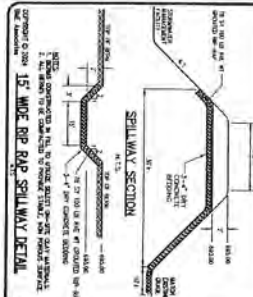
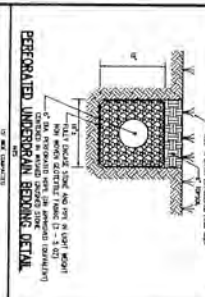
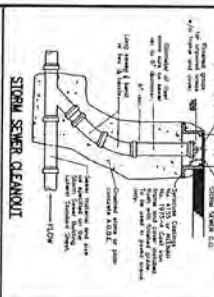
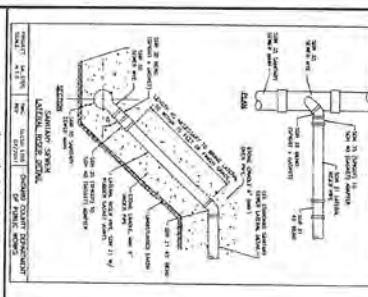
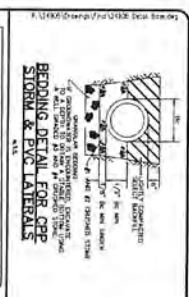
NO.	REVISION	DATE
1	REVISED PER OWNER COMMENTS	6/24/24
2	REVISED PER OWNER COMMENTS	6/24/24
3	REVISED PER OWNER COMMENTS	6/24/24
4	REVISED PER OWNER COMMENTS	6/24/24
5	REVISED PER OWNER COMMENTS	6/24/24
6	REVISED PER OWNER COMMENTS	6/24/24
7	REVISED PER OWNER COMMENTS	6/24/24
8	REVISED PER OWNER COMMENTS	6/24/24
9	REVISED PER OWNER COMMENTS	6/24/24
10	REVISED PER OWNER COMMENTS	6/24/24

**REVISIONS:**

1. 12" SANITARY SEWER MAIN (12" DIA.)
2. 12" SANITARY SEWER MANHOLE (12" DIA.)
3. 12" SANITARY SEWER LATRINE (12" DIA.)
4. 12" SANITARY SEWER MAIN (12" DIA.)
5. 12" SANITARY SEWER MAIN (12" DIA.)
6. 12" SANITARY SEWER MAIN (12" DIA.)
7. 12" SANITARY SEWER MAIN (12" DIA.)
8. 12" SANITARY SEWER MAIN (12" DIA.)
9. 12" SANITARY SEWER MAIN (12" DIA.)
10. 12" SANITARY SEWER MAIN (12" DIA.)

**REVISIONS:**

1. 12" SANITARY SEWER MAIN (12" DIA.)
2. 12" SANITARY SEWER MANHOLE (12" DIA.)
3. 12" SANITARY SEWER LATRINE (12" DIA.)
4. 12" SANITARY SEWER MAIN (12" DIA.)
5. 12" SANITARY SEWER MAIN (12" DIA.)
6. 12" SANITARY SEWER MAIN (12" DIA.)
7. 12" SANITARY SEWER MAIN (12" DIA.)
8. 12" SANITARY SEWER MAIN (12" DIA.)
9. 12" SANITARY SEWER MAIN (12" DIA.)
10. 12" SANITARY SEWER MAIN (12" DIA.)



NO.	DATE	DESCRIPTION
1	1/15/24	ISSUED FOR PERMITS
2	2/15/24	REVISED FOR COMMENTS
3	3/15/24	REVISED FOR COMMENTS
4	4/15/24	REVISED FOR COMMENTS
5	5/15/24	REVISED FOR COMMENTS
6	6/15/24	REVISED FOR COMMENTS
7	7/15/24	REVISED FOR COMMENTS
8	8/15/24	REVISED FOR COMMENTS
9	9/15/24	REVISED FOR COMMENTS
10	10/15/24	REVISED FOR COMMENTS
11	11/15/24	REVISED FOR COMMENTS
12	12/15/24	REVISED FOR COMMENTS
13	1/15/25	REVISED FOR COMMENTS
14	2/15/25	REVISED FOR COMMENTS

**BME ASSOCIATES**  
ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS

11 LEFT PROUD LANE EAST  
SHERBOURNE, ONTARIO L4R 1A4  
WWW.BME.COM

PHONE: 905-881-1111  
FAX: 905-881-1112



**CREEKVIEW APARTMENTS AT WOODLAND PARK**  
TOWN OF COMMERCIAL, ONTARIO COUNTY, NEW YORK

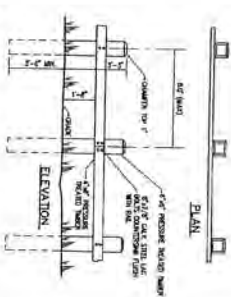
THE GRADING GROUP  
1881 1881 1881  
1881 1881 1881

PROJECT NO. 245008  
DATE: 08/12/24  
SCALE: 1/4" = 1'-0"

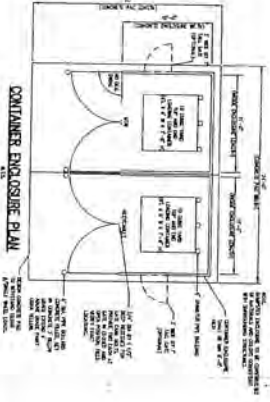
PROJECT ENGINEER: [Signature]  
DATE: 08/12/24

DATE: 08/12/24  
SCALE: 1/4" = 1'-0"

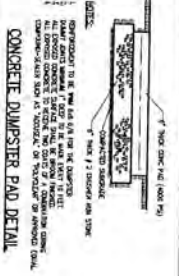
PROJECT NO. 245008  
DATE: 08/12/24



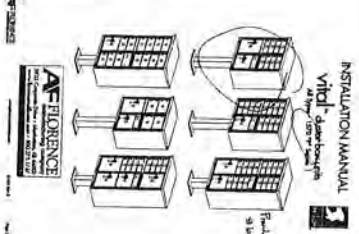
TIMBER GUIDE RAIL (MEDIUM DUTY)



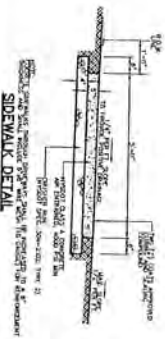
CONTAINER ENCLOSURE PLAN



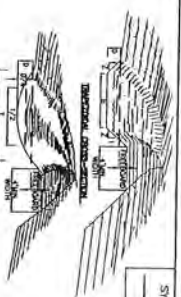
CONCRETE DUMPSTER PAD DETAIL



INSULATION MANUAL



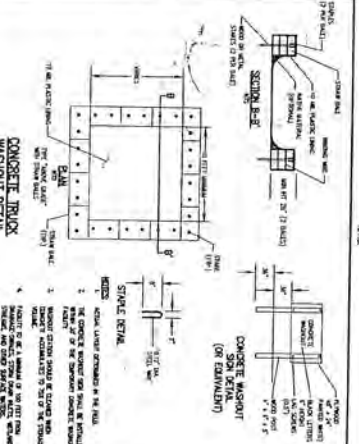
SIDEWALK DETAIL



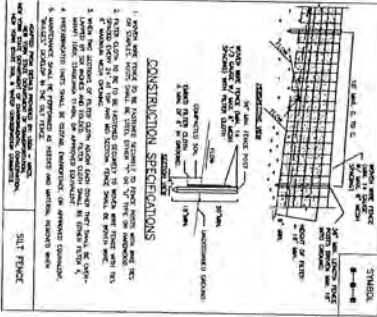
TEMPORARY INTERCEPTOR SMALE

**CONSTRUCTION SPECIFICATIONS**

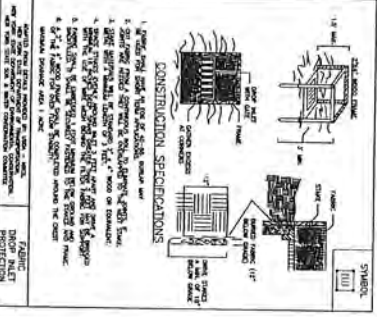
1. ALL TIES, ANCHORS, BOLTS, BRACKETS, AND OTHER METAL HARDWARE SHALL BE GALVANNEAL STEEL WITH A MINIMUM OF 10% ZINC COATING.
2. THE DESIGN SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
3. ALL DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
4. ALL MATERIALS SHALL BE OF THE QUALITY AND TYPE SPECIFIED IN THE SPECIFICATIONS.
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD PRACTICES OF THE TRADE.



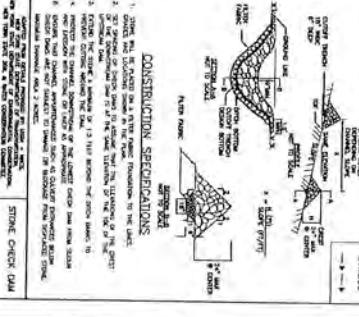
CONCRETE TRUCK WASHOUT DETAIL



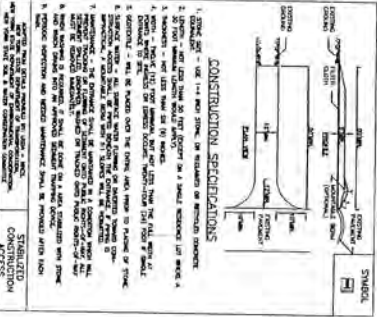
CONSTRUCTION SPECIFICATIONS



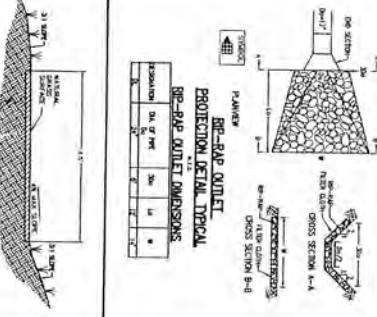
CONSTRUCTION SPECIFICATIONS



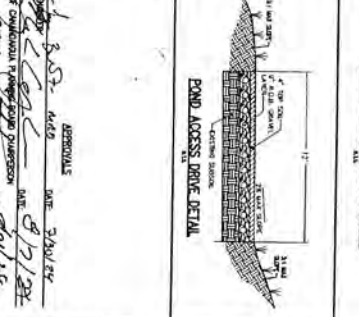
CONSTRUCTION SPECIFICATIONS



CONSTRUCTION SPECIFICATIONS



RE-BAR OUTLET PROTECTION DETAIL



POND ACCESS RAMP DETAIL

NO.	REVISION	DATE	BY
1	ISSUED FOR PERMITS	10/21/24	MS
2	REVISED PER OWNER COMMENTS	11/21/24	MS
3	REVISED PER OWNER COMMENTS	12/12/24	MS
4	REVISED PER OWNER COMMENTS	1/21/25	MS
5	REVISED PER OWNER COMMENTS	3/12/25	MS

**BME ASSOCIATES**  
 ENGINEERS • SURVEYORS • LANDSCAPE ARCHITECTS  
 110 WEST 86TH STREET, SUITE 400  
 NEW YORK, NY 10024  
 TEL: 212-869-1111 FAX: 212-869-1112  
 WWW.BMEPCOM



**CREEKVIEW APARTMENTS AT WOODLAND PARK**  
 1100 WEST 86TH STREET, SUITE 400  
 NEW YORK, NY 10024  
 PHASE 2 FINAL DETAIL SHEET

**REVISIONS**

NO.	REVISION	DATE	BY
1	ISSUED FOR PERMITS	10/21/24	MS
2	REVISED PER OWNER COMMENTS	11/21/24	MS
3	REVISED PER OWNER COMMENTS	12/12/24	MS
4	REVISED PER OWNER COMMENTS	1/21/25	MS
5	REVISED PER OWNER COMMENTS	3/12/25	MS

DATE: 12/12/24  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]  
 PROJECT NO: 24908  
 SHEET NO: 15  
 TOTAL SHEETS: 18

# **ATTACHMENT 17**



# Town of Canandaigua: Work from Home Policy

**Purpose:** This policy outlines the expectations, procedures, and conditions under which employees of the Town of Canandaigua may work from home, ensuring productivity and fulfillment of duties while maintaining flexibility for employees facing illness, childcare issues, or other personal circumstances.

**Scope:** This policy applies to all eligible employees whose job responsibilities can reasonably be performed from home. Certain job functions that require in-person presence, such as those involving direct public interaction, on-site maintenance, labor, or the operation of equipment, are ineligible for this policy. The decision to allow work from home is at the discretion of the employee's department head and the Town Manager.

## 1. Eligibility

Employees may be eligible to work from home under the following circumstances:

- **Sickness or Injury:** If the employee is ill or injured but still able to work, and the nature of their job allows it, they may request to work from home instead of using sick leave.
- **Childcare or Daycare Issues:** Employees facing unexpected childcare issues, including daycare closures or the need to care for a sick child, may request to work from home.
- **Scheduled Work-from-Home Days:** Some employees may have pre-approved, regular work-from-home days as part of their work schedule.
- **Other Circumstances:** On a case-by-case basis, employees may request to work from home due to personal or family emergencies or other unexpected situations, subject to approval.

## 2. Expectations and Obligations

When working from home, employees are expected to:

- **Fulfill Work Hours:** Employees must maintain their regular work hours, unless otherwise agreed upon with their supervisor. This includes starting and ending work on time, as well as taking any breaks as required by law or policy.
- **Productivity:** Employees are responsible for completing all tasks and assignments as they would in the office. The same performance standards apply, and employees must demonstrate that they can meet work objectives.

- **Availability:** Employees are expected to remain available via phone, email, or other agreed-upon communication methods during their normal work hours. They must respond promptly to work-related inquiries.
- **Time Tracking:** Employees are required to track their work hours accurately, ensuring that time spent working from home is properly documented and reported to their supervisor.
- **Work Environment:** Employees are expected to maintain a safe and professional workspace at home that supports focus and productivity.

### 3. Equipment and Technology

- **Equipment:** Employees must have access to the necessary equipment, such as a computer, phone, and internet connection, to effectively perform their duties from home. If additional equipment is needed, the employee may request it from the Town, subject to approval.
- **Data Security:** Employees working from home must follow all town policies and procedures related to data security and confidentiality. This includes using secure connections, protecting sensitive information, and complying with the town's IT protocols.
- **Technical Issues:** In the event of technical difficulties (e.g., internet outages), employees must notify their supervisor immediately and make alternative arrangements if possible (such as coming into the office).

### 4. Sick Leave and Working from Home

- **Illness or Injury:** Employees who are sick but able to work remotely may request to work from home instead of using sick leave. However, if an employee is too ill to work effectively, they are encouraged to take appropriate sick leave.
- **Partial Day Sick Leave:** If an employee starts the day working from home but becomes too ill to continue, they should notify their supervisor and use sick leave for the remainder of the day.

### 5. Childcare or Daycare Issues

- Employees working from home due to childcare needs are still expected to perform their duties and meet all productivity expectations. While the town recognizes that balancing work and childcare can be challenging, employees are responsible for ensuring they can meet their job requirements while working remotely.

## 6. Approval Process

- Employees must seek approval from their supervisor or department head to work from home. The request should be made as early as possible, preferably at least one business day before the requested work-from-home period.
- The existence of this policy does not offer employees an explicit right to work from home. Approval is contingent on the nature of the job, the employee's ability to perform the required duties from home, and the specific circumstances of the request.

## 7. Evaluation and Accountability

- **Performance Reviews:** Supervisors will regularly evaluate the effectiveness of work-from-home arrangements. If an employee's performance declines, work-from-home privileges may be revoked or adjusted.
- **Accountability:** Employees who fail to meet the expectations outlined in this policy may be subject to disciplinary action, including the revocation of work-from-home privileges.

## 8. Termination of Work-from-Home Privileges

- The Town reserves the right to modify or terminate an employee's work-from-home arrangement at any time, based on operational needs, performance concerns, or other factors.